

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:

26 RAYNORS ROAD, MIDWAY POINT

PROPOSED DEVELOPMENT:

TWO MULTIPLE DWELLINGS

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 14th September 2026**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received no later than **Monday 14th September 2026**.

APPLICATION NO: 5.2026-149.1
DATE: 28 August 2026



Annotations

- Polygon2
- Polygon1

Roads

- DSG Roads
- Council Roads

Property

- Property
- Titles

Transport

Capital Works 2026

- Footpath
- Recon
- Reseal
- Resheet

Roads

-
-



Disclaimer

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

50 m



Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal: \$	

Is all, or some the work already constructed:	No: ☐ Yes: ☐
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Location of proposed works:	Street address:
	Suburb: Postcode:
	Certificate of Title(s) Volume: Folio:

Current Use of Site	
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Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: ☐ Yes: ☐	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: ☐ Yes: ☐	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: ☐ Yes: ☐	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: ☐ Yes: ☐	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: ☐ Yes: ☐	<i>If yes, please complete the Council or Crown land section on page 3</i>
If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form https://www.sorell.tas.gov.au/services/engineering/		


Sorell Council
 Development Application: 5.2026.149.1 -
 Development Application - 24-26 Raynors Road,
 Midway Point P1.pdf
 Plans Reference:P1
 Date Received:12/05/2026

Declarations and acknowledgements	
- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land. - I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours. - I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies. - I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application. - I/we declare that the information in this application is true and correct. <i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i>	
I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.	
Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent.	
Applicant Signature:	Signature: <u>Sonya Gavin</u> Date: 05/05/2026

Crown or General Manager Land Owner Consent	
If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>). Please note: - If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au - If the application involves Crown land you will also need a letter of consent. - Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.	
I _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application for _____	
 Sorell Council Development Application: 5.2026.149.1 - Development Application - 24-26 Raynors Road, Midway Point P1.pdf Plans Reference: P1 Date Received: 12/05/2026	
Signature of General Manager, Minister or Delegate:	Signature: _____ Date: _____

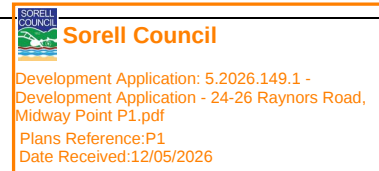
Plans and Supporting Documentation required

Section 6 of the planning scheme outlines the plans and supporting documents required for a planning application. The following is a summary of section 6 and what Council requires you to submit;

All applications are to be submitted electronically were possible at sorell.council@sorell.tas.gov.au

Please note that all documents submitted electronically must be in.pdf or.docx format with a file size not exceeding 20MB.

☐	Completed and signed application form
☐	Cover letter explaining the proposal, what you are hoping to achieve, the approach to the design and how any impact to adjoining land or services has been considered. In many cases, a written statement justifying how the proposal satisfies the performance criteria is necessary.
☐	Current copy of the Certificate of Title to the land which has a search date not greater than 6 (six) months, also containing the: ▪ Search Page. ▪ Plan, Sealed Plan or Diagram. ▪ Any Schedule of Easements, Covenants, Council Notifications, or Conditions of Transfer
☐	Dimensioned and scaled site analysis / site plan showing: ▪ the existing and proposed building(s) and use(s) on the site; ▪ the boundaries and dimensions of the site, including easements; ▪ the location of adjoining properties, buildings and their uses; ▪ contours showing AHD levels, site features, natural drainage lines, watercourses and wetlands on or adjacent to the site; ▪ soil type and any cut or fill including batters / method of retention; ▪ vegetation communities and trees, including vegetation to be removed; ▪ concept water, stormwater and sewer/onsite wastewater system design, including supporting calculations where necessary; ▪ existing or proposed pedestrian and vehicle access (including width, surface, culverts, gates and sight distance as necessary), driveways, parking areas and paths; ▪ extent of any overlays or natural hazards that apply to the site; ▪ existing and proposed landscaping, including watering; and ▪ any proposed open space, common space, or facilities on the site.
☐	Detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 showing: ▪ the internal layout of each building on the site; ▪ the private open space for each dwelling; ▪ external storage spaces; and ▪ building elevations with materials, colours and natural and finished ground levels



Supplementary Requirements

The following may be required in order to fully assess the use or development

Shadow diagrams of new buildings demonstrating the extent of shading to private open spaces and external windows.

Any suitably qualified person reports, plans or other information for applicable zone, code or site-specific clauses, such as flood hazard report, bushfire hazard report, onsite wastewater or onsite stormwater.

Non-Residential Use

Any non-residential use should include a completed Additional Information for Non-Residential Use form available at www.sorell.tas.gov.au

SEARCH OF TORRENS TITLE

VOLUME 188431	FOLIO 1
EDITION 1	DATE OF ISSUE 11-Aug-2025

SEARCH DATE : 17-Feb-2026

SEARCH TIME : 11.15 am

DESCRIPTION OF LAND

Town of SORELL

Lot 1 on Sealed Plan [188431](#)

Derivation : Part of 310 Acres Gtd. to Alexander Lainge

Prior CTs [63343/15](#) and [63343/16](#)SCHEDULE 1

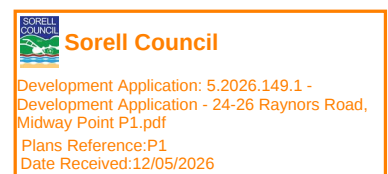
[M942263](#) TRANSFER to BRYANT DDC PTY LTD Registered
24-May-2022 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP188431](#) EASEMENTS in Schedule of Easements
[SP188431](#) FENCING PROVISION in Schedule of Easements
[E294281](#) MORTGAGE to Commonwealth Bank of Australia
Registered 24-May-2022 at 12.01 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 18 8 4 3 1

PAGE 1 OF 3 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Easements

Lot 1 is SUBJECT TO a right of drainage in gross in favour of Sorell Council over the land marked "Drainage Reserve 0.91 Wide (1434D)" on the plan.

Lot 2 is SUBJECT TO a right of drainage in gross in favour of Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00M WIDE" on the plan.

Lot 2 (**the Lot**) is SUBJECT TO a pipeline and services easement in gross in favour of TasWater over the land marked "PIPELINE AND SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00M WIDE" on the plan (**the Easement Land**).

Provision

Fencing Covenant

The vendor, Bryant DDC Pty Ltd ACN 639 319 609, shall not be required to fence.

Definitions

Pipeline and Services Easement is defined as follows:-

- FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:
- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
 - (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
 - (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;

3470-9601-3363, v. 1

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Bryant DDC Pty Ltd	PLAN SEALED BY: Sorell Council
FOLIO REF: CT 63343/15 & 63343/16	DATE: 4.7.25
SOLICITOR & REFERENCE: Dobson Mitchell Allport	7.2022.14.1
AB 24003916	REF NO. Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 3 PAGES	Registered Number SP188431
SUBDIVIDER: Bryant DDC Pty Ltd FOLIO REFERENCE: CTs 63343/15 & 63343/16	

- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

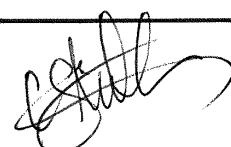
Interpretation:

Infrastructure means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

3470-9601-3363, v. 1

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



 **Sorell Council**
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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 3 PAGES	Registered Number SP188431
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TasWater means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

Execution

Executed by Bryant DDC Pty Ltd ACN)
639 319 609 in accordance with section)
127(1) of the Corporations Act 2001 (Cth))
by its sole director - the company does
not have a company secretary *CGM
06/08/2025



Sole Director

COLIN GREGORY MILLER

Name of Director

*CGM 06/08/2025

Catherine Gaye Morgan
Solicitor for the Subdivider
Dobson Mitchell Allport

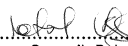
*CGM 05/03/2025

Catherine Gaye Morgan
Solicitor for the Subdivider
Dobson Mitchell Allport

 Sorell Council Development Application: 5.2026.149.1 - Development Application - 24-26 Raynors Road, Midway Point P1.pdf Plans Reference: P1 Date Received: 12/05/2026

3470-9601-3363, v. 1

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OWNER BRYANT DDC PTY LTD FOLIO REFERENCE 63343/15 & 16 GRANTEE PART OF 310 ACRES GTD TO ALEXANDER LAINGE	PLAN OF SURVEY BY SURVEYOR DAVID BRUCE MILLER BROOKS LARK AND CARRICK SURVEYORS UNIT 1 – 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248–5898 MOB. 0400–114–824 TOWN OF SORELL SCALE 1:200 LENGTHS IN METRES	REGISTERED NUMBER SP188431 APPROVED EFFECTIVE FROM1.1.AUG.2025..  Recorder of Titles
PRIORITY FINAL PLAN		
(D63343) (143/4D) (D63343) (143/4D) (SP7585) DRAINAGE RESERVE 0.91 WIDE (143/4D) (SP7585) (D63343) (143/4D) (D63343) (143/4D) RAYNORS ROAD		
WILSON STREET  Sorell Council Development Application: 5.2026.149.1 - Development Application - 24-26 Raynors Road, Midway Point P1.pdf Plans Reference: P1 Date Received: 12/05/2026  Council Delegate 4.7.25 Date		

Agent Authorisation

Project Address:	24-26 Raynors Road, Midway Point
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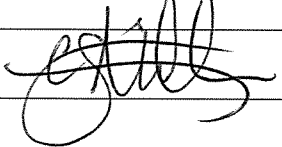
I/We

Owner Name/s:	Colin Gregory Miller
Postal Address:	128 Terrina Street Lauderdale 7021
Phone Number:	0417 246 760
Email Address:	cmiller@harcourts hobart . com . au

Hereby appoint the following person/company representative:

Agent Name/s:	Wilson Homes Pty Ltd
Postal Address:	156 New Town Road, New Town 7008
Phone Number:	
Email Address:	Sonya.gavin@wilsonhomes.com.au

to act as my/our authorised agent to apply for any required certificates and permits, and to provide any necessary information to, or communicate with the relevant council as required, and in accordance with the Building Act 2016 Section 319 and the Acts Interpretation Act Section 23AA.

Owner Name:	Colin Gregory Miller	Owner Signature:	
Owner Name:		Owner Signature:	

AS2870:2011 SITE ASSESSMENT

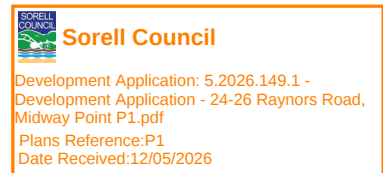
24-26 Raynors Rd

Midway Point

November 2022



GEO-ENVIRONMENTAL
SOLUTIONS



Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

Investigation Details

Client:	Bryant DDC Pty Ltd
Site Address:	24-26 Raynors Rd, Midway Point
Date of Inspection:	16/11/2022
Proposed Works:	New house
Investigation Method:	Geoprobe 540UD - Direct Push
Inspected by:	M. Campbell

Site Details

Certificate of Title (CT):	63343/15
Title Area:	Approx. 589.8 m ²
Applicable Planning Overlays:	Potential Dispersive Soils
Slope & Aspect:	3° S facing slope
Vegetation:	Grass & Weeds

Background Information

Geology Map:	MRT
Geological Unit:	Triassic
Climate:	Annual rainfall 400mm
Water Connection:	Mains
Sewer Connection:	Serviced-Mains
Testing and Classification:	AS2870:2011, AS1726:2017 & AS4055:2021

Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.30	0.00-0.70	SP	SAND: dark grey, slightly moist, loose,
0.30-0.50		SP	SAND: pale grey, slightly moist, loose,
0.50-1.30	0.70-1.20	CI	Sandy CLAY: medium plasticity, orange, brown, white, slightly moist, firm to stiff,
1.30-1.40	1.20-1.30	SW	SAND: pale grey, slightly moist, very dense, few gravels, refusal on sandstone

BH 3 Depth (m)	USCS	Description
0.00-0.40	SP	SAND: dark grey, slightly moist, loose,
0.40-0.60	SP	SAND: pale grey, slightly moist, loose,
0.60-1.40	CI	Sandy CLAY: medium plasticity, orange, brown, white, slightly moist, firm to stiff,
1.40	SW	SAND: pale grey, slightly moist, very dense, few gravels, refusal on sandstone

Site Notes

Soils on the site are developing from Triassic Sandstone The clay fraction is likely to show moderate ground surface movement.

Site Classification

The site has been assessed and classified in accordance with AS2870:2011 “*Residential Slabs and Footings*”.

The site has been classified as:

Class M

Y^s range: **20-40mm**

Notes: that is a moderately reactive clay.

Wind Loading Classification

According to “AS4055:2021 - *Wind Loads for Housing*” the house site is classified below:

Wind Classification:	N3
Region:	A
Terrain Category:	1.0
Shielding Classification:	PS
Topographic Classification:	T2
Wind Classification:	N3
Design Wind Gust Speed – m/s (V _{h,u}):	50

Construction Notes & Recommendations

The site has been classified as **Class M** - Moderately reactive clay or silt site, which may experience moderate ground movement from moisture changes.

It is recommended that foundations be placed on the underlying bedrock to minimise the potential for foundation movement

All earthworks on site must comply with AS3798:2012, and I further recommend that consideration be given to drainage and sediment control on site during and after construction. Care should also be taken to ensure there is adequate drainage in the construction area to avoid the potential for weak bearing and foundation settlement associated with excessive soil moisture.

I also recommend that during construction that I and/or the design engineer be notified of any major variation to the foundation conditions as predicted in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD

Director

Explanatory Notes

1 Scope of Works

The methods of description and classification of soils used in this report are based largely on Australian Standard 1726 – Geotechnical Site Investigations (AS1726:2017), with reference to Australian Standard 1289 – Methods for testing soils for engineering purposes (AS1289), for eventual Site Classification according to Australian Standard 2870 (AS2870:2011) – Residential Slabs and Footings and Australian Standard 1547 (AS1547:2012) On-site domestic wastewater management.

1.1 Site Classification AS2870:2011

Site classification with reference to the above Australian Standards are based on site reactivity.

Class	Foundation Conditions	Characteristic Surface Movement
A	Most sand and rock sites with little or no ground movement from moisture changes.	0mm
S	Slightly reactive clay sites, which may experience only slight ground movement from moisture changes.	0 – 20mm
M	Moderately reactive clay or silt sites, which may experience moderate ground movement from moisture changes.	20 – 40mm
H-1	Highly reactive clay sites, which may experience high ground movement from moisture changes.	40 – 60mm
H-2	Highly reactive clay sites, which may experience very high ground movement from moisture changes.	60 – 75mm
E	Extremely reactive sites, which may experience extreme ground movement from moisture changes.	>75mm

*Note: Soils where foundation performance may be significantly affected by factors other than reactive soil movement are classified as **Class P**.*

A site is classified as **Class P** when:

- The bearing capacity of the soil profile in the foundation zone is generally less than 100kpa
- If excessive foundation settlement may occur due to loading on the foundation.
- The site contains uncontrolled fill greater than 0.8m in depth for sandy sites and 0.4m in depth for other soil materials.
- The site is subject to mine subsistence, landslip, collapse activity or coastal erosion.
- The site is underlain by highly dispersive soils with significant potential for erosion
- If the site is subject to abnormal moisture conditions which can affect foundation performance

1.2 Soil Characterisation

This information explains the terms of phrase used within the soil description area of the report.

It includes terminology for cohesive and non-cohesive soils and includes information on how the Unified Soil Classification Scheme (USCS) codes are determined.

NON COHSIVE – SAND & GRAVEL		
Consistency Description	Field Test	Dynamic Cone Penetrometer blows/100 mm
Very loose (VL)	Easily penetrated with 13 mm reinforcing rod pushed by hand.	0 - 1
Loose (L)	Easily penetrated with 13 mm reinforcing rod pushed by hand. Can be excavated with a spade; 50 mm wooden peg can be easily driven.	1 - 3
Medium dense (MD)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, - hard shovelling.	3 - 8
Dense (D)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, requires pick for excavation: 50 mm wooden peg hard to drive.	8 - 15
Very dense (VD)	Penetrated only 25 - 50 mm with 13 mm reinforcing rod driven with 2 kg hammer.	>15

COHESIVE - SILT & CLAY		
Consistency Description	Field Test	Indicative undrained shear strength kPa
Very soft	Easily penetrated >40 mm by thumb. Exudes between thumb and fingers when squeezed in hand.	<12
Soft	Easily penetrated 10 mm by thumb. Moulded by light finger pressure	>12 and <25
Firm	Impression by thumb with moderate effort. Moulded by strong finger pressure	>25 and <50
Stiff	Slight impression by thumb cannot be moulded with finger.	>50 and <100
Very Stiff	Very tough. Readily indented by thumbnail.	>100 and <200
Hard	Brittle. Indented with difficulty by thumbnail.	>200

1.3 USCS Material Descriptions

Soils for engineering purposes are the unconsolidated materials above bedrock, they can be residual, alluvial, colluvial or aeolian in origin.

Major Divisions		Particle size mm	USCS Group Symbol	Typical Names	Laboratory Classification				
COARSE GRAINED SOILS (more than half of material less than 63 mm is larger than 0.075 mm)	BOULDERS	200			% < 0.075 mm (2)	Plasticity of fine fraction	$C_u = \frac{D_{60}}{D_{10}}$	$C_c = \frac{(D_{30})^3}{(D_{10})(D_{60})}$	NOTES
	COBBLES	63							
	GRAVELS (more than half of coarse fraction is larger than 2.36 mm)	coarse	GW	Well graded gravels and gravel-sand mixtures, little or no fines	0-5	—	>4	Between 1 and 3	(1) Identify fines by the method given for fine-grained soils.
		20	GP	Poorly graded gravels and gravel-sand mixtures, little or no fines, uniform gravels	0-5	—	Fails to comply with above		
		medium	GM	Silty gravels, gravel-sand-silt mixtures (1)	12-50	Below 'A' line or PI<4	—	—	
		fine	GC	Clayey gravels, gravel-sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—	—	(2) Borderline classifications occur when the percentage of fines (fraction smaller than 0.075 mm size) is greater than 5% and less than 12%. Borderline classifications require the use of SP-SM, GW-GC.
	2.36	SW	Well graded sands and gravelly sands, little or no fines	0-5	—	>6	Between 1 and 3		
	coarse	SP	Poorly graded sands and gravelly sands, little or no fines	0-5	—	Fails to comply with above			
	0.6	SM	Silty sands, sand silt mixtures (1)	12-50	Below 'A' line or PI<4	—	—		
	medium	SC	Clayey sands, sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—	—		
	0.2								
0.075									
FINE GRAINED SOILS (more than half of material less than 63 mm is smaller than 0.075 mm)	SILTS & CLAYS (Liquid Limit ≤50%)	ML	Inorganic silts, very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity	Plasticity Chart For classification of fine grained soils and fine fraction of coarse grained soils. The Plasticity Chart is a graph with Plastic Index (%) on the y-axis (0 to 60) and Liquid Limit (%) on the x-axis (0 to 100). It features two main lines: the 'A' line (PI = LL - 0.73) and the 'U' line (PI = 0.73(LL - 20)). Vertical lines at LL = 25, 40, and 60 are labeled Low, Medium, and High plasticity respectively. Regions are labeled: CL (Clay), CH (High plasticity clay), ML (Low plasticity silt), MH (High plasticity silt), OL (Organic clay), OH (Organic high plasticity clay), and PT (Peat). A dashed line separates the 'A' line from the 'U' line, and a solid line separates the 'U' line from the 'A' line.					
		CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays						
		OL	Organic silts and clays of low plasticity						
	SILTS & CLAYS (Liquid Limit >50%)	MH	Inorganic silts, micaceous or diatomaceous fine sands or silts, elastic silts						
		CH	Inorganic clays of high plasticity, fat clays						
		OH	Organic silts and clays of high plasticity						
	HIGHLY ORGANIC SOILS	PT	Peat and other highly organic soils						

Grain size analysis is performed by two processes depending on particle size. Sand silt and clay particles are assessed using a standardised hydrometer test, and coarse sand and larger is assessed through sieving by USCS certified sieves. For more detail see the following section.

Soil Classification	Particle Size
Clay	Less than 0.002mm
Silt	0.002 – 0.06mm
Fine/Medium Sand	0.06 – 2.0mm
Coarse Sand	2.0mm – 4.75mm
Gravel	4.75mm – 60.00mm

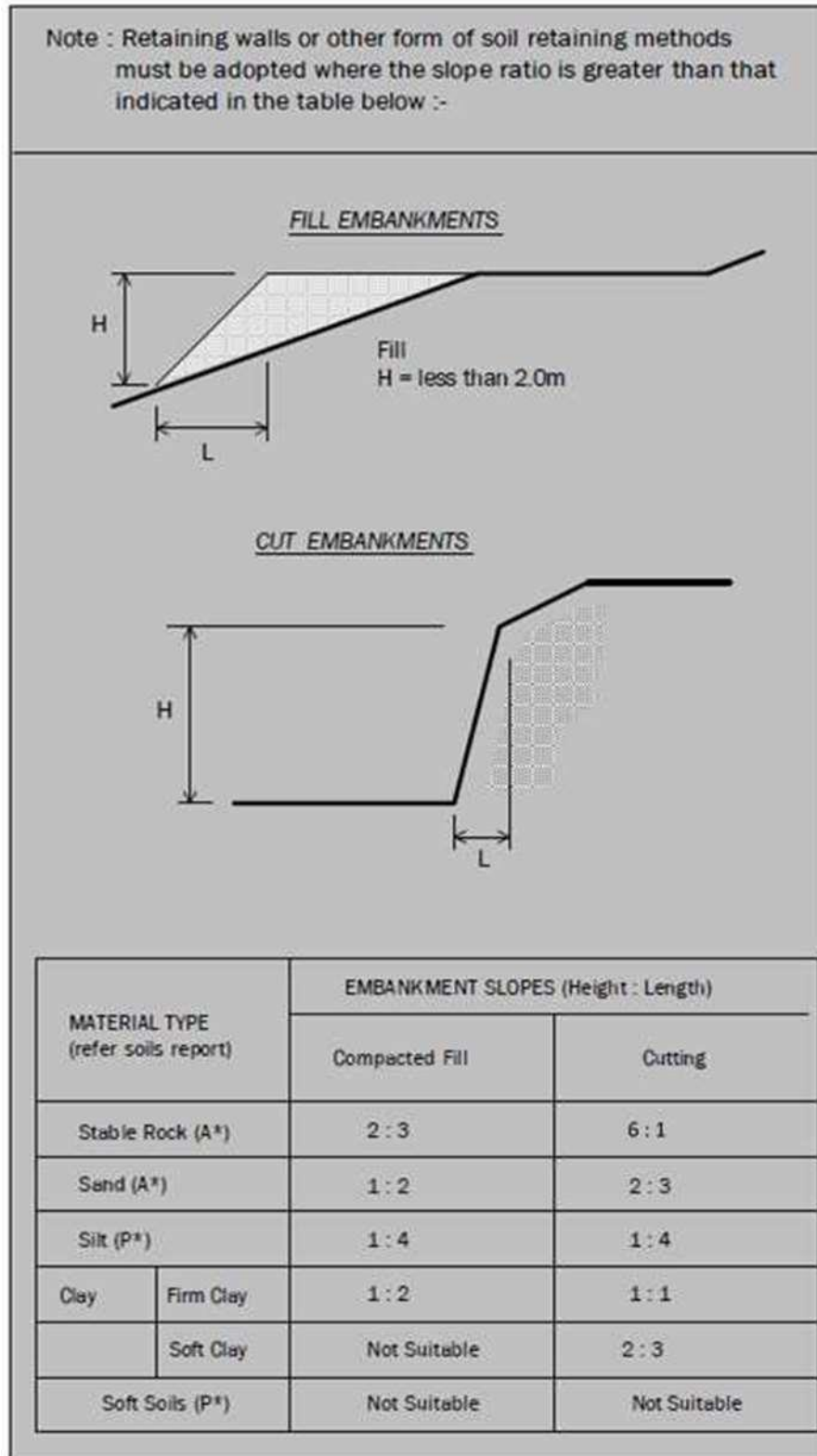
1.4 Bearing Capacities and DCP testing.

DCP and PSP weighted penetrometer tests – Dynamic Cone Penetrometer (DCP) and Perth Sand Penetrometer (PSP) tests are carried out by driving a rod into the ground with a falling weight hammer and measuring the blows for successive 100mm increments of penetration. Normally, there is a depth limitation of 1.2m but this may be extended in certain conditions by the use of extension rods. The methods for the two tests are quite similar.

- Dynamic Cone Penetrometer – a 16mm rod with a 20mm diameter cone end is driven with a 9kg hammer dropping 510mm (AS 1289, Test 6.3.2).
- Perth Sand Penetrometer – a 16mm diameter flat-ended rod is driven with a 9kg hammer, dropping 600mm (AS 1289 Test 6.3.3). This test was developed for testing the density of sands and is mainly used in granular soils and filling.

Site Anomalies – During construction GES will need to be notified of any major variation to the foundation conditions as predicted in this report.

1.5 Batter Angles for Embankments (Guide Only)



Glossary of Terms

Bearing Capacity – Maximum bearing pressure that can be sustained by the foundation from the proposed footing system under service loads which should avoid failure or excessive settlement.

Clay – (Mineral particles less than 0.002mm in diameter). Fine grained cohesive soil with plastic properties when wet. Also includes sandy clays, silty clays, and gravelly clays.

Dynamic Cone Penetrometer (DCP) – Field equipment used to determine underlying soil strength and therefore bearing capacity (kPa) by measuring the penetration of the device into the soil after each hammer blow.

Dispersive soil – A soil that has the ability to pass rapidly into suspension in water.

Footing – Construction which transfers the load from the building to the foundation.

Foundation – Ground which supports the building

Landslip – Foundation condition on a sloping site where downhill foundation movement or failure is a design consideration.

Qualified Engineer – A professional engineer with academic qualifications in geotechnical or structural engineering who also has extensive experience in the design of the footing systems for houses or similar structures.

Reactive Site – Site consisting of clay soil which swells on wetting and shrinks on drying by an amount that can damage buildings on light strip footings or unstiffened slabs. Includes sites classified as S, M, H-1, H-2 & E in accordance with AS2870-2011.

Sand – (Mineral particles greater than 0.02mm in diameter). Granular non-cohesive, non-plastic soil that may contain fines including silt or clay up to 15%.

Services – Means all underground services to the site including but not limited to power, telephone, sewerage, water & storm water.

Silt – (Mineral particles 0.002 – 0.02mm in diameter). Fine grained non-cohesive soil, non-plastic when wet. Often confers a silky smoothness of field texture, regularly includes clay and sand to form clayey silts, sandy silts and gravelly silts.

Site – The site title, as denoted by address, lot number, or Certificate of Title (CT) number, or Property Identification Number (PID).

Surface Movement (Ys) – Design movement (mm) at the surface of a reactive site caused by moisture changes.

Disclaimer

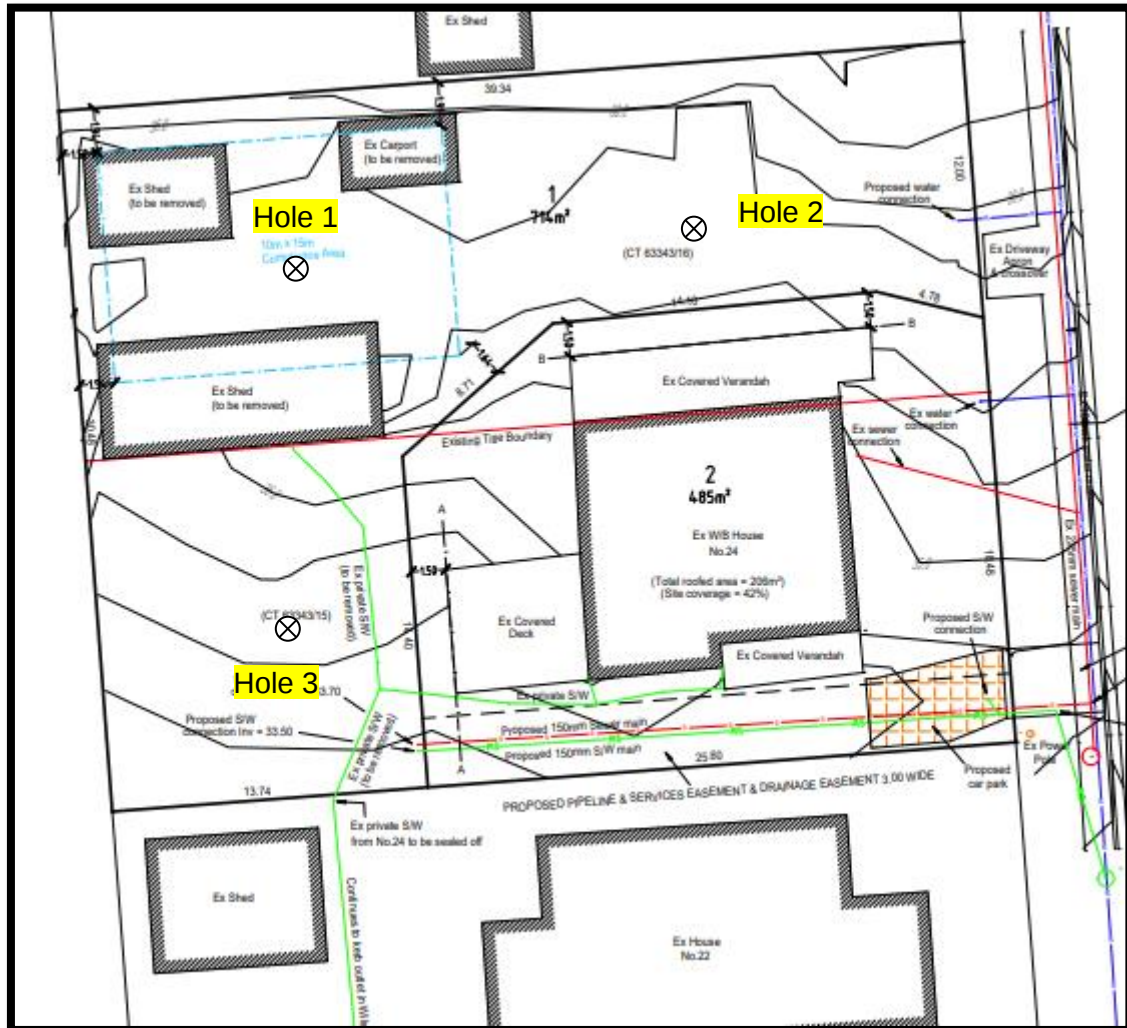
This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for use of any part of this report in any other context or for any other purpose by third a party.

Site Plan



CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Owner /Agent
 Address
 Suburb/postcode

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: Lot No:
 Certificate of title No:
The assessable item related to this certificate: (description of the assessable item being certified)
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

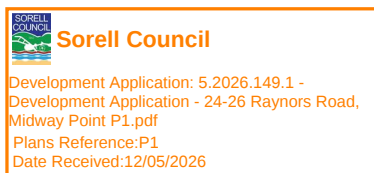
Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work ☒
or

a building, temporary structure or plumbing installation: ☐



In issuing this certificate the following matters are relevant –

Documents:	The attached soil report for the address detailed above in 'details of Work'
Relevant calculations:	Reference the above report.
References:	AS2870:2011 residential slabs and footings AS1726:2017 Geotechnical site investigations CSIRO Building technology file – 18.

Substance of Certificate: (what it is that is being certified)

Site Classification consistent with AS2870-2011.

Scope and/or Limitations

The classification applies to the site as inspected and does not account for future alteration to foundation conditions as a result of earth works, drainage condition changes or variations in site maintenance.

I, John-Paul Cumming certify the matters described in this certificate.

Qualified person:

Signed:

Certificate No:

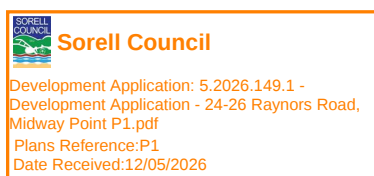
Date:

J8030

16/11/2022



A handwritten signature in black ink, appearing to be "John Paul Cumming".





Sorell Council

Development Application:5.2026.149.1 -
Response to Request For Information - 26
Raynors Road, Midway Point P3.pdf

Plan Reference:P3

Date received:21/08/2026



GES

geo-environmental
solutions

DISPERSIVE SOIL ASSESSMENT

JOB NUMBER

J13604

ADDRESS

26 Raynors Road

Midway Point

CLIENT

Wilson Homes- Multi Res Division

GEO- ENVIRONMENTAL SOLUTIONS

29 Kirksway Place, Battery Point, Tasmania. 7004. T|62231839 E| office@geosolutions.net.au
www.geosolutions.net.au



Investigation Details

Client:	Emily O'Brien
Site Address:	26 Raynors Road, Midway Point
Investigation Type:	Dispersive Soil Assessment
Investigation Method:	Geoprobe 540UD - Direct Push
Inspected by:	M. Campbell



Site Details

Certificate of Title (CT):	188431/1
Title Area:	Approx. 727.3 m ²
Applicable Planning Overlays:	Potential Dispersive Soils
Slope & Aspect:	3° S facing slope
Vegetation:	Grass & Weeds

Background Information

Geology Map:	MRT
Geological Unit:	Triassic Sandstone
Climate:	Annual rainfall 400mm
Water Connection:	Mains
Sewer Connection:	Serviced-Mains
Testing and Classification:	AS2870:2011, AS1726:2017 & AS4055:2021



Investigation

Boreholes were completed at selected locations across the site to characterise the subsurface conditions and assess the distribution and variability of soil materials. The interpreted soil profile conditions are summarised below. In-situ testing was undertaken at the time of investigation to provide an indication of the bearing capacity of the materials encountered.

Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.30	0.00-0.70	SP	SAND: dark grey, slightly moist, loose,
0.30-0.50		SP	SAND: pale grey, slightly moist, loose
0.50-1.30	0.70-1.20	CI	Sandy CLAY: medium plasticity, orange, brown, white, slightly moist, firm to stiff,
1.30-1.40	1.20-1.30	SW	SAND: pale grey, slightly moist, very dense, few gravels, refusal on sandstone

Site Notes

The soil on site has formed from Triassic sandstone. The clay subsoil was tested for dispersion using the Emerson Test method and was found to be Slightly dispersive (Class 2.1) - Some dispersion (slight milkiness, immediately adjacent to aggregate).

Dispersive Soil Assessment

The dispersive soil assessment of the property considers the proposed construction area.

Potential for dispersive soils

The site has been identified as an area that may be subject to tunnel erosion hazard according to 'Dispersive Soils and Their Management: Technical Reference Manual'. This is due to the clay soils present on site that developed from Triassic sandstone that contain considerable fine sand/silt content and clays. Triassic sandstone in the local area is known to produce soils with an excess of sodium on the soil exchange complex, which can cause soil dispersion. Under some circumstances the presence of dispersive soils can also lead to significant erosion, and in particular tunnel erosion. Based upon field survey of the property, no visible tunnel or gully erosion was identified. However, a soil sampling program was undertaken to identify the presence of dispersive soils in the proposed development areas.



Soil sampling and testing

Samples were taken at the site for assessment of dispersion. An Emerson (1968) Dispersion test was conducted to determine if these samples were dispersive.

The samples taken from site were found to be Slightly dispersive (Class 2.1) - Some dispersion (slight milkiness, immediately adjacent to aggregate).

Table 1 - Emerson Test Results

Sample	Texture	Emerson Class	Description
Sample 1	SAND to Sandy CLAY	Class 3(1)	slight milkiness, immediately adjacent to aggregate
Sample 2	SAND to Sandy CLAY	Class 3(1)	slight milkiness, immediately adjacent to aggregate

Management Recommendations

Site and soil management measures are recommended for development on the site.

Any proposed site cut/fill and driveway areas may be managed by:

- Applying a geo-fabric, jute mesh or similar material to the exposed batters of any cutting on site and revegetating the slope
- Applying a surface layer of at least 50mm of suitable crushed rock/gravel to the driveway surface (and any proposed house pad), with adequate compaction to ensure a relatively impervious surface to maintain site surface stability
- Vegetation on any fill batters should be established and maintained, if any bare area of soil on the batter develops then it must be top-dressed with suitable topsoil and additional vegetation planted

The risk of erosion and tunnel erosion associated with construction should be minimised by:

- Any new water, power, or other service trenches within the property must ensure recommendations for dispersive soils are followed:
 - o Where possible trenches to be placed shallow in topsoil and mounded over to achieve the required cover depth
 - o If buried the trench must be backfilled in layers of no more than 200mm with clay with 5% by weight gypsum added (the clay must be sufficiently moist to allow good compaction).
 - o The trench must be finished with at least 150mm depth of non-dispersive suitable topsoil and finished to a level at least 75mm above natural ground to allow for possible settlement



- Vegetation cover must be maintained wherever possible on the property
- Foundations may be placed into the natural soil or rock; however, care must be taken to ensure all exposed clay soil in the foundation area is compacted and 1Kg/m² of gypsum is applied. Excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil with natural soil and gypsum
- All stormwater runoff from the dwelling to be directed to mains connection (all the drains are to be adequately treated with gypsum)
- Drainage of any site cut must not employ conventional rock drain construction; it must adhere to recommendations for dispersive soils (unless founded entirely in rock)
- All excavation works on site should be monitored for signs of soil dispersion and remedial action taken as required – any excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil

Conclusions

There is a very low risk associated with dispersive soil and potential erosion on the site. Efforts should be made to cover any exposed clay soils on cut/fill batters with topsoil and seeded with well suited pasture species to avoid rainwater, runoff, surface water flows from intercepting exposed subsoils.

A number of site management recommendations have been made in this report and further information can also be found in the publication “Dispersive soils and their management – Technical manual” (DPIWE Tas 2009)

It is recommended that during construction that GES be notified of any variation to the soil conditions as outlined in this report.



APPENDIX A - Disclaimer

This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for use of any part of this report in any other context or for any other purpose by a third party.

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE
ITEM

Section 321

To:

Wilson Homes- Multi Res Division

250 Murray Street

Hobart

7000

Owner /Agent

Address

Suburb/postcode:

Form 55

Qualified person details:

Qualified person:

John-Paul Cumming

Address:

29 Kirksway Place

Battery Point

7004

Phone No:

03 6223 1839

Fax No:

Licence No:

A0999

Email address:

jcumming@geosolutions.net.au

Qualifications and Insurance details:

Certified Professional Soil Scientist (CPSS stage 2)

(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise:

Dispersive Soils Assessment

(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address:

26 Raynors Road

Midway Point

7171

Lot No:

Certificate of title No:

188431/1

The assessable item related to this certificate:

Classification of foundation Conditions according to AS2870-2011 including assessment of dispersive soils.

(description of the assessable item being certified)
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type:

Dispersive Soils Assessment

(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable items, at any stage, as part of – (tick one)

☒ building work, plumbing work or plumbing installation or demolition work

OR

☐ a building, temporary structure or plumbing installation

In issuing this certificate the following matters are relevant –

Documents:	The attached soil and dispersion reports for the address detailed above in 'details of work'
Relevant calculations:	Reference the above reports.
References:	AS2870:2011 residential slabs and footings AS1726:2017 Geotechnical site investigations CSIRO Building technology file – 18. DPIWE Dispersive Soil Management Guidelines.

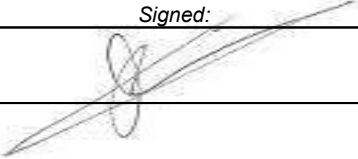
Substance of Certificate: (what it is that is being certified)

Dispersive Soils Assessment

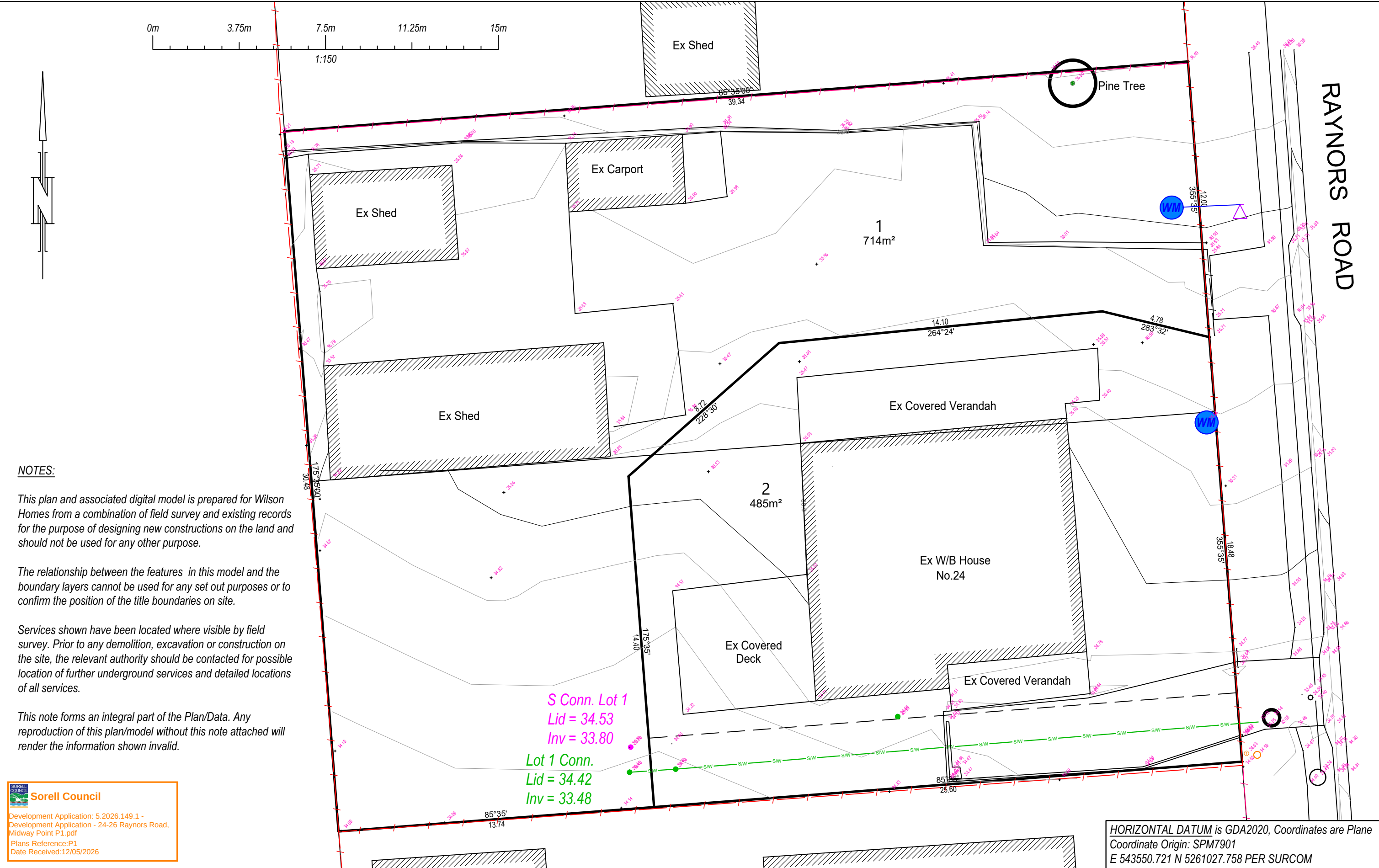
Scope and/or Limitations

The classification applies to the site as inspected and does not account for future alteration to foundation conditions as a result of earth works, drainage condition changes or variations in site maintenance.

I, John-Paul Cumming certify the matters described in this certificate.

Qualified person:	<i>Signed:</i>	<i>Certificate No:</i>	<i>Date:</i>
		J13604	18/08/2026





NOTES:

This plan and associated digital model is prepared for Wilson Homes from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose.

The relationship between the features in this model and the boundary layers cannot be used for any set out purposes or to confirm the position of the title boundaries on site.

Services shown have been located where visible by field survey. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

This note forms an integral part of the Plan/Data. Any reproduction of this plan/model without this note attached will render the information shown invalid.

**Sorell Council**
Development Application: 5.2026.149.1 -
Development Application - 24-26 Raynors Road,
Midway Point P1.pdf
Plans Reference:P1
Date Received:12/05/2026

REV	AMENDMENTS	DRAWN	DATE	APPR.
E				
D				
C				
B				
A				

**Brooks, Lark
and Carrick
SURVEYORS**

UNIT 1, 2 KENNEDY DRIVE
CAMBRIDGE 7170
PHONE: (03)6248 5898
EMAIL: admin@blcsurveyors.com.au
WEB: www.rbsurveyors.com

Contour & Detail Plan
FOR: BRYANT DDC PTY LTD
LOCATION: 26 RAYNORS ROAD,
MIDWAY POINT

HORIZONTAL DATUM is GDA2020, Coordinates are Plane
Coordinate Origin: SPM7901
E 543550.721 N 5261027.758 PER SURCOM

Date:	Contour interval:	Reference:
25/03/2026	0.250m	DDC002 14197-01
Drawn:	Scale:	Bearing Datum:
DM	1:150 (A3)	MGA2020 per
Approved:	Title Reference:	SP188431
DM	188431/1	Vertical Datum:
		AHD83 per RTK GPS



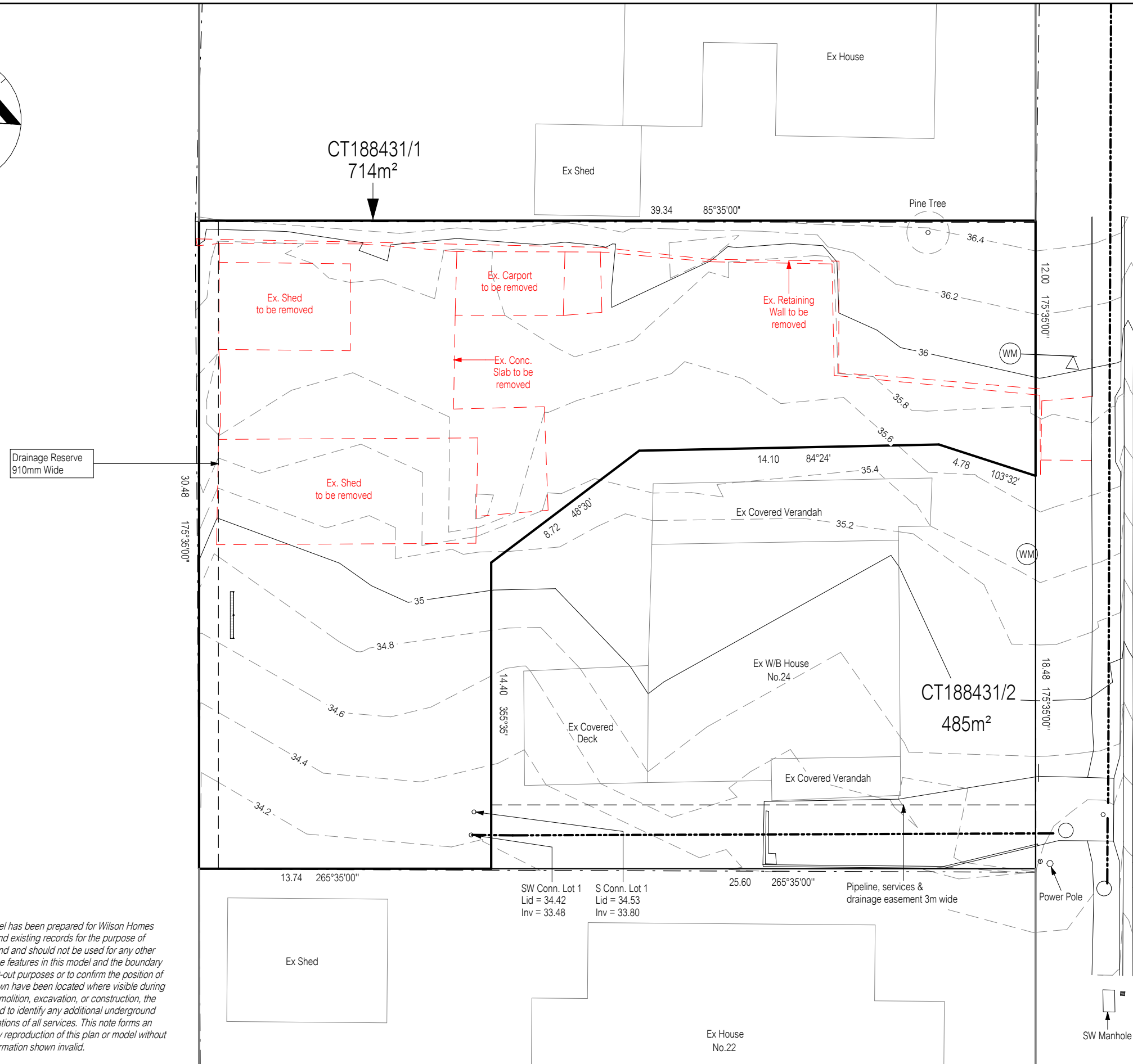
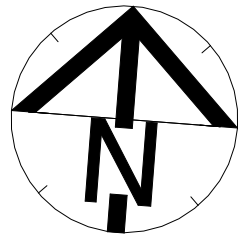
WH714710 - PROPOSED ERIKSEN UNIT DEVELOPMENT
26 Raynors Road,
MIDWAY POINT

SHEET		DRAWING TITLE
01		EXISTING SITE PLAN
01a	A	PROPOSED SITE PLAN
01b	A	DRAINAGE PLAN
01c	A	SOIL & WATER MANAGEMENT PLAN
01d	A	MANOEUVRING PLAN 1
01e	A	MANOEUVRING PLAN 2
01f	A	MANOEUVRING PLAN 3
01g	A	MANOEUVRING PLAN 4
01h	A	MANOEUVRING PLAN 5
01i	A	MANOEUVRING PLAN 6
01j	B	PERSPECTIVE VIEWS
02	A	U1 FLOOR PLAN
03	A	U1 ELEVATIONS SHEET 1
03a	A	U1 ELEVATIONS SHEET 2
03b	A	U1 KITCHEN INTERNAL ELEVATIONS
03c	A	U1 BATHROOM INTERNAL ELEVATIONS
03d	A	U1 ENSUITE INTERNAL ELEVATIONS
03e	A	U1 LAUNDRY INTERNAL ELEVATIONS
04	B	U2 FLOOR PLAN
05	A	U2 ELEVATIONS SHEET 1
05a	B	U2 ELEVATIONS SHEET 2
05b	A	U2 KITCHEN INTERNAL ELEVATIONS
05c	A	U2 BATHROOM INTERNAL ELEVATIONS
05d	A	U2 ENSUITE INTERNAL ELEVATIONS
05e	A	U2 LAUNDRY INTERNAL ELEVATIONS



B	Provide highlight window to U2 Bed 1. Update relevant plans	20 Jul. 2026	ST	SF	01j, 04, 05b, U2 elect
A	NEW DA PLAN SET	03 Jul. 2026	JP	ST	01a-05e
	DA PLAN SET	28 Apr. 2026	JP	SW	01-05
No.	Amendment	Date	Drawn	Checked	Sheet

Notes - Builder to verify all dimensions and levels on site prior to commencement of work - All work to be carried out in accordance with the current National Construction Code. - All materials to be installed according to manufacturers specifications. - Do not scale from these drawings. - No changes permitted without consultation with designer.	Designer:	Client / Project info	Soil Classification: M Title Reference: CT188431/1 Floor Areas: See Floor Plan Porch / Deck Areas: See Floor Plan Wind Speed: N3 Climate Zone: 7 Alpine Zone: N/A Corrosion Environment: High Certified BAL: Not required Designed BAL: Not required (Refer to Standard Notes for Explanation)	COVER SHEET		
	ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED ERIKSEN UNIT DEVELOPMENT 26 Raynors Road, MIDWAY POINT			WH714710	
				Date	22 April 2026	Sheet
				Scale		
			00/05			



NOTES:
This plan and associated digital model has been prepared for Wilson Homes using a combination of field survey and existing records for the purpose of designing new construction on the land and should not be used for any other purpose. The relationship between the features in this model and the boundary layers must not be relied upon for set-out purposes or to confirm the position of title boundaries on site. Services shown have been located where visible during field survey; however, prior to any demolition, excavation, or construction, the relevant authority should be contacted to identify any additional underground services and confirm the precise locations of all services. This note forms an integral part of the plan/data, and any reproduction of this plan or model without this note attached will render the information shown invalid.



No.	Date	Int.	Amendment changes as per cover sheet
-----	------	------	--------------------------------------

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
 - All work to be carried out in accordance with the current National Construction Code.
 - All materials to be installed according to manufacturers specifications.
 - Do not scale from these drawings.
 - No changes permitted without consultation with designer.

Designer:

ANOTHER PERSPECTIVE PTY LTD
PO BOX 171
NORTH HOBART
LIC. NO. 685230609 (S. Turvey)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info

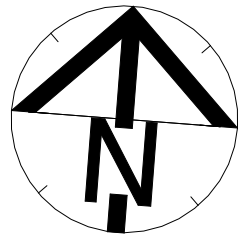
PROPOSED ERIKSEN UNIT DEVELOPMENT
26 Raynors Road,
MIDWAY POINT



EXISTING SITE PLAN

Drawn	JP	WH714710
Date	22 April 2026	Sheet
Scale	1 : 200	

01/05

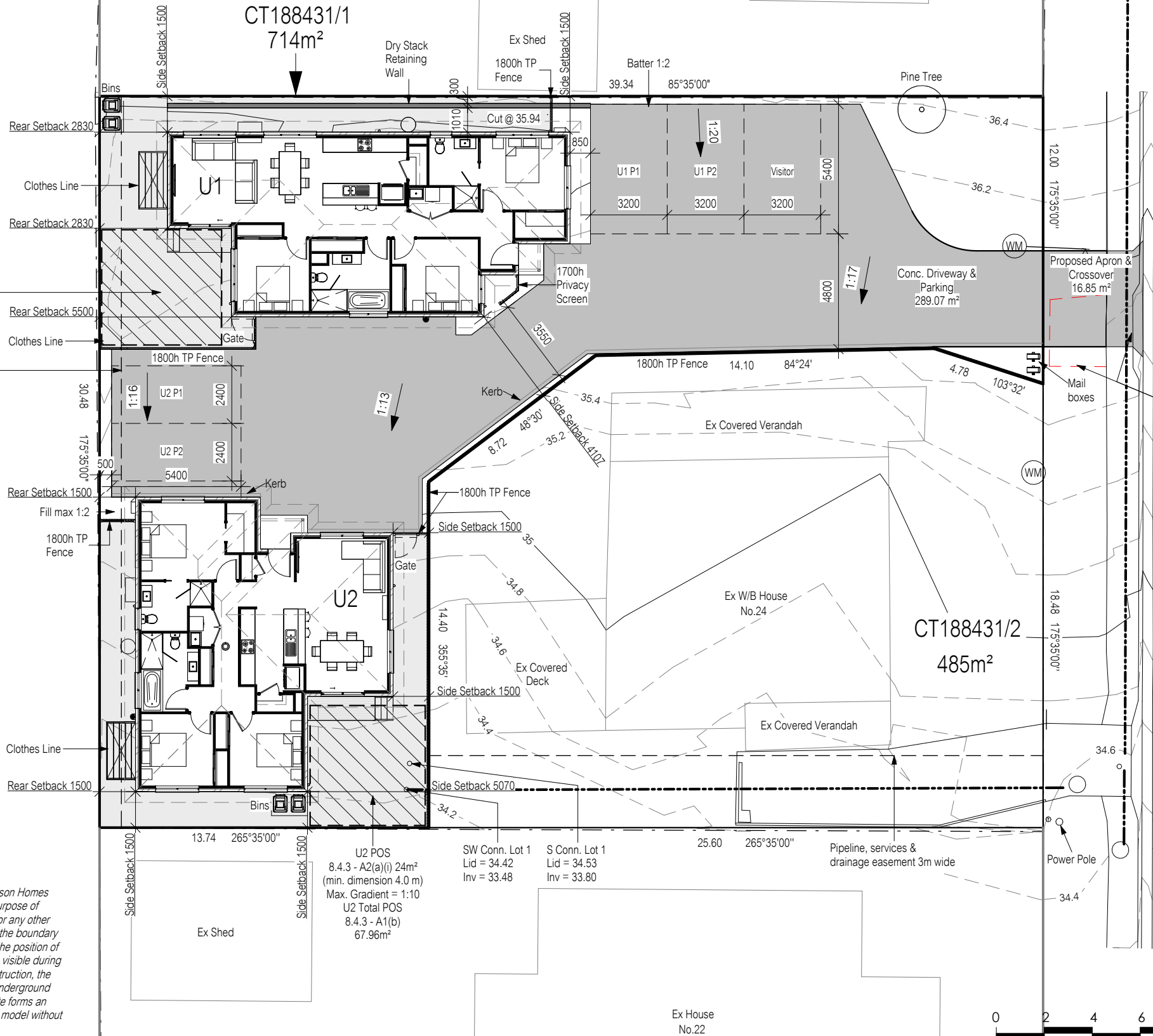


U1 Ground FFL 36.20
U2 Ground FFL 35.35

U1 POS
8.4.3 - A2(a)(i) 24m²
(min. dimension 4.0 m)
Max. Gradient = 1:10
U1 Total POS
8.4.3 - A1(b)
68.73m²

Drainage Reserve
910mm Wide

NOTES:
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RAYNORS ROAD

Existing apron & crossover to be widened in accordance with the LGAT Tasmanian Standard Drawings (TSD-R09 & TSD-E01).

EXPLANATORY NOTES: TASMANIAN PLANNING SCHEME - SORELL COUNCIL	
8.4.1 - Residential density for multiple dwellings	
A1	Site Density: Min. 325m ² per unit 714m ² / 2 (units) = 357m ² provided
8.4.3 - Site coverage and private open space for all dwellings	
A1 (a)	Site Coverage: Max. 50% of site = 357.00m ² Proposed site coverage (excl. eaves up to 0.6m): 225.22m ² (31.54%)

A	03 Jul. 2026	JP
No.	Date	Int.

Amendment changes as per cover sheet

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
 - All work to be carried out in accordance with the current National Construction Code.
 - All materials to be installed according to manufacturers specifications.
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 - No changes permitted without consultation with designer.

Designer:
ANOTHER PERSPECTIVE PTY LTD
PO BOX 171
NORTH HOBART
LIC. NO. 685230609 (S. Turvey)
Ph: (03) 6231 4122
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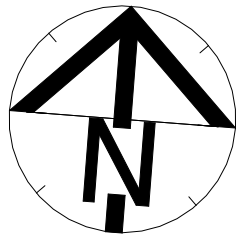
Client / Project info
PROPOSED ERIKSEN UNIT DEVELOPMENT
26 Raynors Road,
MIDWAY POINT



PROPOSED SITE PLAN

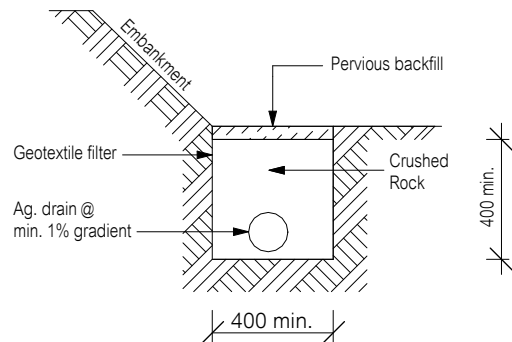
Drawn	JP	WH714710
Date	22 April 2026	Sheet
Scale	1:200	

01a/05



Where ag drain is < 1.8m from footing, the following engineering principles are required:

1. Ag drain to be capped with 300mm of clay to prevent ingress of surface run-off unless it is under a paving slab etc (ag drains are designed for removal of ground water, surface water should be dealt with separately).
2. Ag drain to have a minimum 1% fall to a grated pit which drains to the stormwater system.
3. Install a geotextile filter sock to the slotted drain, and enclose the whole drain in geofabric (to the underside of clay capping).
4. Provide additional grated pits / or inspection openings along the length of the ag drain and at the high point to make the effect of a blockage visible and enable a blockage to be cleared.



TYPICAL AG. DRAIN DETAIL
(≥1800 FROM HOUSE)
Not to scale

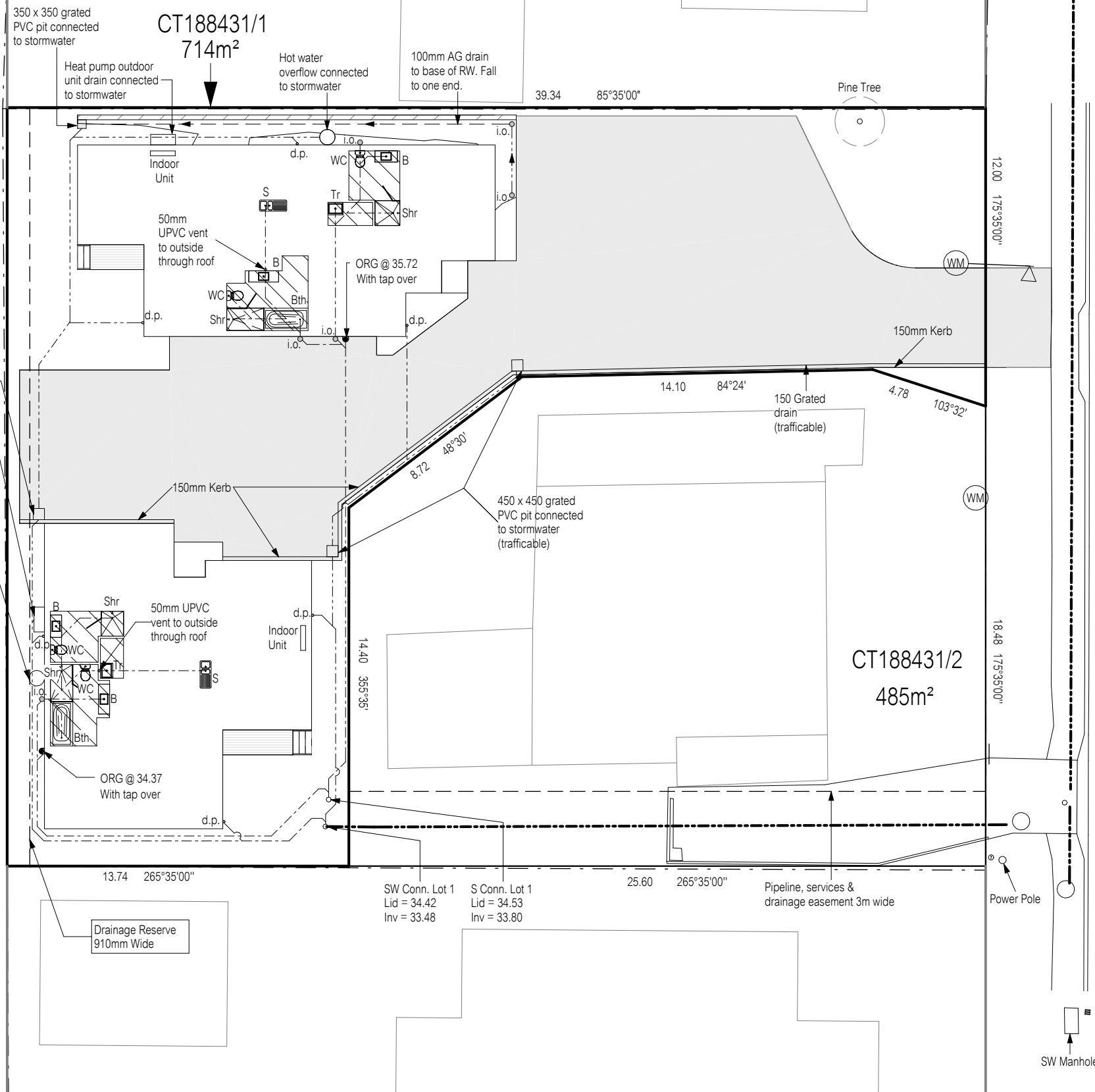
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NOTES:
- Any modifications (including installation of a meter) to the existing property water service shall be undertaken by TasWater at the developers cost
- Meters and check valves detailed are to be provided by TasWater at the developer's cost.

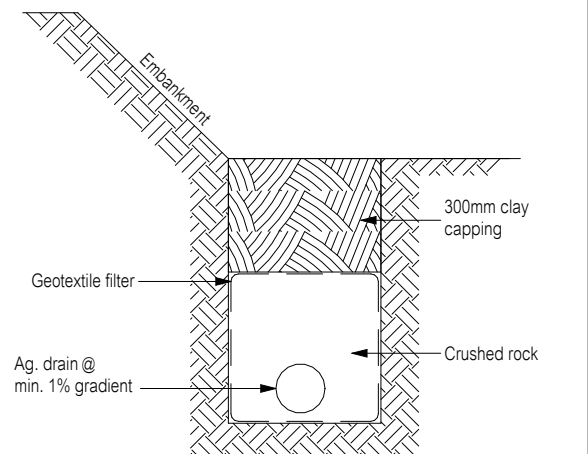
- Upgrade existing DN25mm (ID20) water connection to new DN32mm (ID25) PN16 PE water connection with 2 x DN20 water meters (utilising existing TPFNR) on a manifold as per TWS-W-0002 - Sheet 02 & 09. Below ground low hazard installed by TasWater's contractor.

- Water connections separated by manifold provided by TasWater

- Property services shall be located at a point where the Gate Valve to be located 500mm inside the front property boundary and 500mm from the edge of the driveway towards the centre of the lot in accordance with TasWater Water Metering Guidelines.



DRAINAGE LEGEND		
Abbreviation	Fixture	Min. Outlet Size
B	Basin	400
Bth	Bath	400 (incl. trap)
Shr	Shower	400 (Note 3)
S	Sink	500
Tr	Trough	400
WC	Water Closet Pan	1000
d.p.	Downpipe	900
ORG	Overflow Relief Gully	1000
FWG	Floor Waste Gully	650 (Note 2)
----- Sewer Line (1000 UPVC) (unless noted otherwise)		
----- Stormwater Line (1000 UPVC) (unless noted otherwise)		
----- Stormwater Line (1500 UPVC) (unless noted otherwise)		
NOTES:		
1. Flexible connections are to be installed on any pipes emerging from beneath the building in accordance with AS2870 & AS/NZS3500.2:2021.		
2. Untrapped Bath tub pipe to connect to FWG if trap not accessible from below or access panel.		
3. 500 required for multiple shower heads. 650 where outlet is being used as a FWG		
4. Showers to comply with N.C.C. 10.2.14.		
5. Falls to floor waste to be minimum 1:80 & maximum 1:50		



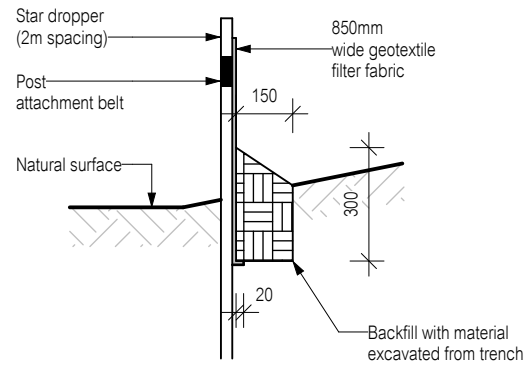
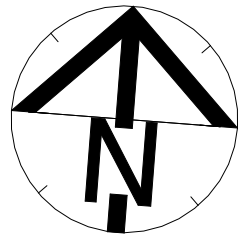
TYPICAL AG. DRAIN DETAIL
(<1800 FROM HOUSE)
Not to scale

Refer to Roof Plan for downpipe calculations

All works are to in accordance with AS3500 & the Water Supply Code of Australia WSA 03-2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA Version 2.0 and TasWater's supplements to these codes.

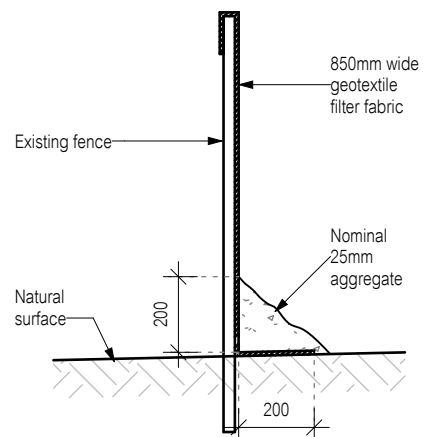


Soil classification: M			- Wet areas to comply with NCC 10.2 and AS3740	Notes - Builder to verify all dimensions and levels on site prior to commencement of work - All work to be carried out in accordance with the current National Construction Code. - All materials to be installed according to manufacturers specifications. - Do not scale from these drawings. - No changes permitted without consultation with designer.	Designer:	Client / Project info		DRAINAGE PLAN	
Refer to Soil Report for nominated founding depth and description of founding material.					ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED ERIKSEN UNIT DEVELOPMENT 26 Raynors Road, MIDWAY POINT		Drawn JP	WH714710
All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3								Date 24 April 2026	Sheet
Amendment changes as per cover sheet								Scale 1:200	01b/05



SILT STOP TYPE 1

TEMPORARY FENCE 1:20

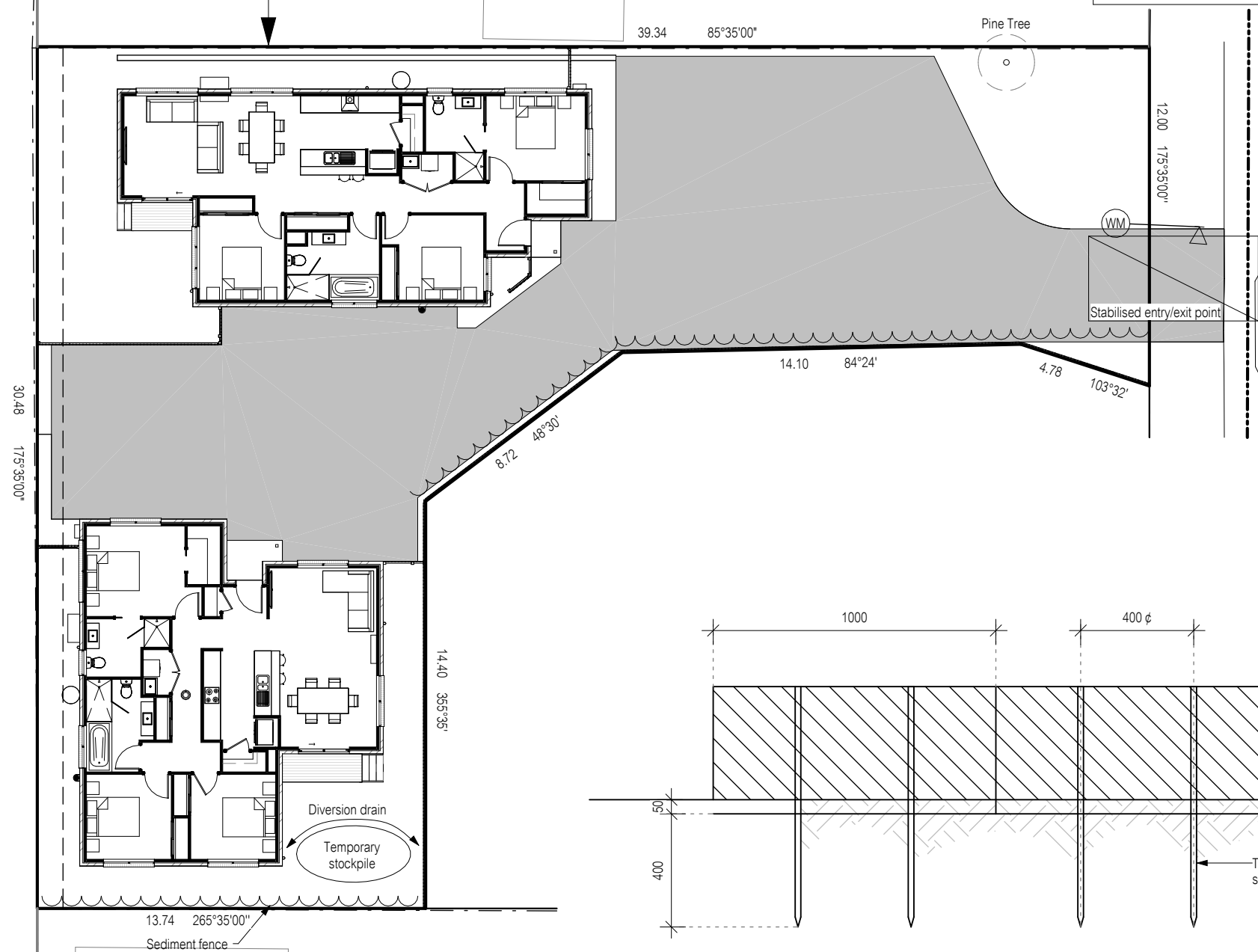


SILT STOP TYPE 2

EXISTING FENCE 1:20

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CT188431/1
714m²

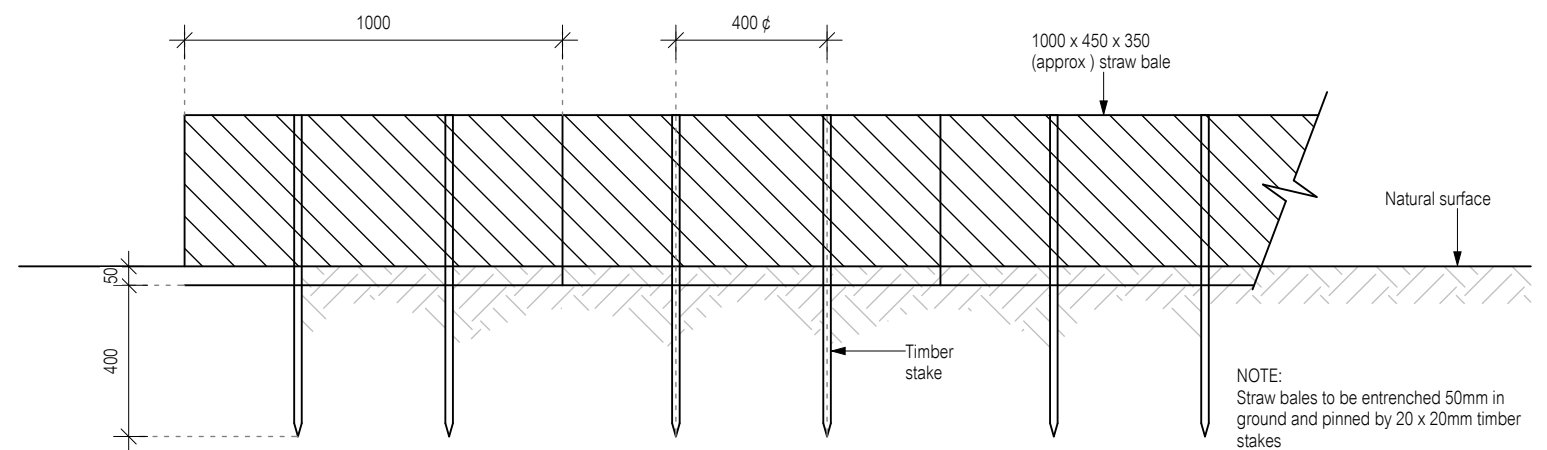


SOIL & WATER MANAGEMENT PLAN

SCALE: 1 : 200

- NOTES:**
1. Erosion and sediment control structures to be inspected each working day and maintained in good working order.
 2. All ground cover vegetation outside the immediate building area to be preserved during the building phase
 3. All erosion and sediment control measures to be installed prior to commencement of major earthworks.
 4. Stockpiles of clayey material to be covered with an impervious sheet.
 5. Roof water downpipes to be connected to the permanent underground Stormwater drainage system as soon as practical after the roof is laid

- NOTES:**
- Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site
- NOTES:**
1. Diversion drains are to be connected to a legal discharge point. (council Stormwater system, watercourse or road drain).
 2. Sediment retention traps installed around the inlets to the Stormwater system to prevent sediment & other debris blocking the drains.



STRAW BALE SEDIMENT TRAP SECTION DETAIL

SCALE 1:20

A	03 Jul. 2026	JP
No.	Date	Int.

Amendment changes as per cover sheet

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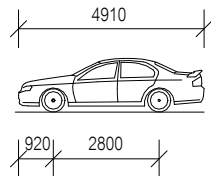
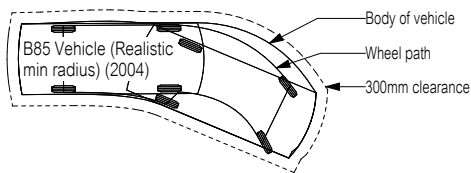
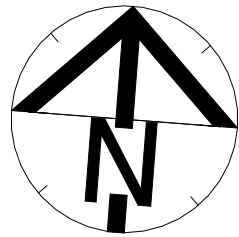
Client / Project info

PROPOSED ERIKSEN UNIT DEVELOPMENT
26 Raynors Road,
MIDWAY POINT



SOIL & WATER MANAGEMENT PLAN

Drawn	JP	WH714710
Date	24 April 2026	Sheet
Scale	As indicated	01c/05



B85 Vehicle (Realistic min radius) (2004)

Overall Length	4.910m
Overall Width	1.870m
Overall Body Height	1.421m
Min Body Ground Clearance	0.159m
Track Width	1.770m
Lock to Lock Time	4.00s
Curb to Curb Turning Radius	5.750m

* Manoeuvring has been achieved using 'autotrack 10' Manoeuvring software.

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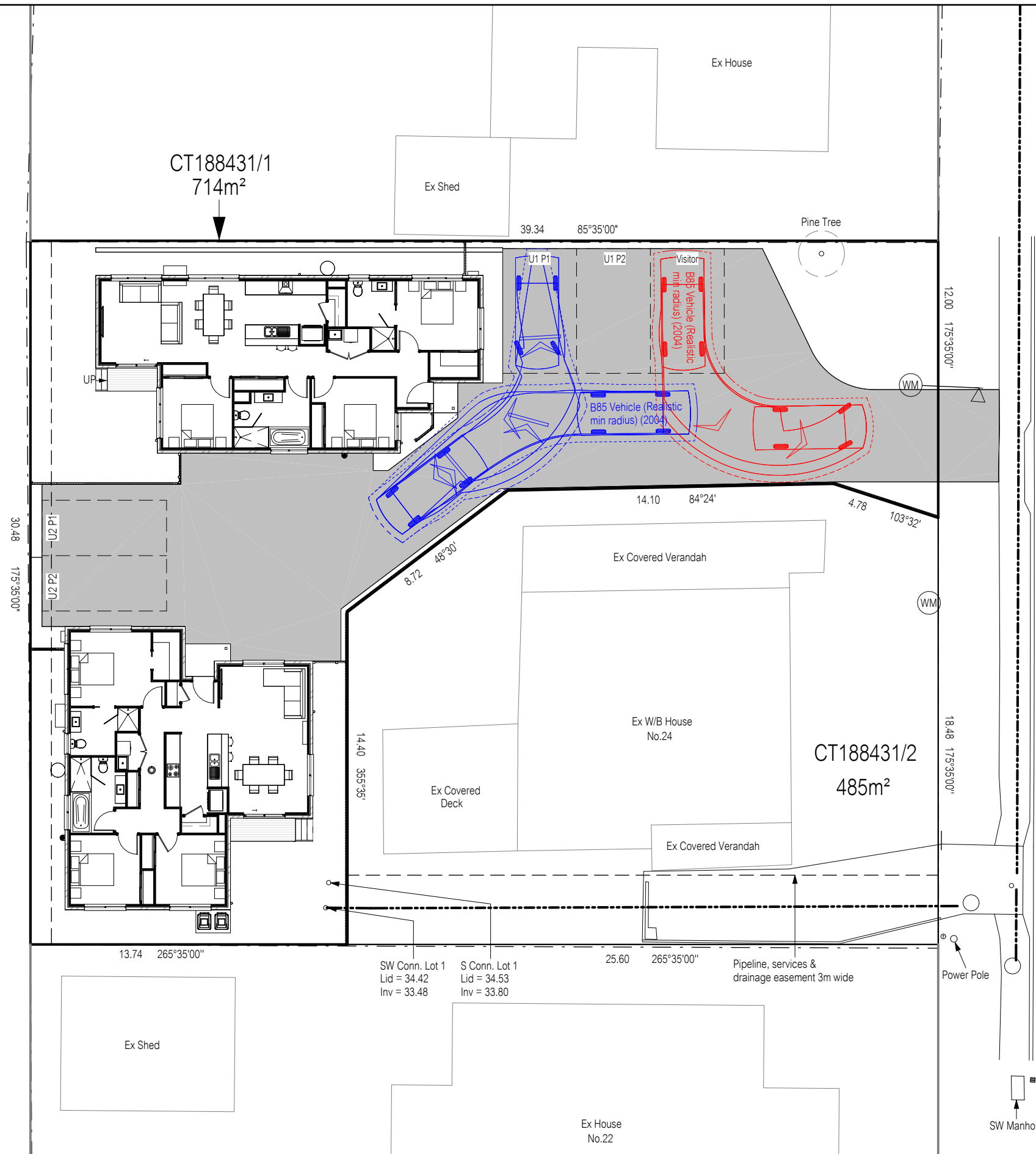
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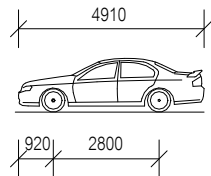
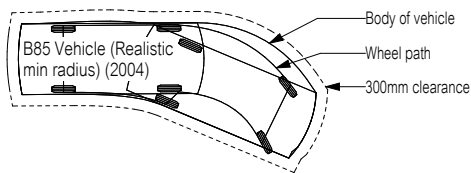
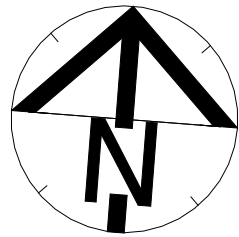
MANOEUVRING PLAN 1

Drawn	JP	WH714710
Date	22 April 2026	Sheet
Scale	1 : 200	

01d/05



RAYNORS ROAD

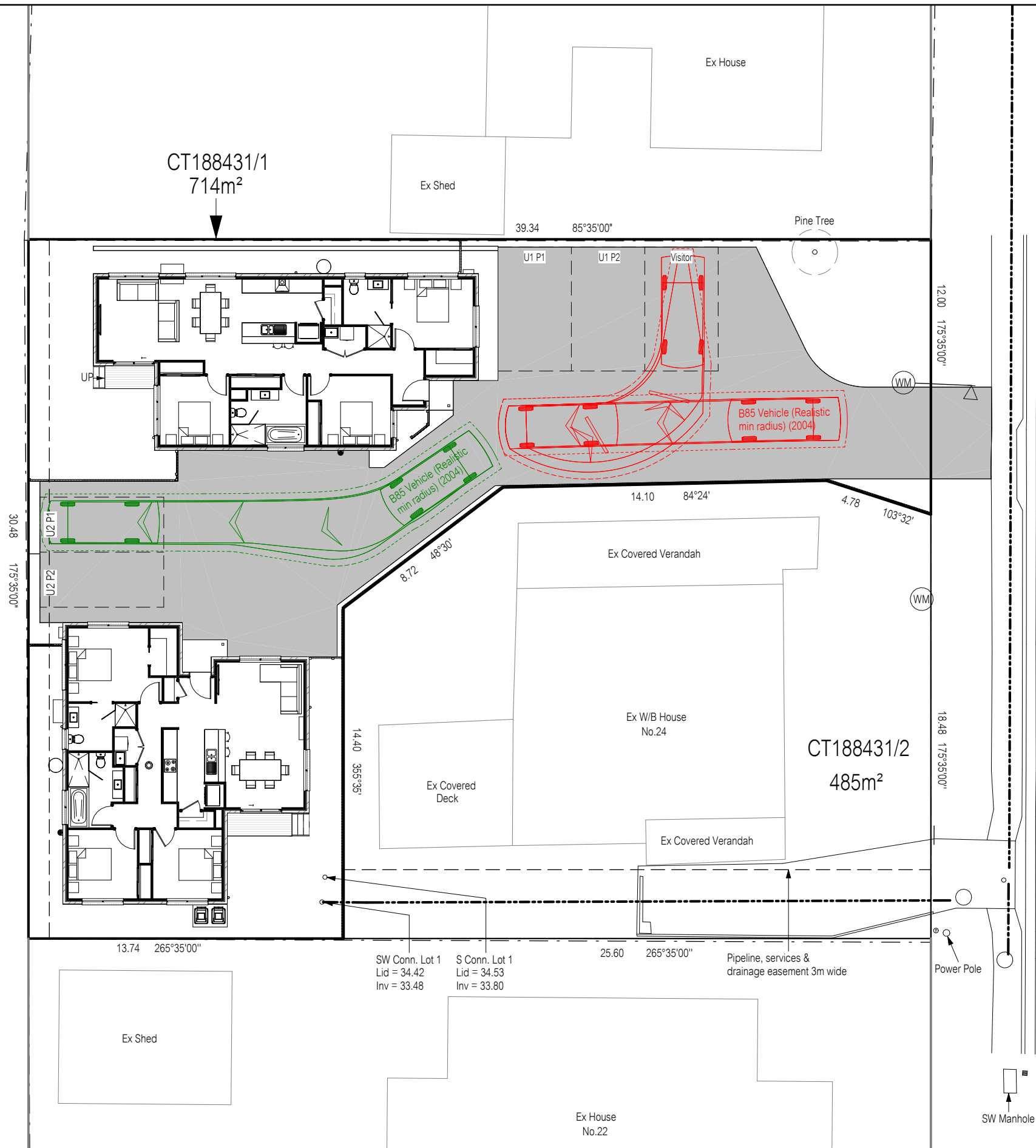


B85 Vehicle (Realistic min radius) (2004)

Overall Length	4.910m
Overall Width	1.870m
Overall Body Height	1.421m
Min Body Ground Clearance	0.159m
Track Width	1.770m
Lock to Lock Time	4.00s
Curb to Curb Turning Radius	5.750m

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NOTES:
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RAYNORS ROAD

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No.	Date	Int.

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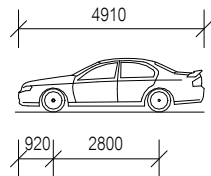
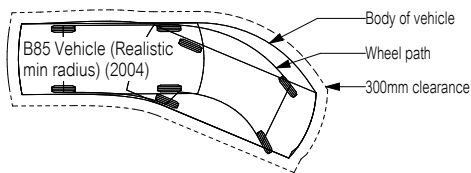
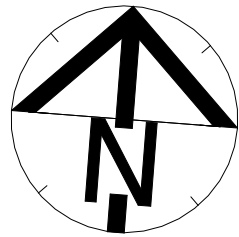
PROPOSED ERIKSEN UNIT DEVELOPMENT
26 Raynors Road,
MIDWAY POINT



MANOEUVRING PLAN 2

Drawn	JP	WH714710
Date	22 April 2026	Sheet
Scale	1 : 200	

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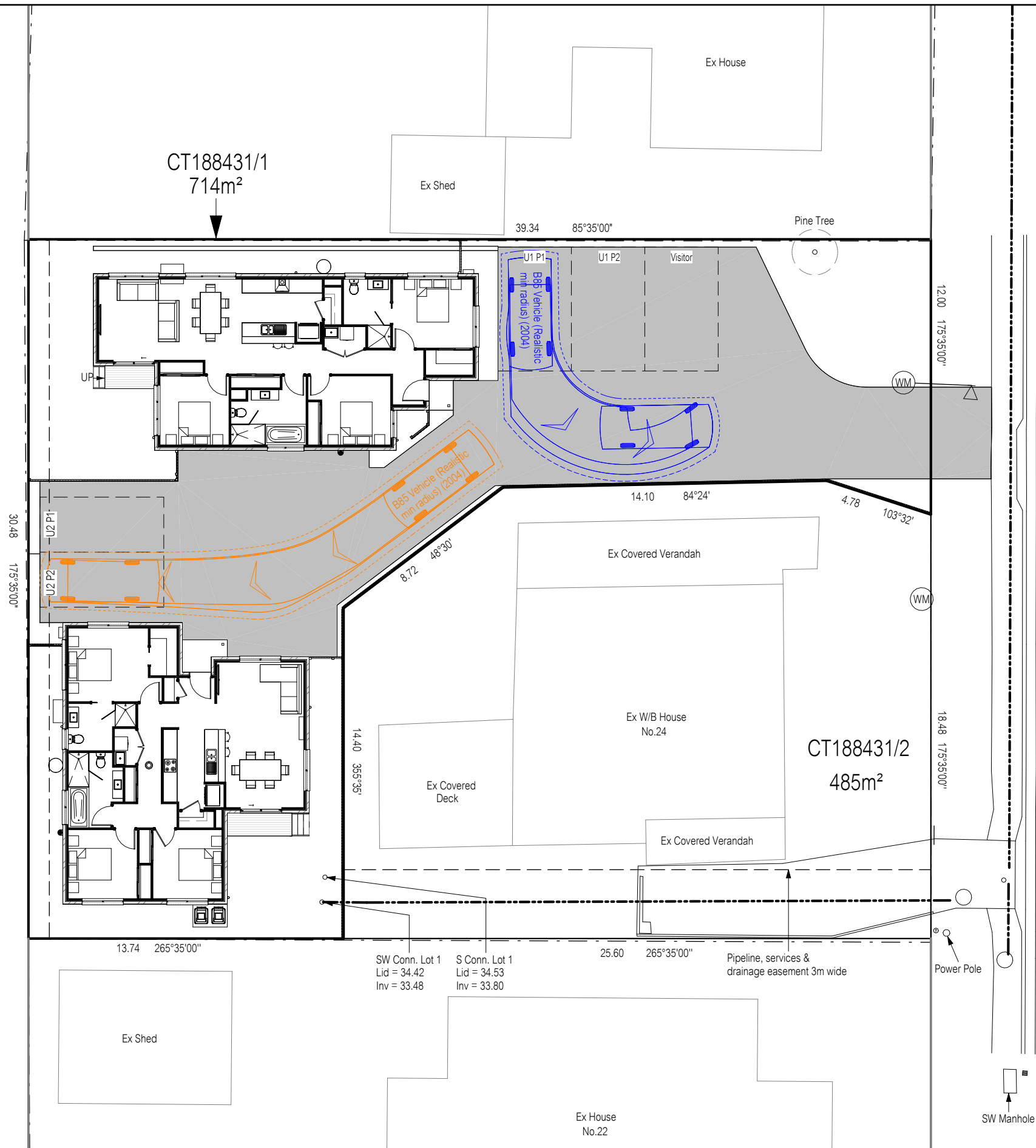


B85 Vehicle (Realistic min radius) (2004)

Overall Length	4.910m
Overall Width	1.870m
Overall Body Height	1.421m
Min Body Ground Clearance	0.159m
Track Width	1.770m
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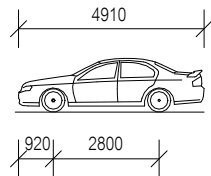
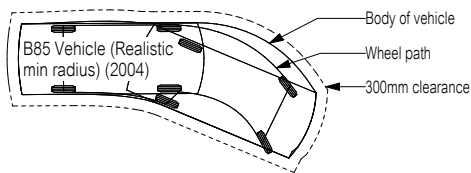
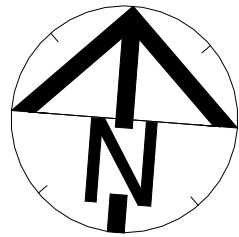
PROPOSED ERIKSEN UNIT DEVELOPMENT
26 Raynors Road,
MIDWAY POINT



MANOEUVRING PLAN 3

Drawn	JP	WH714710
Date	22 April 2026	Sheet
Scale	1 : 200	

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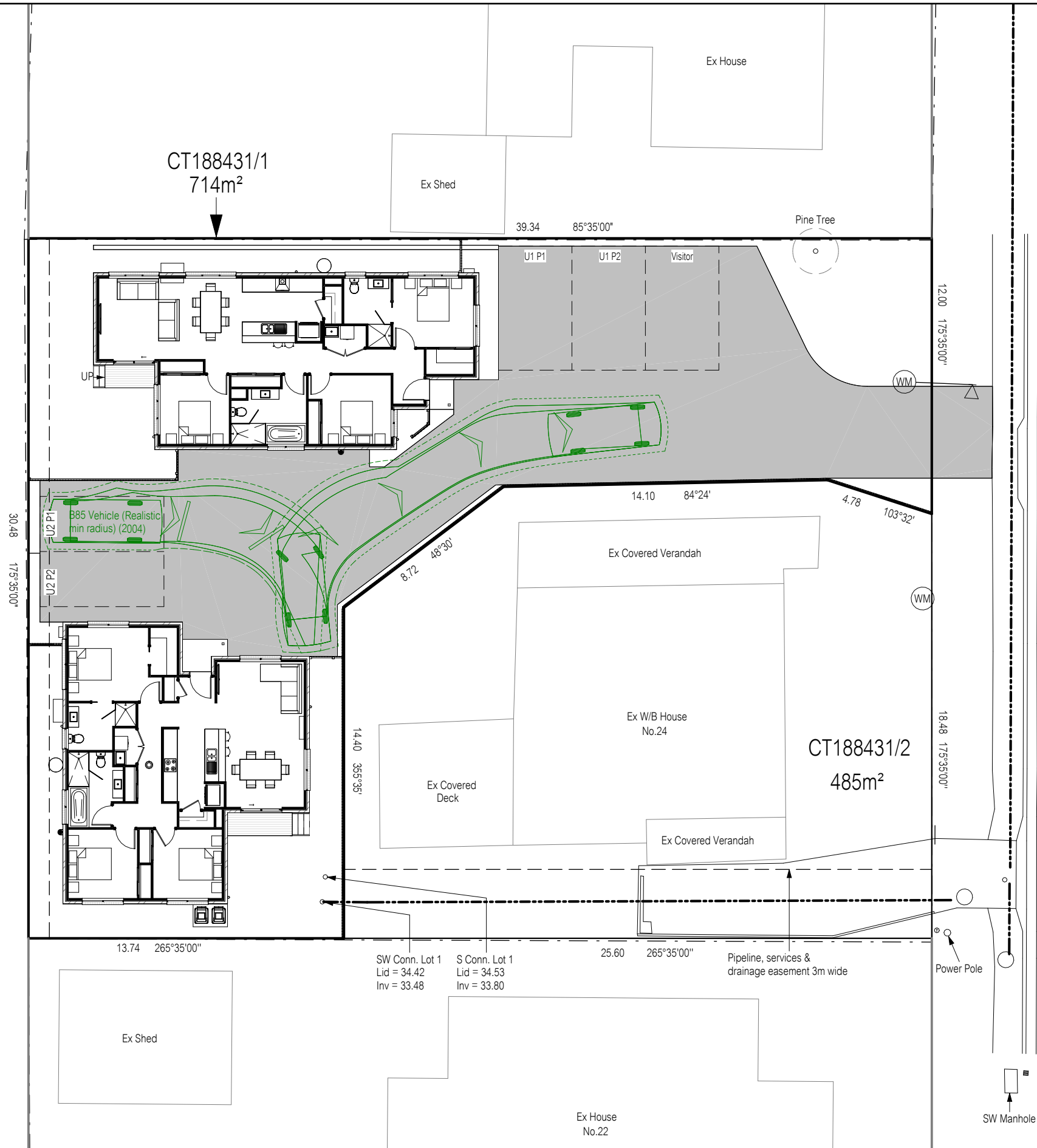


B85 Vehicle (Realistic min radius) (2004)

Overall Length	4.910m
Overall Width	1.870m
Overall Body Height	1.421m
Min Body Ground Clearance	0.159m
Track Width	1.770m
Lock to Lock Time	4.00s
Curb to Curb Turning Radius	5.750m

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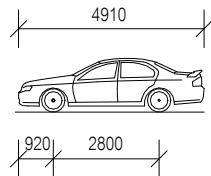
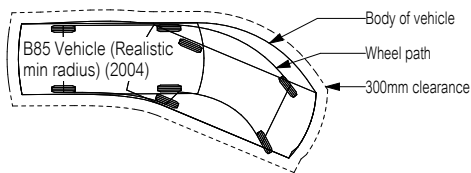
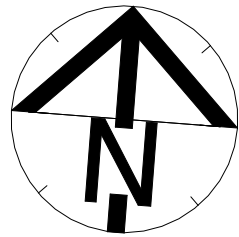
PROPOSED ERIKSEN UNIT DEVELOPMENT
26 Raynors Road,
MIDWAY POINT



MANOEUVRING PLAN 4

Drawn	JP	WH714710
Date	22 April 2026	Sheet
Scale	1 : 200	

01g/05



B85 Vehicle (Realistic min radius) (2004)

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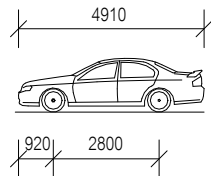
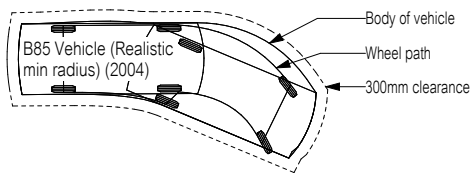
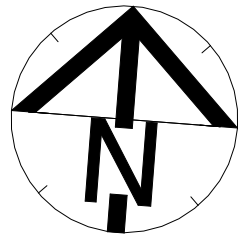
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PROPOSED ERIKSEN UNIT DEVELOPMENT
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MANOEUVRING PLAN 5

Drawn	JP	WH714710
Date	22 April 2026	Sheet
Scale	1 : 200	01h/05

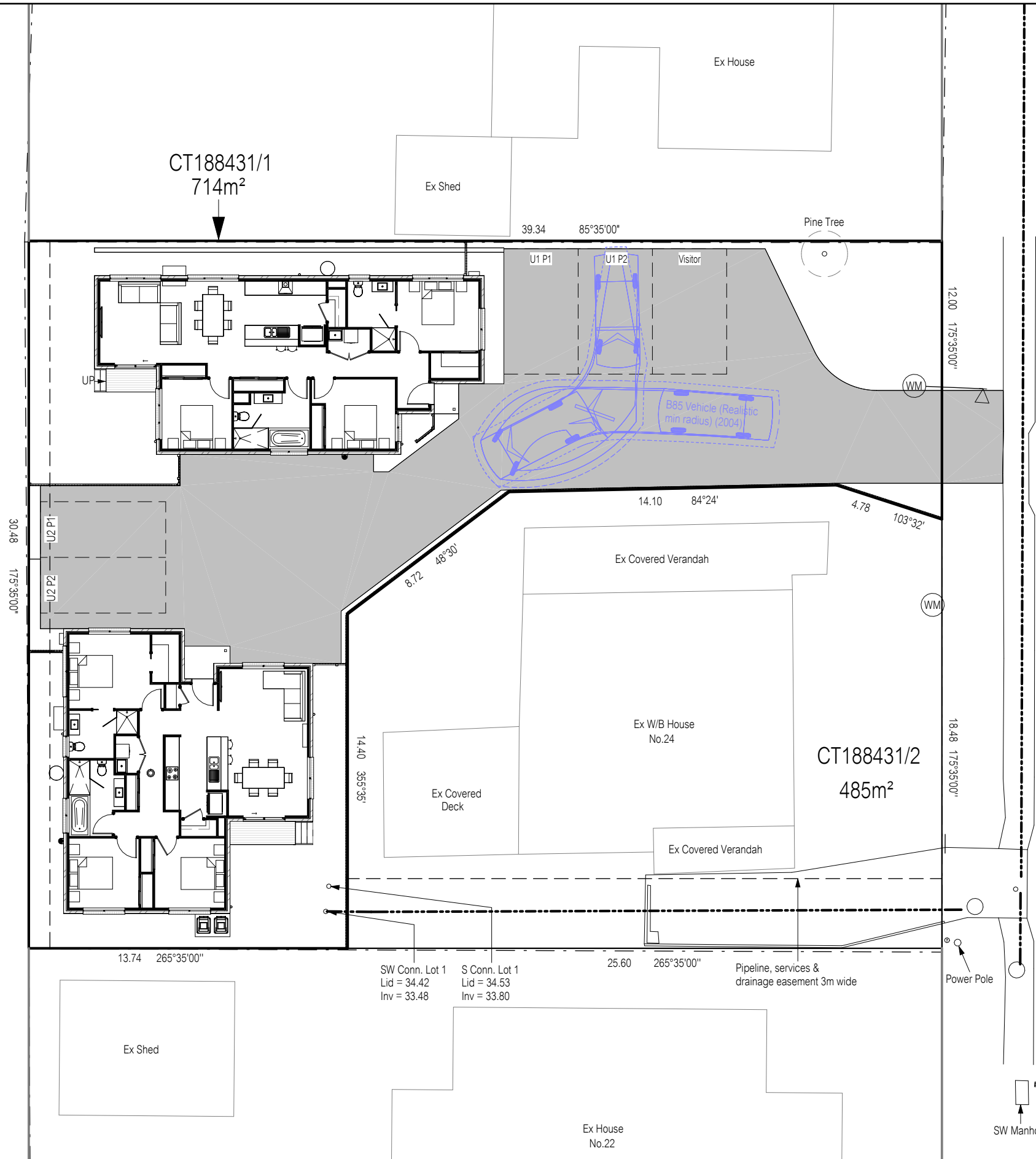


B85 Vehicle (Realistic min radius) (2004)

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Amendment changes as per cover sheet

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Client / Project info

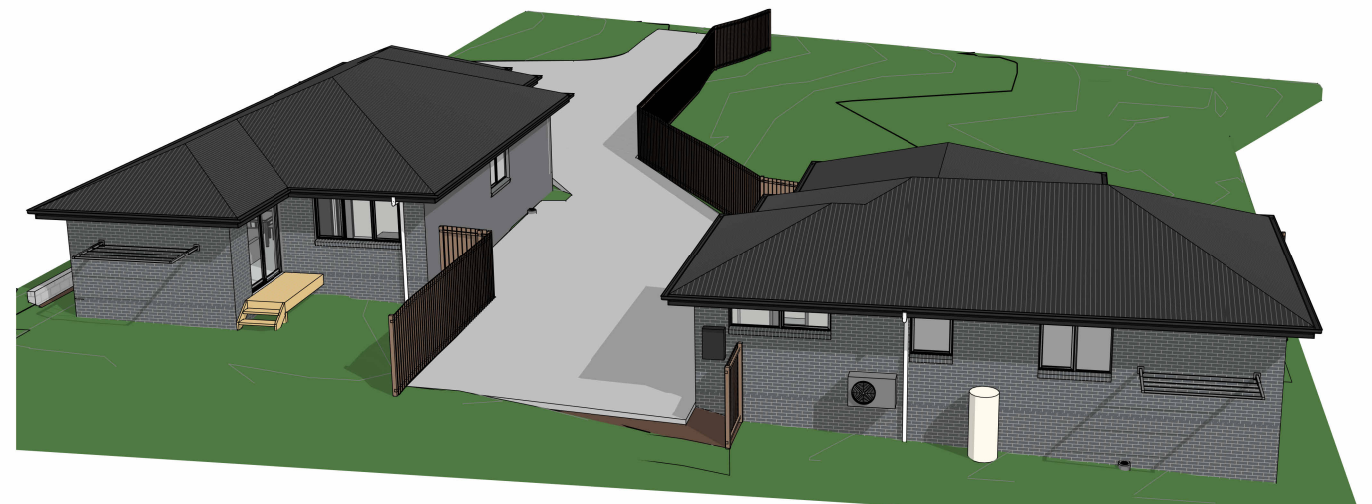
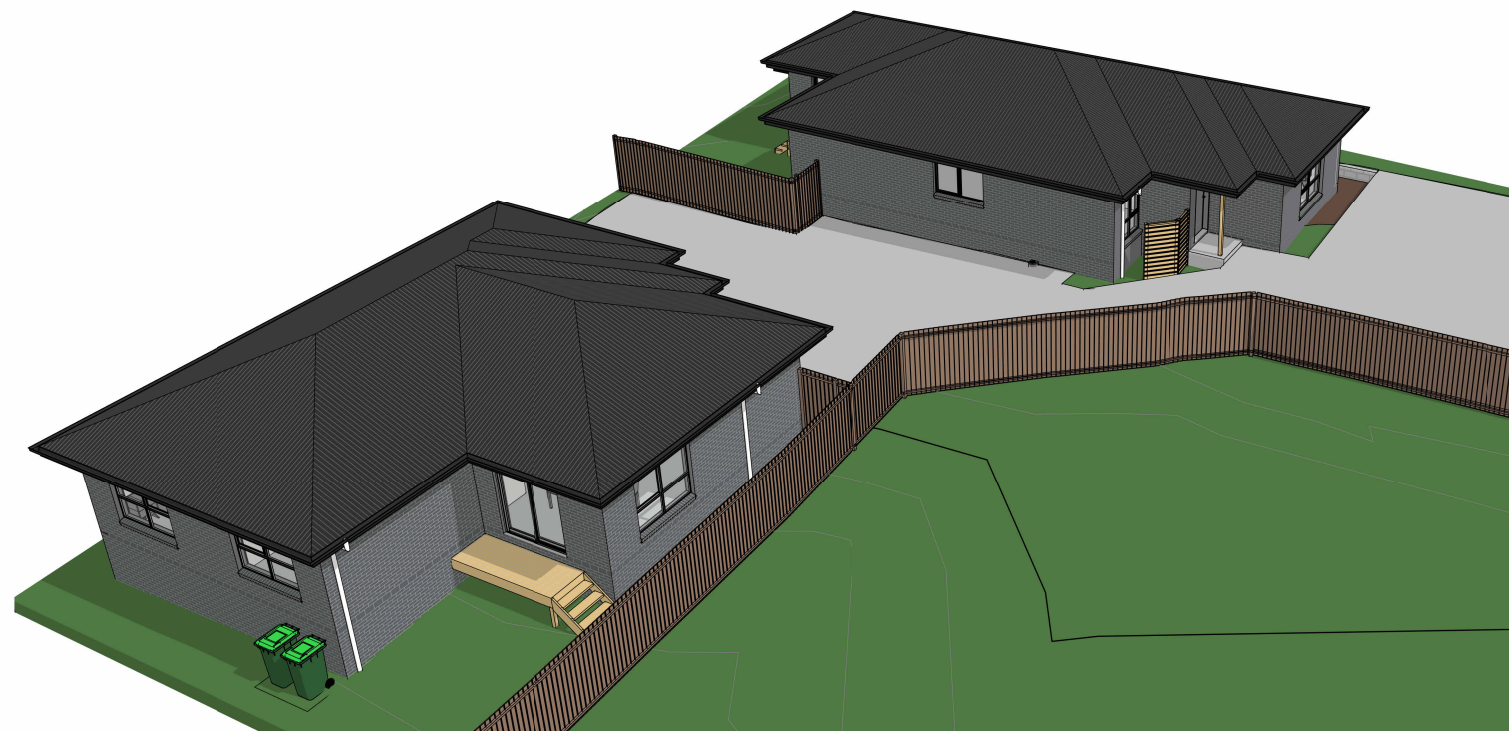
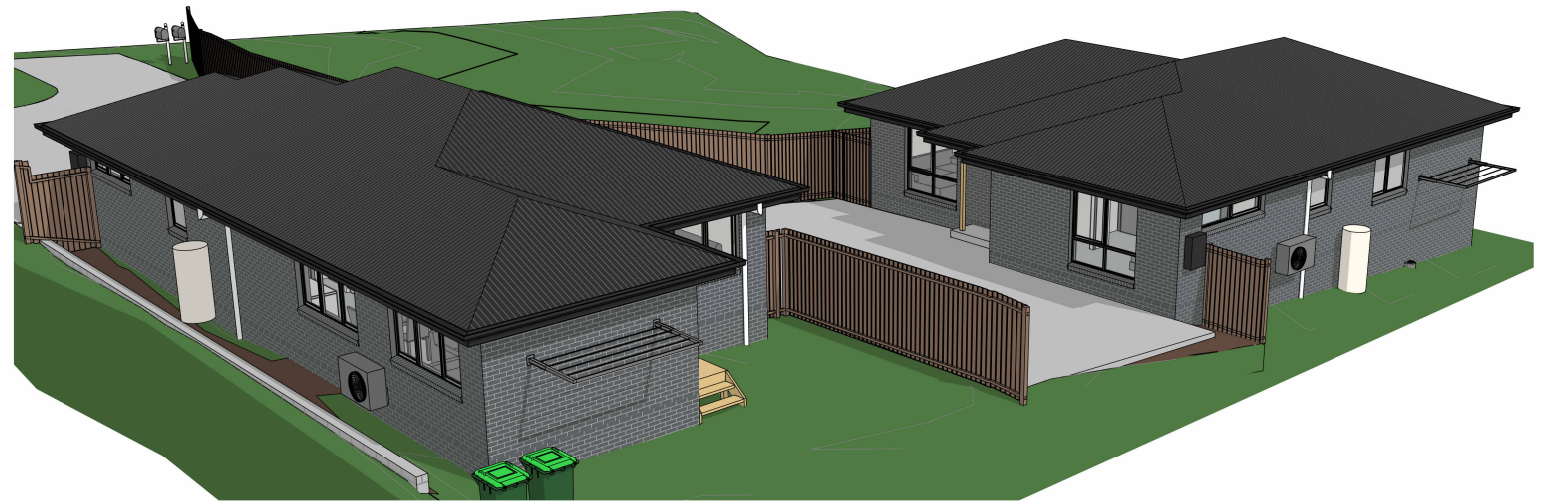
PROPOSED ERIKSEN UNIT DEVELOPMENT
26 Raynors Road,
MIDWAY POINT



MANOEUVRING PLAN 6

Drawn	JP	WH714710
Date	22 April 2026	Sheet
Scale	1 : 200	

01i/05



B	20 Jul. 2026	ST
A	03 Jul. 2026	JP
No.	Date	Int.

Amendment changes as per cover sheet		Shadows shown for stylisations purpose only	
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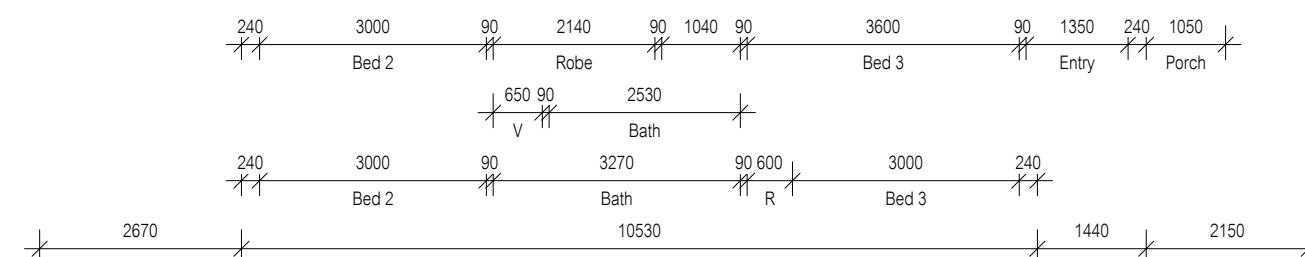
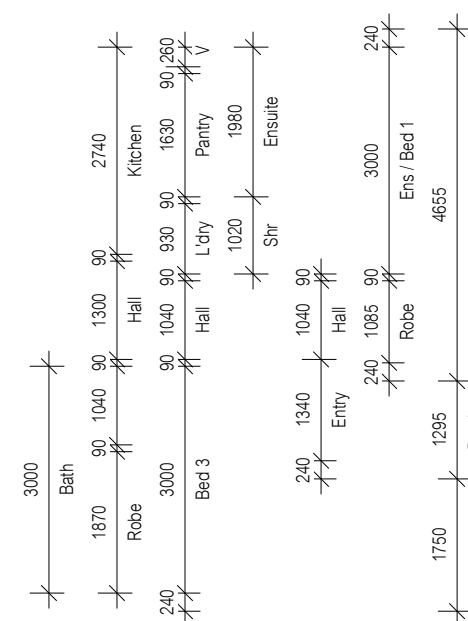
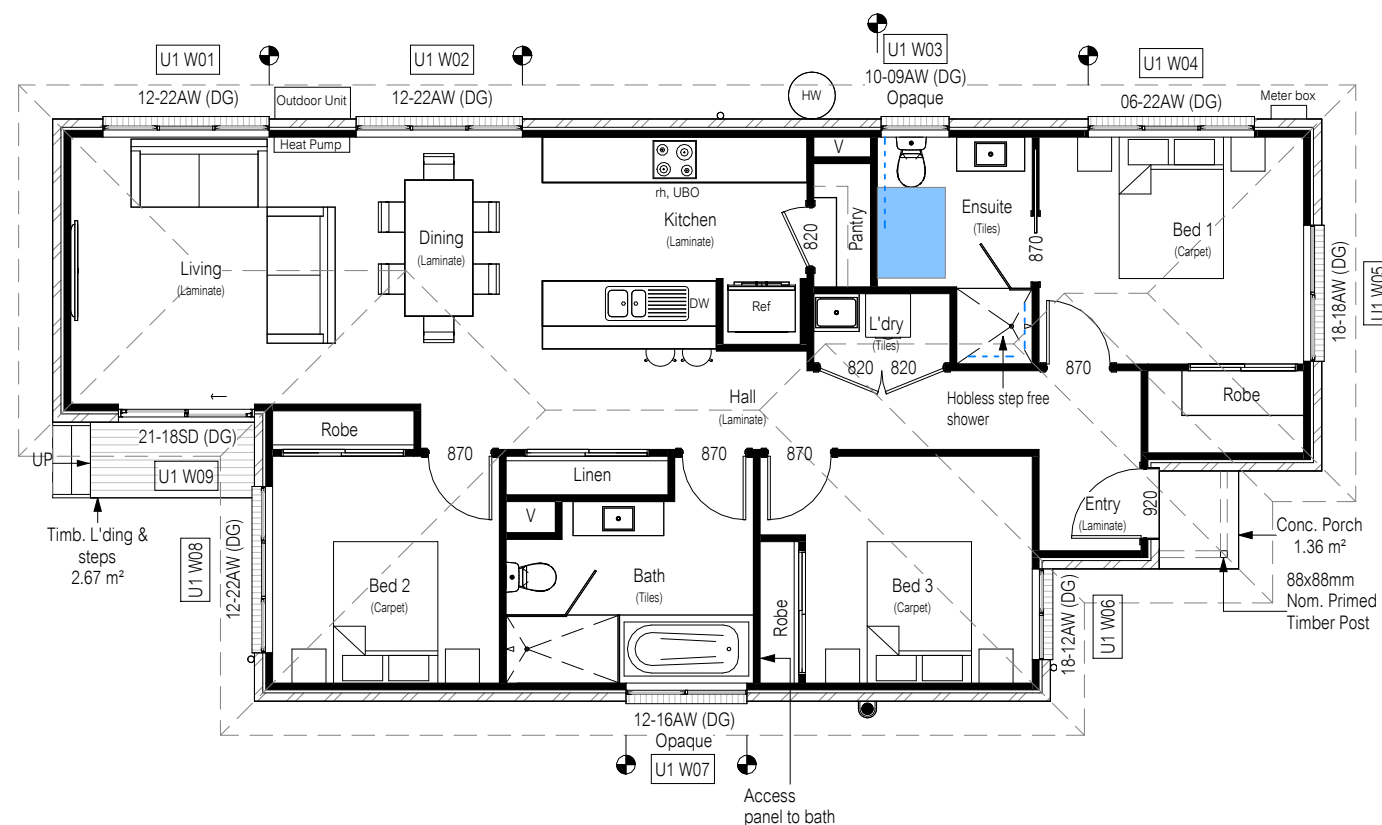
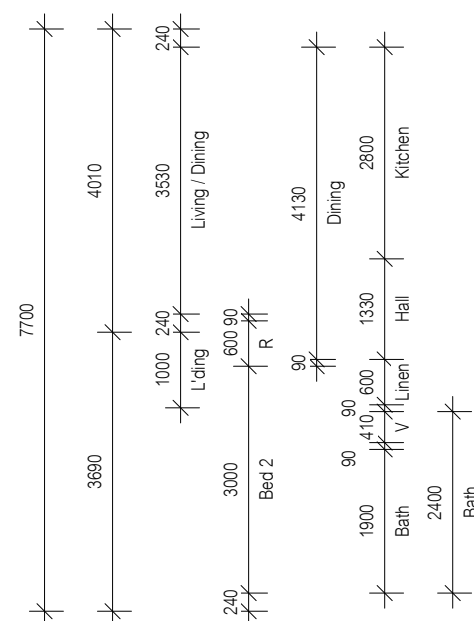
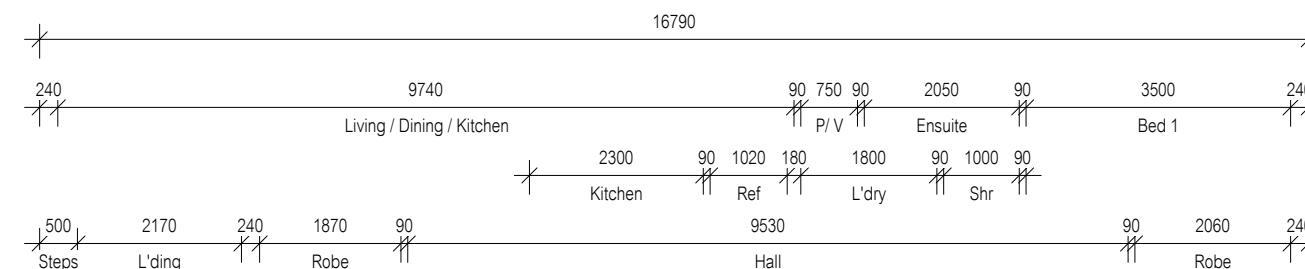
Notes	
• Builder to verify all dimensions and levels on site prior to commencement of work	
• All work to be carried out in accordance with the current National Construction Code.	
• All materials to be installed according to manufacturers specifications.	
• Do not scale from these drawings.	
• No changes permitted without consultation with designer.	

Designer:
ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au

Client / Project info
PROPOSED ERIKSEN UNIT DEVELOPMENT 26 Raynors Road, MIDWAY POINT

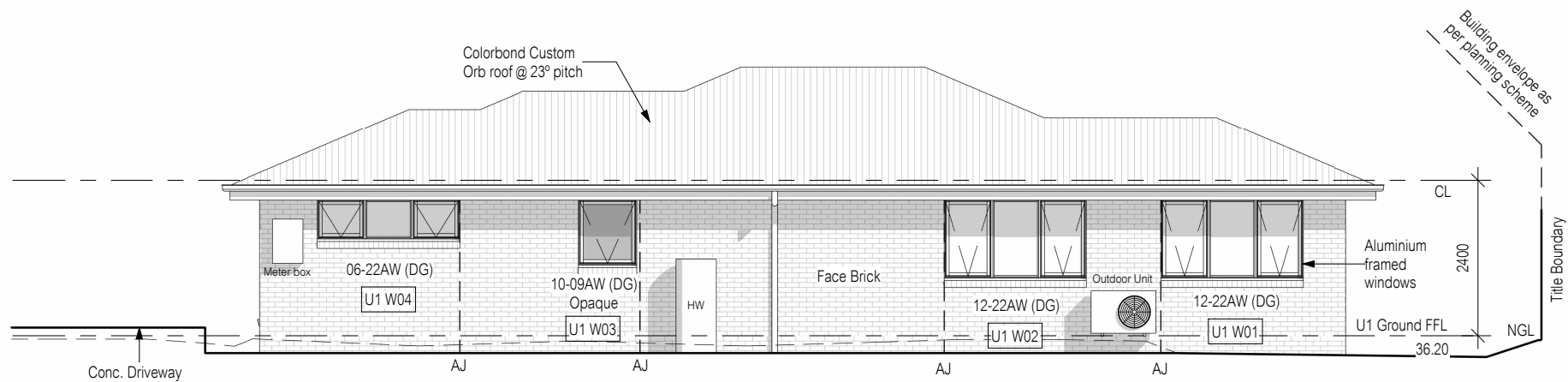


PERSPECTIVE VIEWS	
Drawn	JP
Date	24 April 2026
Scale	
Copyright ©	
WH714710	
Sheet	
01j/05	

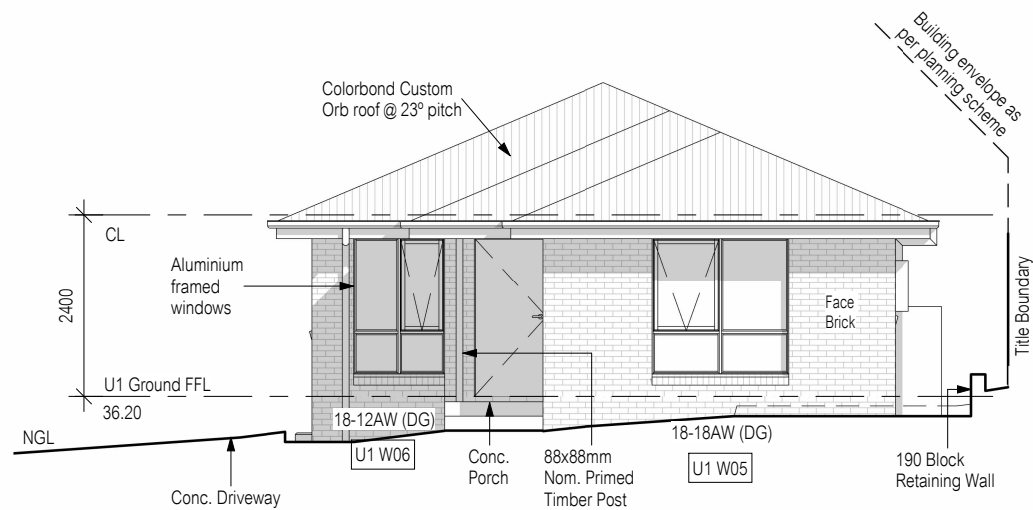


A	03 Jul. 2026	JP
No.	Date	Int.

Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
FC Sheet	tbc



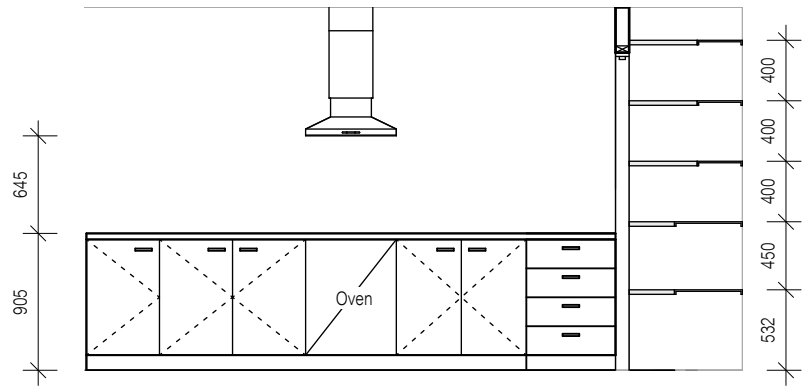
U1 North Elevation



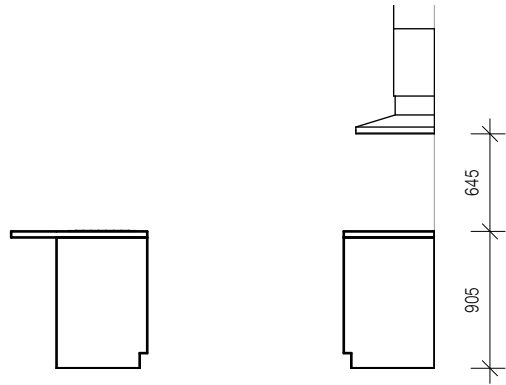
U1 East Elevation

A	03 Jul. 2026	JP
No.	Date	Int.

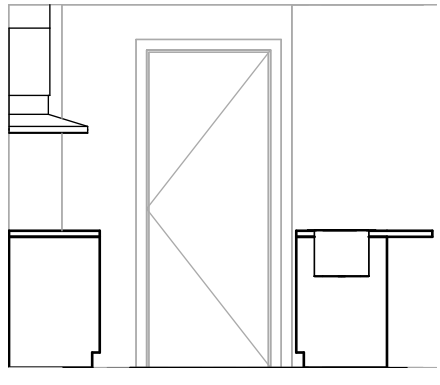
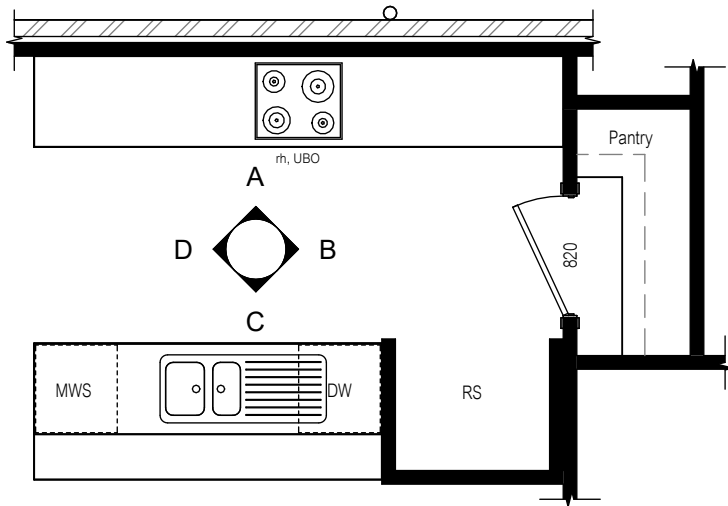
Amendment changes as per cover sheet All window sizes to be checked and/or confirmed on site prior to ordering glazing units LEGEND: AJ - Articulation Joint BV - Brick Vent Shadows shown for stylisation purposes only	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		U1 ELEVATIONS SHEET 1		
		ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED ERIKSEN UNIT DEVELOPMENT 26 Raynors Road, MIDWAY POINT		Drawn	JP	WH714710
					Date	24 April 2026	Sheet
					Scale	1 : 100	03/05
					Copyright ©		



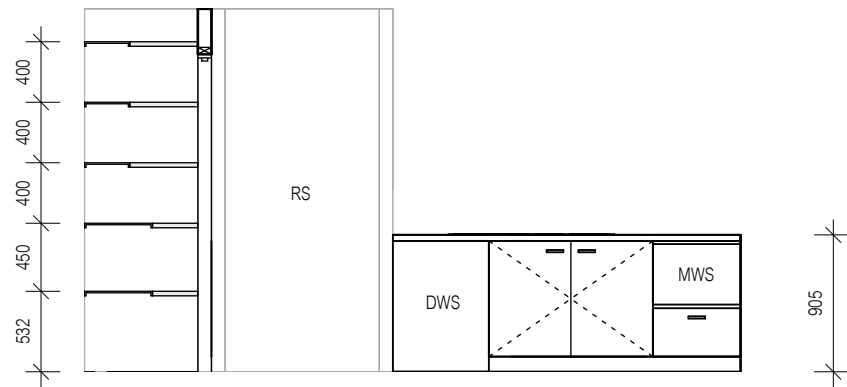
U1 Kitchen Elevation A



U1 Kitchen Elevation D



U1 Kitchen Elevation B



U1 Kitchen Elevation C

LEGEND:
MWS - MICROWAVE SPACE
DWS - DISHWASHER SPACE
RS - REFRIGERATOR SPACE

NOTE:
- DIMENSIONS ARE FROM STUD WALL - NOT FINISHED SURFACES

A	03 Jul. 2026	JP
No.	Date	Int.

Amendment changes as per cover sheet

- Notes
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 - All work to be carried out in accordance with the current National Construction Code.
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Designer:

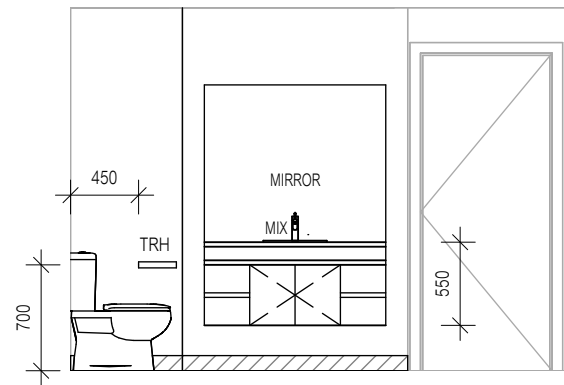
ANOTHER PERSPECTIVE PTY LTD
PO BOX 171
NORTH HOBART
LIC. NO. 685230609 (S. Turvey)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info

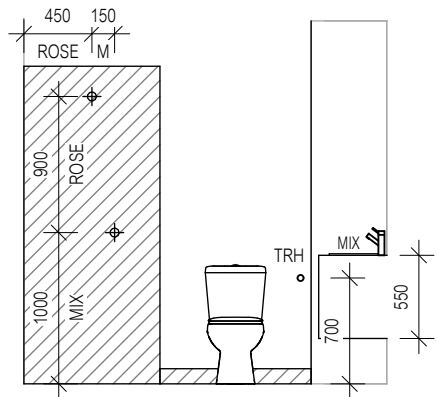
PROPOSED ERIKSEN UNIT DEVELOPMENT
26 Raynors Road,
MIDWAY POINT



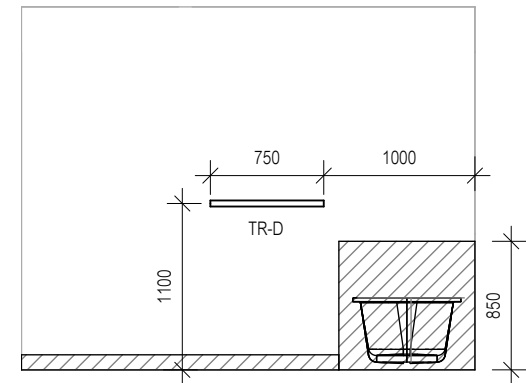
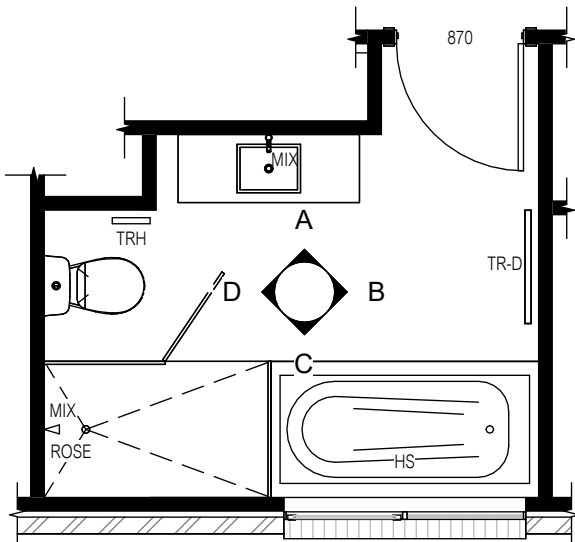
U1 KITCHEN INTERNAL ELEVATIONS		
Drawn	JP	WH714710
Date	24 April 2026	Sheet
Scale	1 : 50	03b/05



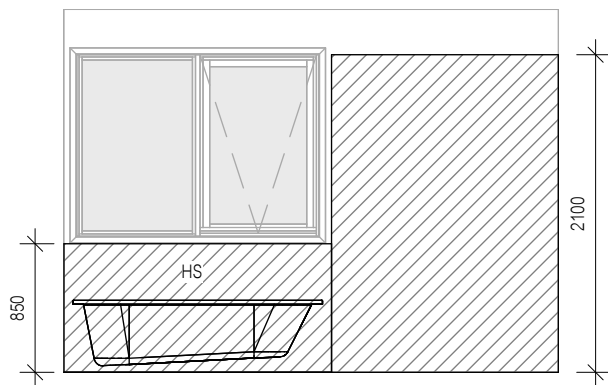
U1 Bathroom Elevation A



U1 Bathroom Elevation D



U1 Bathroom Elevation B

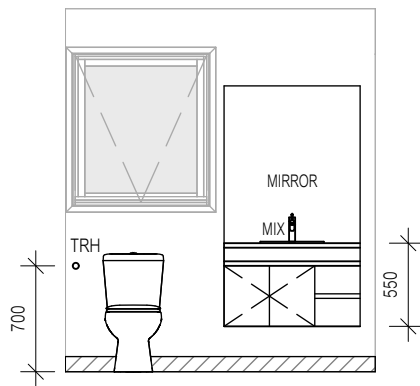


U1 Bathroom Elevation C

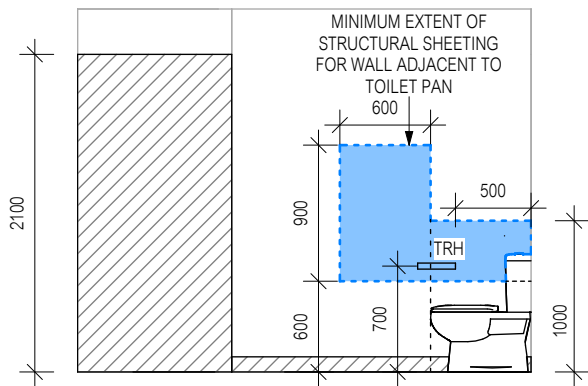
LEGEND	
RSHR	- RAIL SHOWER
ROSE	- SHOWER ROSE
ELBW	- SHOWER ELBOW CONNECTION
MIX	- MIXER TAP
HT	- HOT TAP
CT	- COLD TAP
HS	- HOB SPOUT
WS	- WALL SPOUT
SC	- STOP COCK
TRH	- TOILET ROLL HOLDER
TR-S	- TOWEL RAIL-SINGLE
TR-D	- TOWEL RAIL-DOUBLE
TL	- TOWEL LADDER
TR	- TOWEL RACK
TMB	- TUMBLER HOLDER
RNG	- TOWEL RING
RH	- ROBE HOOK
SHLF	- SHELF
NOTE: DIMENSIONS ARE FROM STUD WALL - NOT FINISHED SURFACES	

A	03 Jul. 2026	JP
No.	Date	Int.

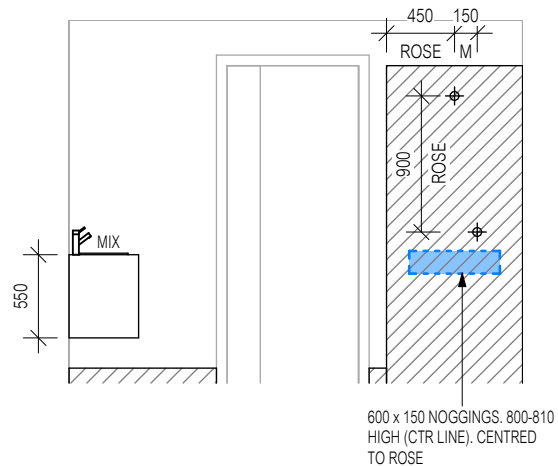
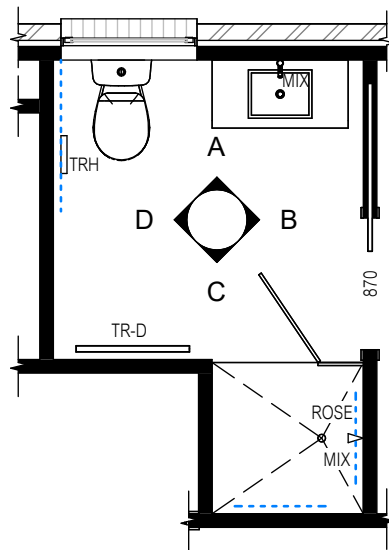
Amendment changes as per cover sheet			Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSED ERIKSEN UNIT DEVELOPMENT 26 Raynors Road, MIDWAY POINT		U1 BATHROOM INTERNAL ELEVATIONS	
							Drawn JP Date 24 April 2026 Scale 1:50	WH714710 Sheet 03c/05



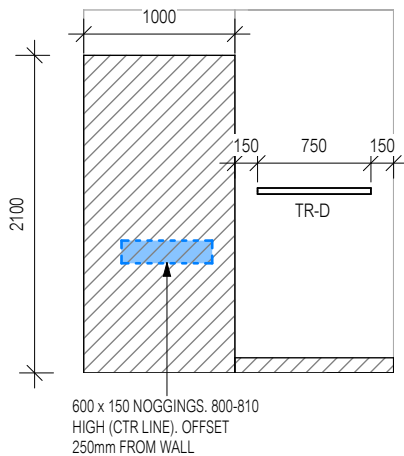
U1 Ensuite Elevation A



U1 Ensuite Elevation D



U1 Ensuite Elevation B



U1 Ensuite Elevation C

LEGEND	
RSHR	- RAIL SHOWER
ROSE	- SHOWER ROSE
ELBW	- SHOWER ELBOW CONNECTION
MIX	- MIXER TAP
HT	- HOT TAP
CT	- COLD TAP
HS	- HOB SPOUT
WS	- WALL SPOUT
SC	- STOP COCK
TRH	- TOILET ROLL HOLDER
TR-S	- TOWEL RAIL-SINGLE
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TR	- TOWEL RACK
TMB	- TUMBLER HOLDER
RNG	- TOWEL RING
RH	- ROBE HOOK
SHLF	- SHELF
NOTE: DIMENSIONS ARE FROM STUD WALL - NOT FINISHED SURFACES	

----- Location of wall reinforcement to comply with Part 6 of the *Livable Housing Design Standard*.

A	03 Jul. 2026	JP
No.	Date	Int.

Amendment changes as per cover sheet

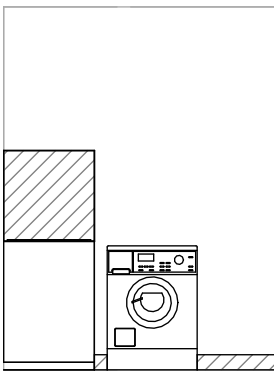
- Notes
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Designer:
ANOTHER PERSPECTIVE PTY LTD
PO BOX 171
NORTH HOBART
LIC. NO. 685230609 (S. Turvey)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

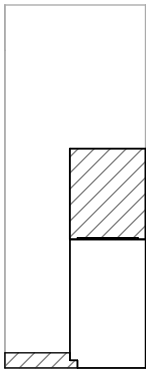
Client / Project info
PROPOSED ERIKSEN UNIT DEVELOPMENT
26 Raynors Road,
MIDWAY POINT

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MULTI

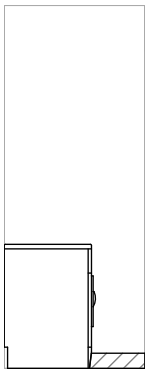
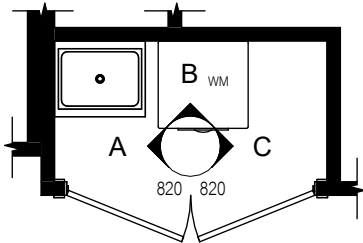
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Drawn	JP	WH714710
Date	24 April 2026	Sheet
Scale	1 : 50	03d/05



U1 Laundry Elevation B



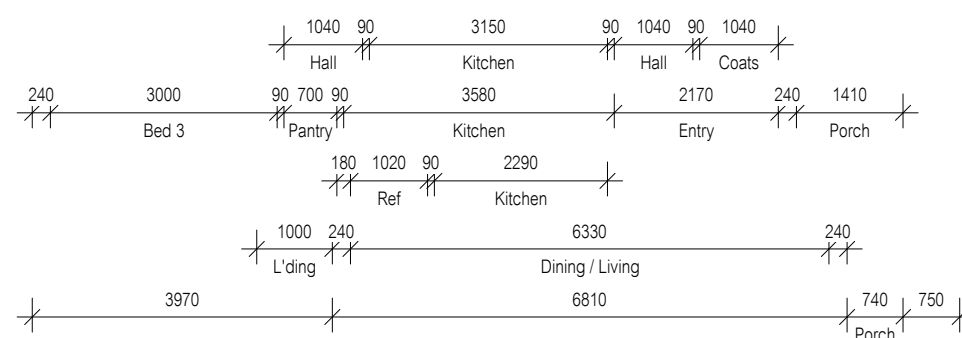
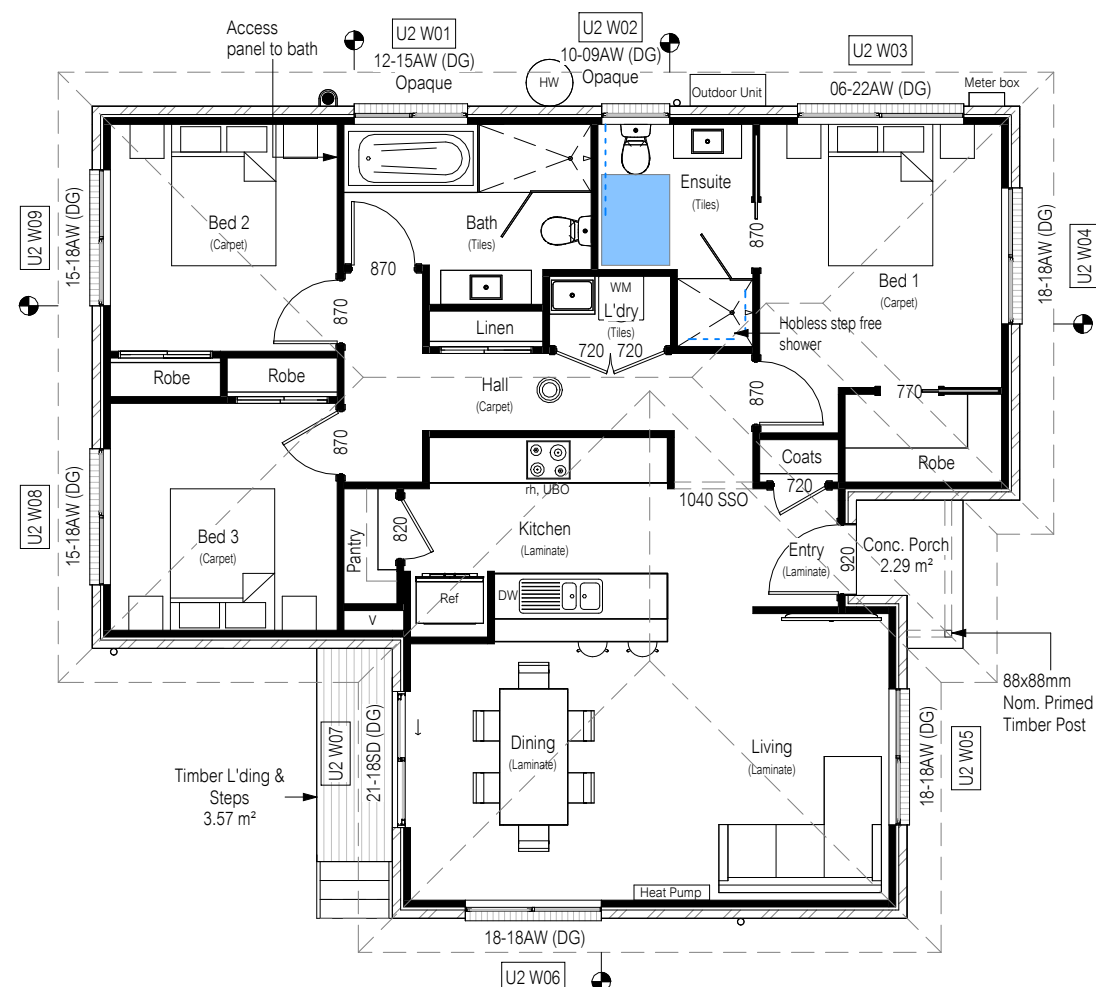
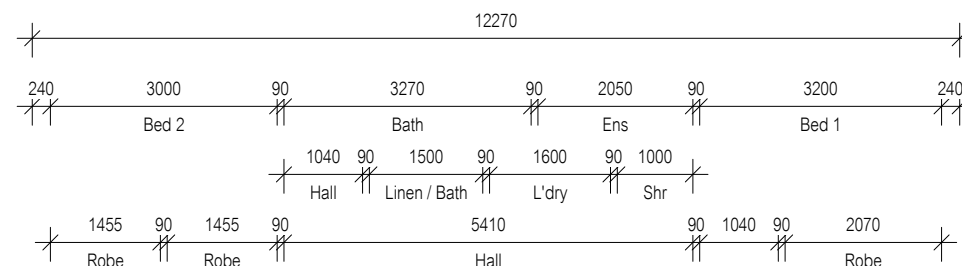
U1 Laundry Elevation A



U1 Laundry Elevation C

A	03 Jul. 2026	JP
No.	Date	Int.

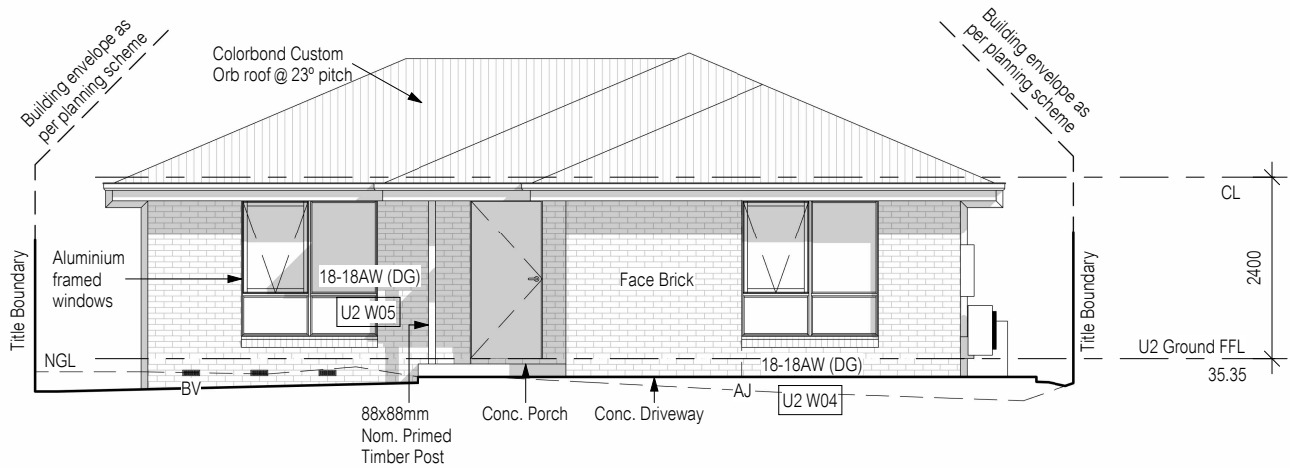
Amendment changes as per cover sheet	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		U1 LAUNDRY INTERNAL ELEVATIONS		
		ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED ERIKSEN UNIT DEVELOPMENT 26 Raynors Road, MIDWAY POINT		Drawn	JP	WH714710
					Date	24 April 2026	Sheet
					Scale	1 : 50	03e/05



04/05

B	20 Jul. 2026	ST
A	03 Jul. 2026	JP
No.	Date	Int.

Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
FC Sheet	tbc



U2 North Elevation



U2 East Elevation

SUB-FLOOR VENTILATION CALCULATIONS (as per N.C.C. 6.2.1)	
- Minimum Sub-floor Ventilation 6000mm ² per metre of subfloor perimeter (for Climatic Zone C where ground isn't sealed with impervious membrane)	
- Vents to be evenly spaced around perimeter of dwelling.	
- Vents to be located within 600mm of corners.	
- If located within a bushfire prone area, vents to be BAL compliant as per AS3959.	
e.g. Pryda 230 x 75 metal vent spaced every 1048mm around subfloor perimeter.	

A	03 Jul. 2026	JP
No.	Date	Int.

All window sizes to be checked and/or confirmed on site prior to ordering glazing units	
LEGEND: AJ - Articulation Joint BV - Brick Vent	
Amendment changes as per cover sheet	
Shadows shown for stylisation purposes only	

Notes
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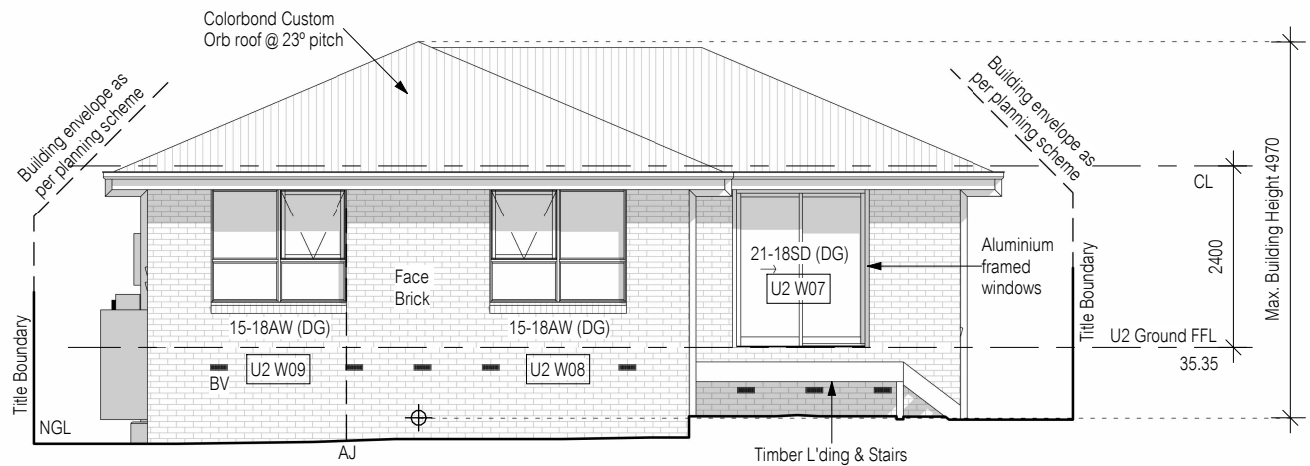
Designer:
ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au

Client / Project info
PROPOSED ERIKSEN UNIT DEVELOPMENT 26 Raynors Road, MIDWAY POINT

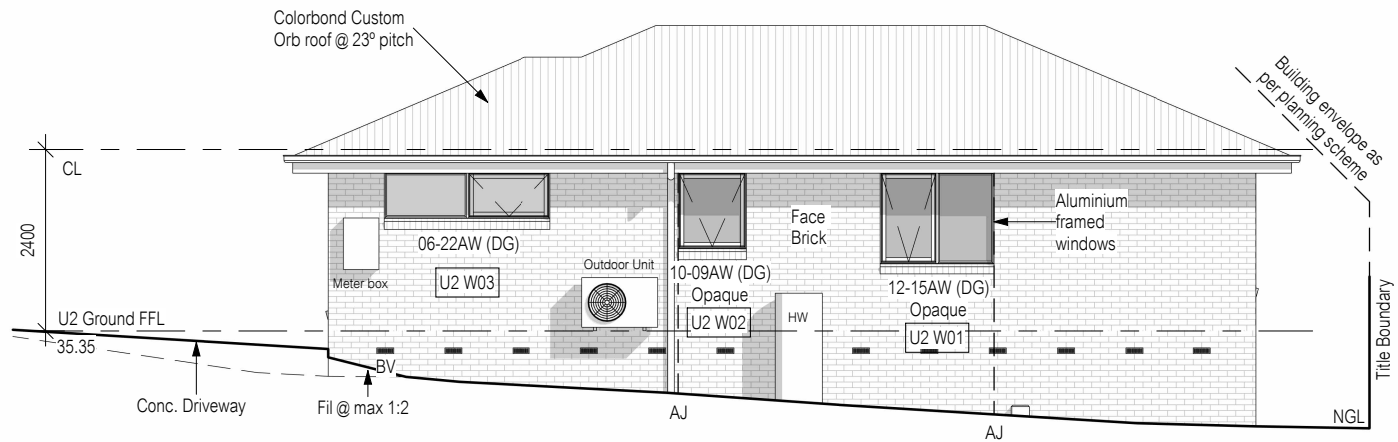
m WILSON MULTI	
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U2 ELEVATIONS SHEET 1		
Drawn	JP	WH714710
Date	24 April 2026	Sheet
Scale	1 : 100	05/05

Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
FC Sheet	tbc



U2 South Elevation



U2 West Elevation

SUB-FLOOR VENTILATION CALCULATIONS (as per N.C.C. 6.2.1)	
- Minimum Sub-floor Ventilation 6000mm ² per metre of subfloor perimeter (for Climatic Zone C where ground isn't sealed with impervious membrane)	
- Vents to be evenly spaced around perimeter of dwelling.	
- Vents to be located within 600mm of corners.	
- If located within a bushfire prone area, vents to be BAL compliant as per AS3959.	
e.g. Pryda 230 x 75 metal vent spaced every 1048mm around subfloor perimeter.	

B	20 Jul. 2026	ST
A	03 Jul. 2026	JP
No.	Date	Int.

All window sizes to be checked and/or confirmed on site prior to ordering glazing units	
LEGEND: AJ - Articulation Joint BV - Brick Vent	
Amendment changes as per cover sheet	
Shadows shown for stylisation purposes only	

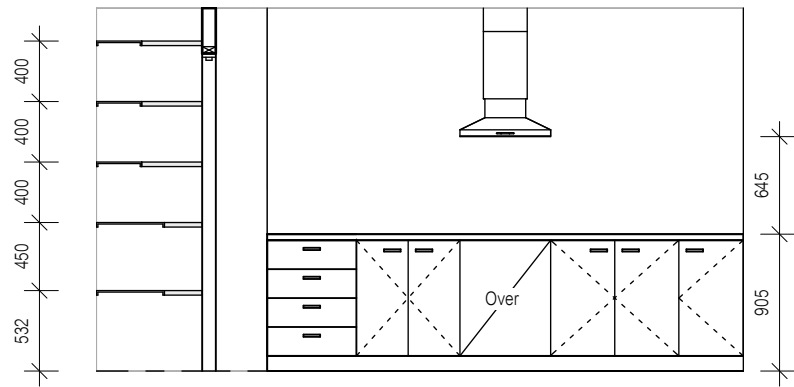
Notes
• Builder to verify all dimensions and levels on site prior to commencement of work
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Designer:
ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au

Client / Project info
PROPOSED ERIKSEN UNIT DEVELOPMENT 26 Raynors Road, MIDWAY POINT

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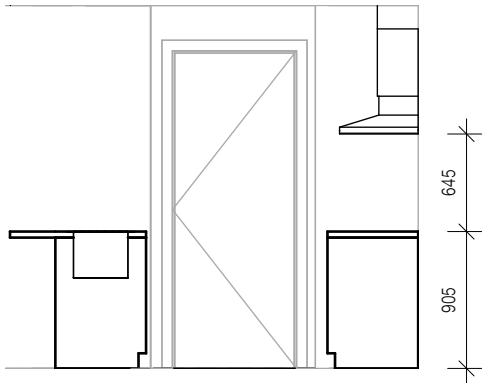
U2 ELEVATIONS SHEET 2	
Drawn	JP
Date	24 April 2026
Scale	1 : 100
Sheet	
05a/05	



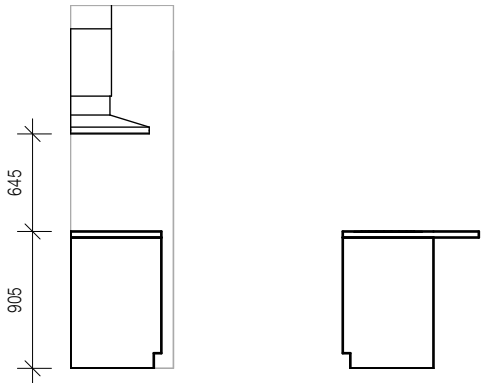
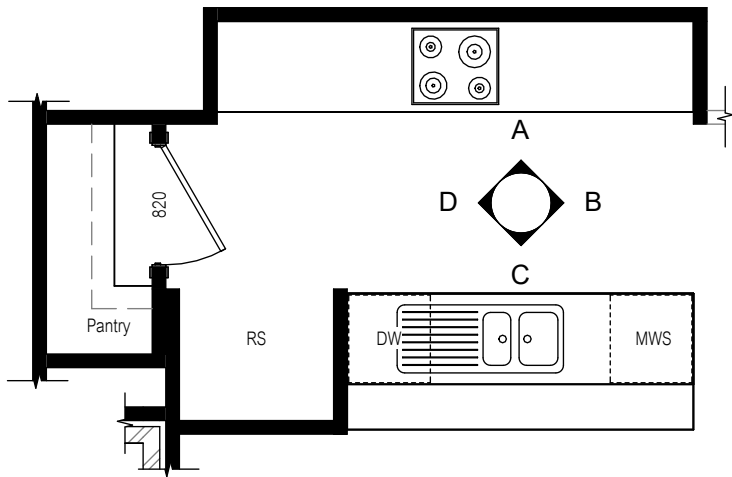
U2 Kitchen Elevation A

LEGEND:
MWS - MICROWAVE SPACE
DWS - DISHWASHER SPACE
RS - REFRIGERATOR SPACE

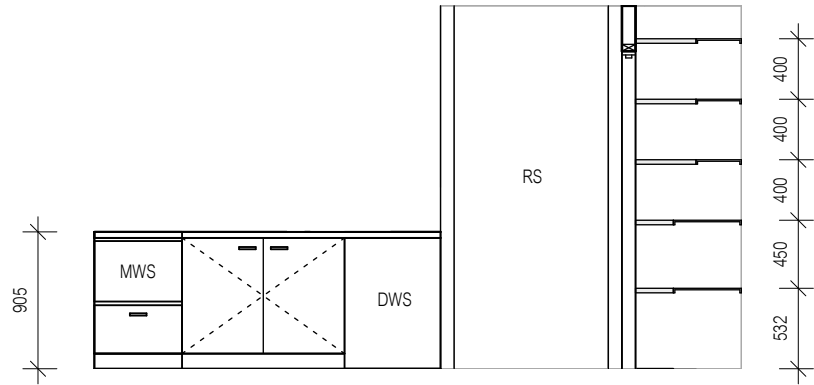
NOTE:
- DIMENSIONS ARE FROM STUD WALL - NOT FINISHED SURFACES



U2 Kitchen Elevation D



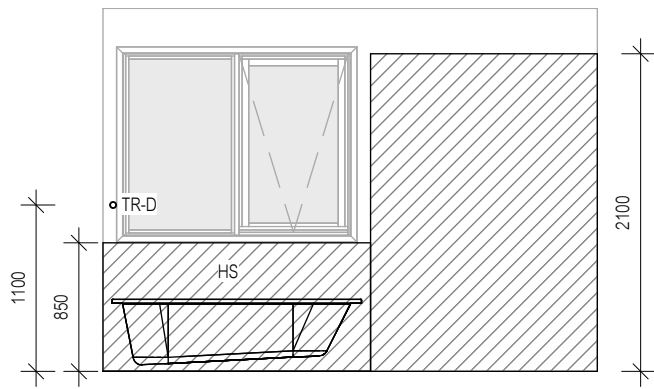
U2 Kitchen Elevation B



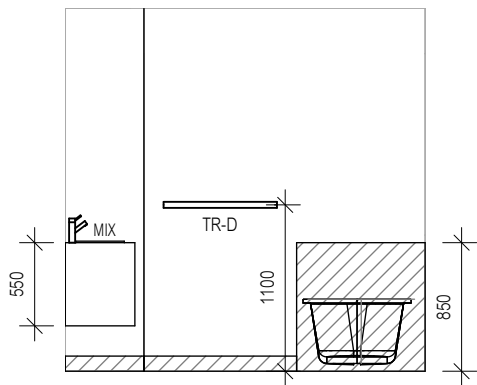
U2 Kitchen Elevation C

A	03 Jul. 2026	JP
No.	Date	Int.

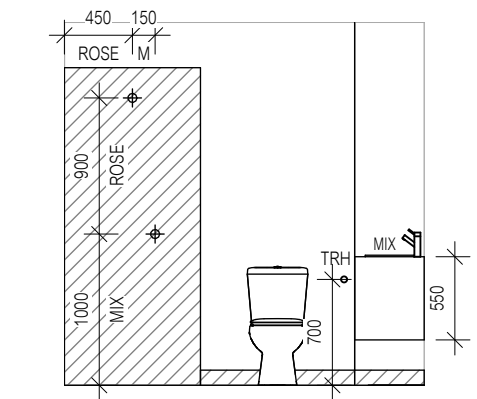
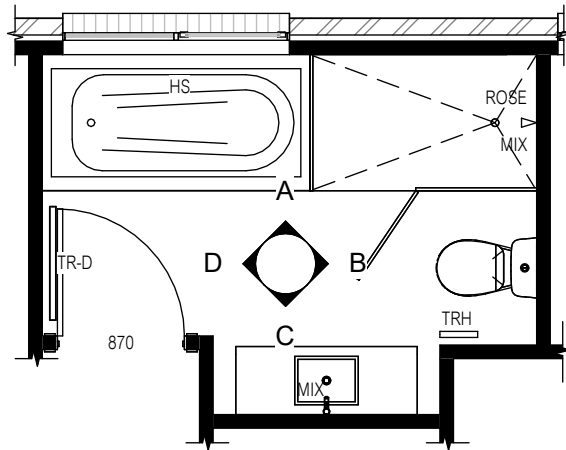
Amendment changes as per cover sheet	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		U2 KITCHEN INTERNAL ELEVATIONS		
		ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED ERIKSEN UNIT DEVELOPMENT 26 Raynors Road, MIDWAY POINT		Drawn	JP	WH714710
					Date	24 April 2026	Sheet
					Scale	1 : 50	05b/05



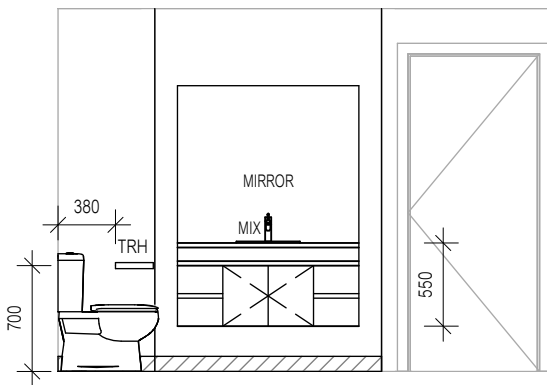
U2 Bathroom Elevation A



U2 Bathroom Elevation D



U2 Bathroom Elevation B

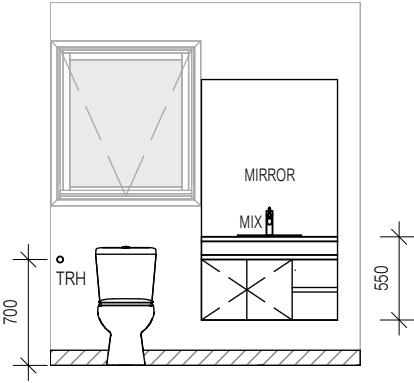


U2 Bathroom Elevation C

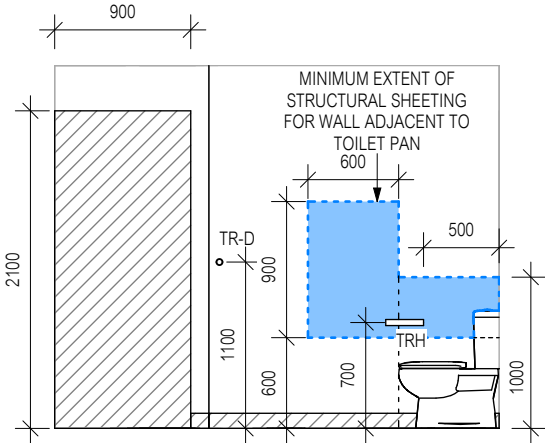
LEGEND	
RSHR	- RAIL SHOWER
ROSE	- SHOWER ROSE
ELBW	- SHOWER ELBOW CONNECTION
MIX	- MIXER TAP
HT	- HOT TAP
CT	- COLD TAP
HS	- HOB SPOUT
WS	- WALL SPOUT
SC	- STOP COCK
TRH	- TOILET ROLL HOLDER
TR-S	- TOWEL RAIL-SINGLE
TR-D	- TOWEL RAIL-DOUBLE
TL	- TOWEL LADDER
TR	- TOWEL RACK
TMB	- TUMBLER HOLDER
RNG	- TOWEL RING
RH	- ROBE HOOK
SHLF	- SHELF
NOTE: DIMENSIONS ARE FROM STUD WALL - NOT FINISHED SURFACES	

A	03 Jul. 2026	JP
No.	Date	Int.

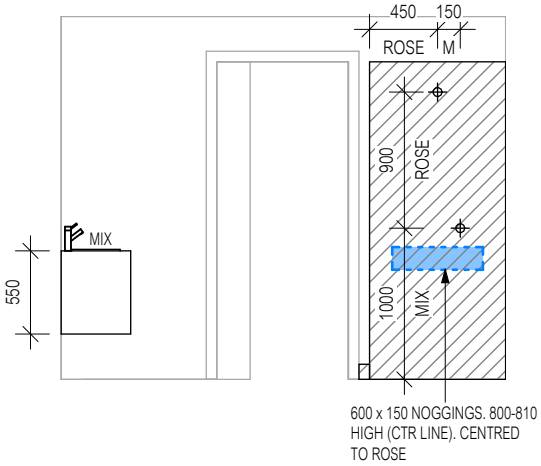
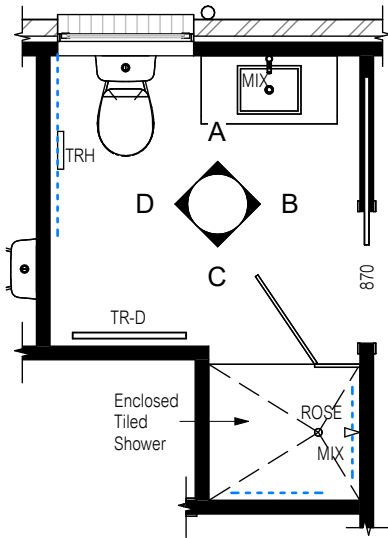
Amendment changes as per cover sheet	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		U2 BATHROOM INTERNAL ELEVATIONS		
		ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED ERIKSEN UNIT DEVELOPMENT 26 Raynors Road, MIDWAY POINT		Drawn	JP	WH714710
					Date	24 April 2026	Sheet
					Scale	1 : 50	05c/05



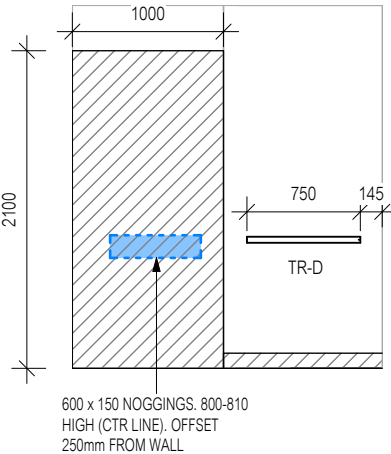
U2 Ensuite Elevation A



U2 Ensuite Elevation D



U2 Ensuite Elevation B

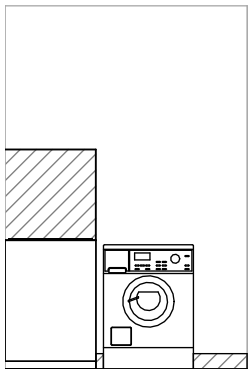


U2 Ensuite Elevation C

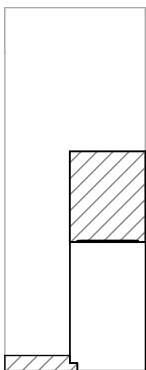
LEGEND	
RSHR	- RAIL SHOWER
ROSE	- SHOWER ROSE
ELBW	- SHOWER ELBOW CONNECTION
MIX	- MIXER TAP
HT	- HOT TAP
CT	- COLD TAP
HS	- HOB SPOUT
WS	- WALL SPOUT
SC	- STOP COCK
TRH	- TOILET ROLL HOLDER
TR-S	- TOWEL RAIL-SINGLE
TR-D	- TOWEL RAIL-DOUBLE
TL	- TOWEL LADDER
TR	- TOWEL RACK
TMB	- TUMBLER HOLDER
RNG	- TOWEL RING
RH	- ROBE HOOK
SHLF	- SHELF
NOTE: DIMENSIONS ARE FROM STUD WALL - NOT FINISHED SURFACES	

A	03 Jul. 2026	JP
No.	Date	Int.

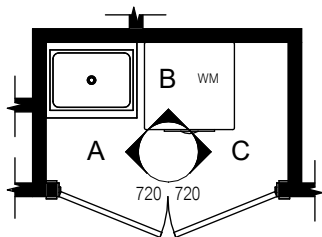
Amendment changes as per cover sheet	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		U2 ENSUITE INTERNAL ELEVATIONS		
		ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED ERIKSEN UNIT DEVELOPMENT 26 Raynors Road, MIDWAY POINT		Drawn	JP	WH714710
					Date	24 April 2026	Sheet
					Scale	1 : 50	05d/05



U2 Laundry Elevation B



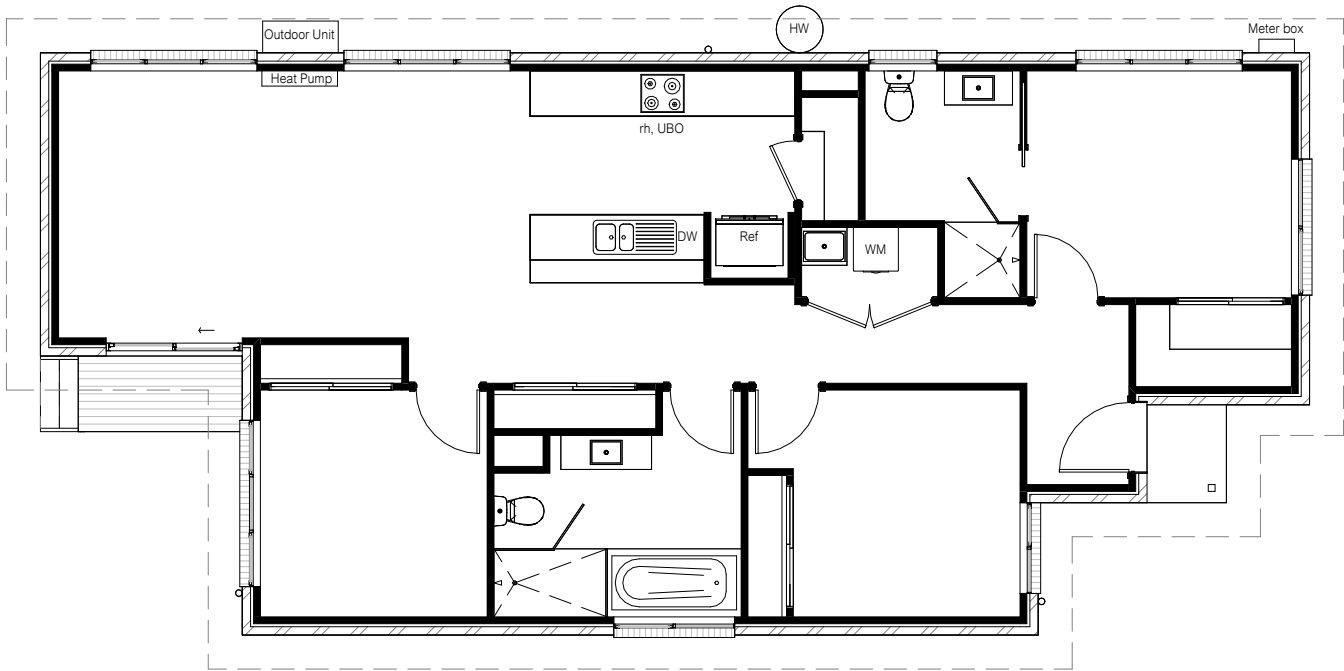
U2 Laundry Elevation A



U2 Laundry Elevation C

A	03 Jul. 2026	JP
No.	Date	Int.

Amendment changes as per cover sheet	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		U2 LAUNDRY INTERNAL ELEVATIONS		
		ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED ERIKSEN UNIT DEVELOPMENT 26 Raynors Road, MIDWAY POINT		Drawn	JP	WH714710
					Date	24 April 2026	Sheet
					Scale	1 : 50	05e/05



- LEGEND (W = Wattage e.g. 35W = 35 Watts.)
- STANDARD CEILING LIGHT POINT (30W)
 - DOWNLIGHT POINT (UNVENTED) (35W)
 - ✱ LED DOWNLIGHT POINT (7W) SUITABLE FOR & FITTED WITH INSULATION OVER. (IC RATED)
 - PENDANT LIGHT (30W)
 - WALL LIGHT POINT (30W)
 - 2 x 900mm FLUORESCENT LIGHT POINT (36W)
 - 2 x SLIM T5 900mm FLUORESCENT LIGHT POINT (28W)
 - ⌒ SINGLE POWER POINT
 - ⌒ DOUBLE POWER POINT
 - ⌒ DOUBLE POWER POINT WITH USB
 - ⌒ WATER PROOF POWER POINT
 - ⦿ MAINS POWERED SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
 - ⦿ FAN / HEATER / LIGHT (8W) (VENT IN ACCORDANCE WITH N.C.C. 10.8.2)
 - ⦿ TV CONNECTION POINT
 - ▽ NBN/TELEPHONE CONNECTION POINT
 - ⦿ SENSOR LIGHT
 - ⦿ EXHAUST FAN (VENT IN ACCORDANCE WITH N.C.C. 10.8.2)
 - ⦿ FLOOD LIGHT
 - ⦿ CAT 6 CONNECTION POINT
 - ▶ TREAD LIGHTS (2W)
 - ⦿ DUCTED VACUUM POINT
 - ⦿ SECURITY SYSTEM KEYPAD
 - ⦿ SECURITY SYSTEM SENSOR

ALL EXHAUST FANS:
25 L/s for a bathroom or sanitary compartment, 40 L/s for a kitchen or laundry. Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment, or laundry must be discharged directly or via a shaft or duct to outdoor air.

A	03 Jul. 2026	JP
No.	Date	Int.

Amendment changes as per cover sheet

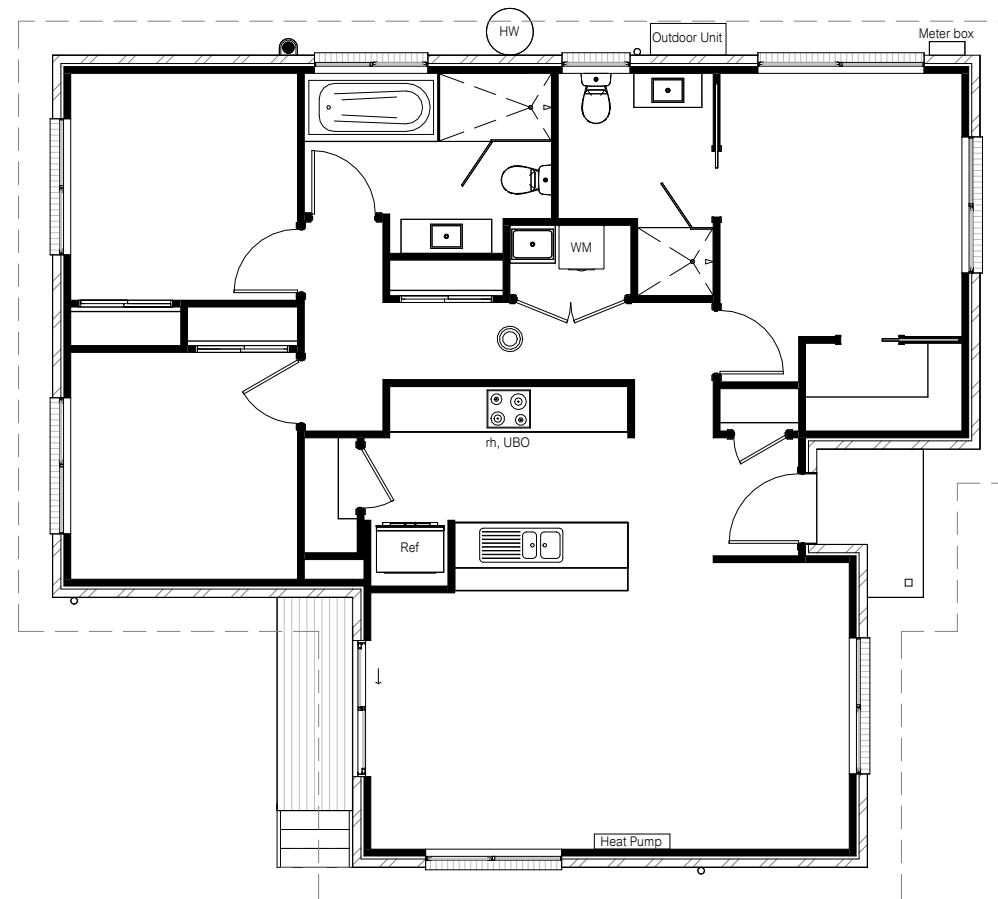
- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
 - All work to be carried out in accordance with the current National Construction Code.
 - All materials to be installed according to manufacturers specifications.
 - Do not scale from these drawings.
 - No changes permitted without consultation with designer.

Designer:
ANOTHER PERSPECTIVE PTY LTD
PO BOX 171
NORTH HOBART
LIC. NO. 685230609 (S. Turvey)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info
PROPOSED ERIKSEN UNIT DEVELOPMENT
26 Raynors Road,
MIDWAY POINT



U1 ELECTRICAL PLAN		
Drawn	JP	WH714710
Date	24 April 2026	Sheet
Scale	1 : 100	09/05



LEGEND (W = Wattage e.g. 35W = 35 Watts.)

- | | |
|---|---|
|  | STANDARD CEILING LIGHT POINT (30W) |
|  | DOWNLIGHT POINT (UNVENTED) (35W) |
|  | LED DOWNLIGHT POINT (7W) SUITABLE FOR & FITTED WITH INSULATION OVER. (IC RATED) |
|  | PENDANT LIGHT (30W) |
|  | WALL LIGHT POINT (30W) |
|  | 2 x 900mm FLUORESCENT LIGHT POINT (36W) |
|  | 2 x SLIM T5 900mm FLUORESCENT LIGHT POINT (28W) |
|  | SINGLE POWER POINT |
|  | DOUBLE POWER POINT |
|  | DOUBLE POWER POINT WITH USB |
|  | WATER PROOF POWER POINT |
|  | MAINS POWERED SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1) |
|  | FAN / HEATER / LIGHT (8W) (VENT IN ACCORDANCE WITH N.C.C. 10.8.2) |
|  | TV CONNECTION POINT |
|  | NBN/TELEPHONE CONNECTION POINT |
|  | SENSOR LIGHT |
|  | EXHAUST FAN (VENT IN ACCORDANCE WITH N.C.C. 10.8.2) |
|  | FLOOD LIGHT |
|  | CAT 6 CONNECTION POINT |
|  | TREAD LIGHTS (2W) |
|  | DUCTED VACUUM POINT |
|  | SECURITY SYSTEM KEYPAD |
|  | SECURITY SYSTEM SENSOR |

ALL EXHAUST FANS:
25 L/s for a bathroom or sanitary compartment, 40 L/s for a kitchen or laundry. Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment, or laundry must be discharged directly or via a shaft or duct to outdoor air.

B	20 Jul. 2026	ST
A	03 Jul. 2026	JP
No.	Date	Int.

Amendment changes as per cover sheet	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		U2 ELECTRICAL PLAN		
		ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED ERIKSEN UNIT DEVELOPMENT 26 Raynors Road, MIDWAY POINT		Drawn	JP	WH714710
					Date	24 April 2026	Sheet
					Scale	1 : 100	09a/05



Lighting

Class 1 & 10a buildings



Calculator

Building name/description	
PROPOSED ERIKSEN UNIT DEVELOPMENT U1 24-26 Raynors Road, MIDWAY POINT	
Number of rows preferred in table below	11 (as currently displayed)

Classification
Class 1

ID	Description	Type of space	Floor area of the space	Design lamp or illumination power load	Location	Adjustment factor			CALCULATED OUTCOMES		
						Adjustment factors	Dimming % area	Dimming % of full power	Design lumen depreciation factor	Lamp or illumination power density	System share of % of aggregate allowance used
1	Bed 1	Bedroom	12.9 m ²		Class 1 building					Enter Design Power Load	
2	Dining	Other	8.9 m ²		Class 1 building					Enter Design Power Load	
3	Ensuite	Bathroom	5.1 m ²		Class 1 building					Enter Design Power Load	
4	Bed 2	Bedroom	10.1 m ²		Class 1 building					Enter Design Power Load	
5	Bath	Bathroom	8.1 m ²		Class 1 building					Enter Design Power Load	
6	Entry	Bedroom	1.7 m ²		Class 1 building					Enter Design Power Load	
7	Bed 3	Bedroom	10.8 m ²		Class 1 building					Enter Design Power Load	
8	Laundry	Laundry	1.7 m ²		Class 1 building					Enter Design Power Load	
9	Hall	Corridor	12.0 m ²		Class 1 building					Enter Design Power Load	
10	Living	Living room	12.6 m ²		Class 1 building					Enter Design Power Load	
11	Kitchen	Kitchen	11.0 m ²		Class 1 building					Enter Design Power Load	

94.9 m²

Class 1 building

WINDOW MANUFACTURER: (??????WINDOW TYPE CHANGE????)					
LEGEND: SW = Sliding Window, AW = Awning Window, SD = Sliding door, FD = French Door, BRPG = Bushfire Rated Privacy Glass NOTE: Window tags including (DG) are to be Double Glazed, otherwise they are to be single glazed.					
NOTE: Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Windows labelled YES in "Restricted/protected" column to comply with N.C.C. 11.3.7 & 11.3.8 * - Glass specification changed to comply with Bushfire requirements (Refer to Sheet ---)					
WINDOW NUMBER	SIZE / TYPE	ID	Uw	SHGC	RESTRICTED
U1 W01	12-22AW (DG)				
U1 W02	12-22AW (DG)				
U1 W03	10-09AW (DG) Opaque				
U1 W04	06-22AW (DG)				
U1 W05	18-18AW (DG)				
U1 W06	18-12AW (DG)				
U1 W07	12-16AW (DG) Opaque				
U1 W08	12-22AW (DG)				
U1 W09	21-18SD (DG)				
U2 W01	12-15AW (DG) Opaque				
U2 W02	10-09AW (DG) Opaque				
U2 W03	06-22AW (DG)				
U2 W04	18-18AW (DG)				
U2 W05	18-18AW (DG)				
U2 W06	18-18AW (DG)				
U2 W07	21-18SD (DG)				
U2 W08	15-18AW (DG)				
U2 W09	15-18AW (DG)				

INSULATION SCHEDULE	
Area	Insulation Details
Roof	Sarking (vapour permeable) OR R1.3 Anticon Sarking
Ceiling	R?? bulk insulation (or equivalent) excluding GARAGE
Walls (external)	R?? bulk insulation (or equivalent) with 1 layer sisalation (vapour permeable). Sisalation only to GARAGE
Walls (Internal)	N/A or R?? bulk insulation (or equivalent) to internal walls adjacent to GARAGE / SUBFLOOR / ROOFSPACE
Floors	R?? bulk insulation (or equivalent) to all timber floors
NOTE: Clearance is required for uncompressed installation of bulk insulation and timbers should be sized accordingly. Bulk insulation thicknesses vary depending on manufacturer and should be selected accordingly, and installed to manufacturer's specification. Ventilation to comply with N.C.C. 10.8.3. Recommended to comply with CBOS - CONDENSATION IN BUILDINGS - TASMANIAN DESIGNERS GUIDE (i.e. min. 25mm clearance required between roofing and sarking (i.e. batten over sarking OR sarking over batten + vented batten) & Min. 25mm air gap above bulk insulation into roof space). Where solar tubes are located, diffusers are to be installed. Where skylights are located, ceiling insulation is to be installed to length of shaft.	

A	03 Jul. 2026	JP
No.	Date	Int.

Amendment changes as per cover sheet	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		U1 CALCULATIONS & SCHEDULES		
		ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED ERIKSEN UNIT DEVELOPMENT 26 Raynors Road, MIDWAY POINT		Drawn	JP	WH714710
					Date	24 April 2026	Sheet
					Scale		10/05



Lighting

Class 1 & 10a buildings



Calculator

Building name/description	
PROPOSED ERIKSEN UNIT DEVELOPMENT U2 24-26 Raynors Road, MIDWAY POINT	
Number of rows preferred in table below	11 (as currently displayed)

Classification
Class 1

ID	Description	Type of space	Floor area of the space	Design lamp or illumination power load	Location	Adjustment factor		CALCULATED OUTCOMES		
						Adjustment factors	Dimming % area	Dimming % of full power	Design lumen depreciation factor	Lamp or illumination power density System allowance System design System share of % of aggregate allowance used
1	Bed 1	Bedroom	14.4 m ²		Class 1 building					Enter Design Power Load
2	Dining	Other	12.5 m ²		Class 1 building					Enter Design Power Load
3	Ensuite	Bathroom	5.0 m ²		Class 1 building					Enter Design Power Load
4	Bed 2	Bedroom	9.9 m ²		Class 1 building					Enter Design Power Load
5	Bath	Bathroom	6.9 m ²		Class 1 building					Enter Design Power Load
6	Entry	Bedroom	3.5 m ²		Class 1 building					Enter Design Power Load
7	Bed 3	Bedroom	9.9 m ²		Class 1 building					Enter Design Power Load
8	Laundry	Laundry	1.5 m ²		Class 1 building					Enter Design Power Load
9	Hall	Corridor	8.9 m ²		Class 1 building					Enter Design Power Load
10	Living	Living room	11.0 m ²		Class 1 building					Enter Design Power Load
11	Kitchen	Kitchen	9.4 m ²		Class 1 building					Enter Design Power Load

92.8 m ²	
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Class 1 building	
------------------	--

WINDOW MANUFACTURER: (?????WINDOW TYPE CHANGE????)					
LEGEND: SW = Sliding Window, AW = Awning Window, SD = Sliding door, FD = French Door, BRPG = Bushfire Rated Privacy Glass NOTE: Window tags including (DG) are to be Double Glazed, otherwise they are to be single glazed.					
NOTE: Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Windows labelled YES in "Restricted/protected" column to comply with N.C.C. 11.3.7 & 11.3.8 * - Glass specification changed to comply with Bushfire requirements (Refer to Sheet ---)					
WINDOW NUMBER	SIZE / TYPE	ID	Uw	SHGC	RESTRICTED
U1 W01	12-22AW (DG)				
U1 W02	12-22AW (DG)				
U1 W03	10-09AW (DG) Opaque				
U1 W04	06-22AW (DG)				
U1 W05	18-18AW (DG)				
U1 W06	18-12AW (DG)				
U1 W07	12-16AW (DG) Opaque				
U1 W08	12-22AW (DG)				
U1 W09	21-18SD (DG)				
U2 W01	12-15AW (DG) Opaque				
U2 W02	10-09AW (DG) Opaque				
U2 W03	06-22AW (DG)				
U2 W04	18-18AW (DG)				
U2 W05	18-18AW (DG)				
U2 W06	18-18AW (DG)				
U2 W07	21-18SD (DG)				
U2 W08	15-18AW (DG)				
U2 W09	15-18AW (DG)				

INSULATION SCHEDULE	
Area	Insulation Details
Roof	Sarking (vapour permeable) OR R1.3 Anticon Sarking
Ceiling	R?? bulk insulation (or equivalent) excluding GARAGE
Walls (external)	R?? bulk insulation (or equivalent) with 1 layer sisalation (vapour permeable). Sisalation only to GARAGE
Walls (Internal)	N/A or R?? bulk insulation (or equivalent) to internal walls adjacent to GARAGE / SUBFLOOR / ROOFSPACE
Floors	R?? bulk insulation (or equivalent) to all timber floors
NOTE: Clearance is required for uncompressed installation of bulk insulation and timbers should be sized accordingly. Bulk insulation thicknesses vary depending on manufacturer and should be selected accordingly, and installed to manufacturer's specification. Ventilation to comply with N.C.C. 10.8.3. Recommended to comply with <i>CBOS - CONDENSATION IN BUILDINGS - TASMANIAN DESIGNERS GUIDE</i> (i.e. min. 25mm clearance required between roofing and sarking (i.e. batten over sarking OR sarking over batten + vented batten) & Min. 25mm air gap above bulk insulation into roof space). Where solar tubes are located, diffusers are to be installed. Where skylights are located, ceiling insulation is to be installed to length of shaft.	

A	03 Jul. 2026	JP
No.	Date	Int.

Amendment changes as per cover sheet

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
 - All work to be carried out in accordance with the current National Construction Code.
 - All materials to be installed according to manufacturers specifications.
 - Do not scale from these drawings.
 - No changes permitted without consultation with designer.

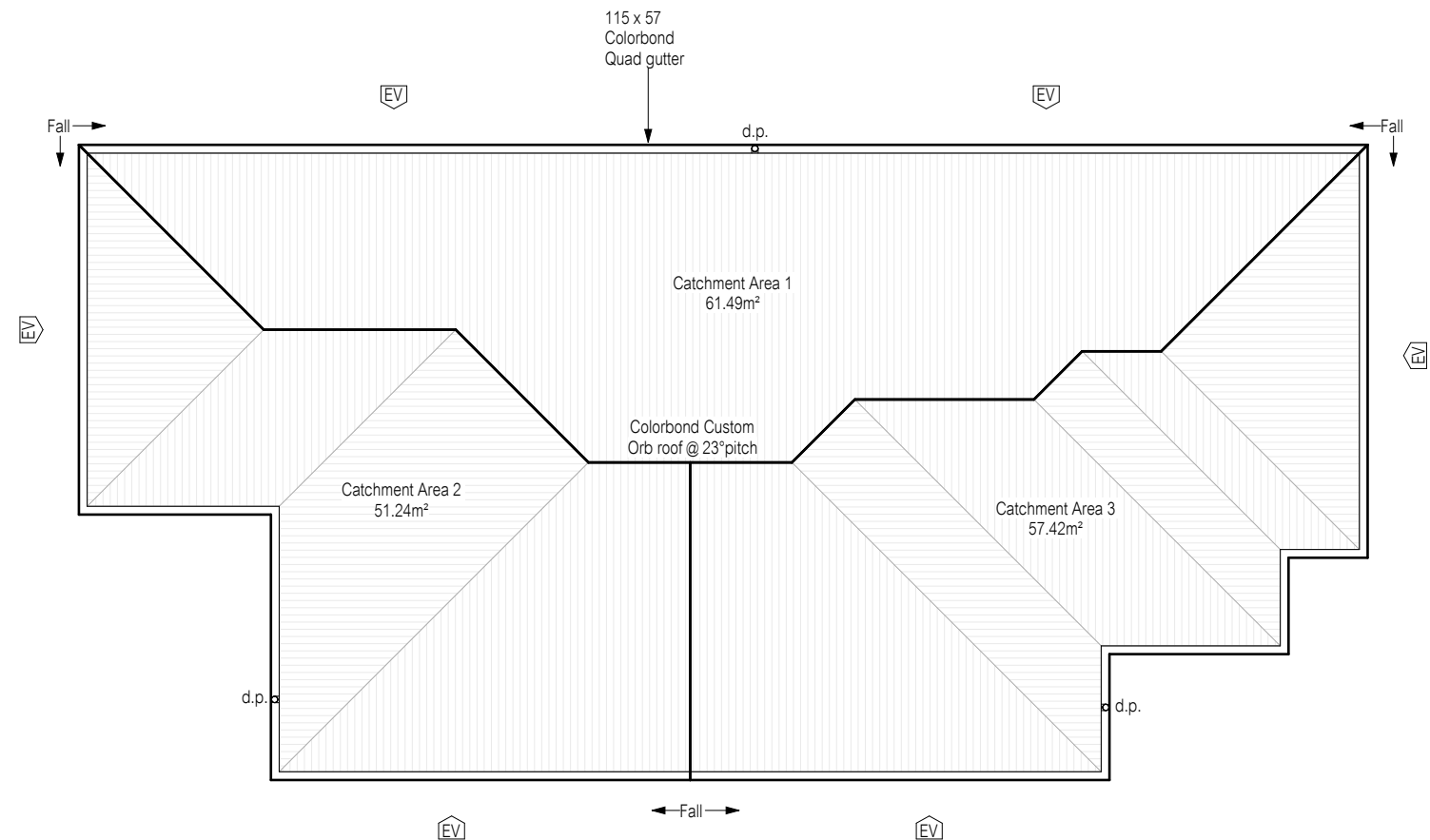
Designer:
ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au

Client / Project info
PROPOSED ERIKSEN UNIT DEVELOPMENT 26 Raynors Road, MIDWAY POINT



U2 CALCULATIONS & SCHEDULES	
Drawn	JP WH714710
Date	24 April 2026 Sheet
Scale	
10a/05	

Colorbond fixings:
50mm M6 11 x 50 EPDM
seal to comply with AS3566
or refer to AS3566 for
alternatives.



Area's shown are surface areas /
catchment areas, not plan areas.

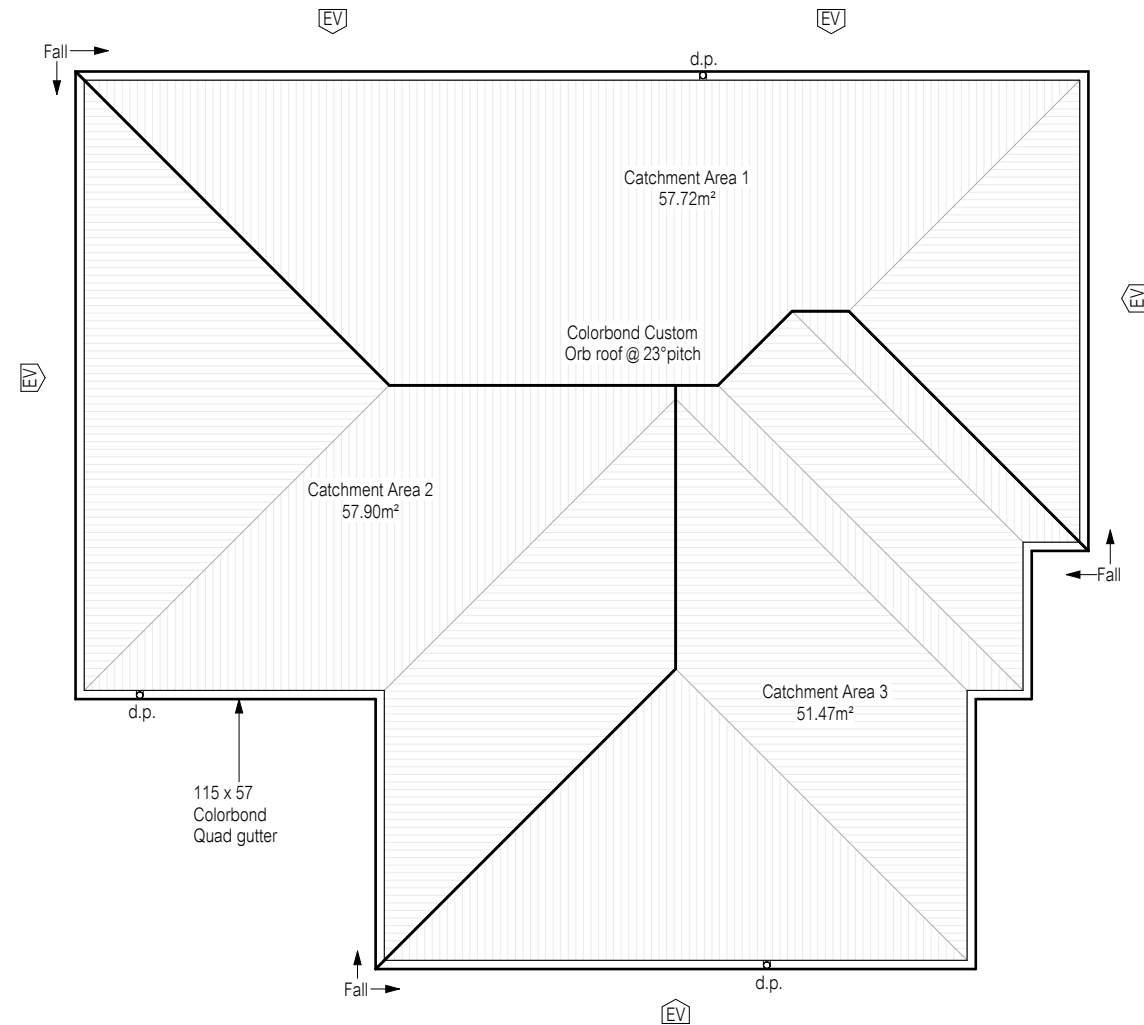
DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)		
Ah ¹	134.53	Area of Roof (excluding 115mm Quad gutter) (m ²)
Ah ²	140.63	Area of Roof (including 115mm Quad gutter) (m ²)
Ac	170.16	Ah ² x Slope factor (Table 3.2 from AS/NZS 3500.3) (m ²)
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm ²)
DRI	86.9	Design Rainfall Intensity (determined from Appendix D from AS/NZS 3500.3)
ACDP	76	Catchment area per Downpipe (determined from Figure 3.5.4(A) from AS/NZS 3500.3) (m ²)
Required Downpipes	2.23	Ac ÷ Acdp
Downpipes Provided	3	

EAVES VENT NOTE:
SEV2040W EAVE VENT (21,000mm²).
6 VENTS EVENLY SPACED

A	03 Jul. 2026	JP
No.	Date	Int.

Amendment changes as per cover sheet	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		U1 ROOF PLAN		
		ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED ERIKSEN UNIT DEVELOPMENT 26 Raynors Road, MIDWAY POINT		Drawn	JP	WH714710
					Date	24 April 2026	Sheet
					Scale	1 : 100	11/05

Colorbond fixings:
50mm M6 11 x 50 EPDM
seal to comply with AS3566
or refer to AS3566 for
alternatives.



Area's shown are surface areas /
catchment areas, not plan areas.

DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)		
Ah ¹	132.34	Area of Roof (excluding 115mm Quad gutter) (m ²)
Ah ²	138.10	Area of Roof (including 115mm Quad gutter) (m ²)
Ac	167.10	Ah ² x Slope factor (Table 3.2 from AS/NZS 3500.3) (m ²)
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm ²)
DRI	86.9	Design Rainfall Intensity (determined from Appendix D from AS/NZS 3500.3)
ACDP	76	Catchment area per Downpipe (determined from Figure 3.5.4(A) from AS/NZS 3500.3) (m ²)
Required Downpipes	2.20	Ac ÷ Acdp
Downpipes Provided	3	

EAVES VENT NOTE:
SEV2040W EAVE VENT (21,000mm²).
5 VENTS EVENLY SPACED

A	03 Jul. 2026	JP
No.	Date	Int.

Amendment changes as per cover sheet	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		U2 ROOF PLAN		
		ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Survey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED ERIKSEN UNIT DEVELOPMENT 26 Raynors Road, MIDWAY POINT		Drawn	JP	WH714710
					Date	24 April 2026	Sheet
					Scale	1 : 100	11a/05