

NOTICE OF PROPOSED DEVELOPMENT

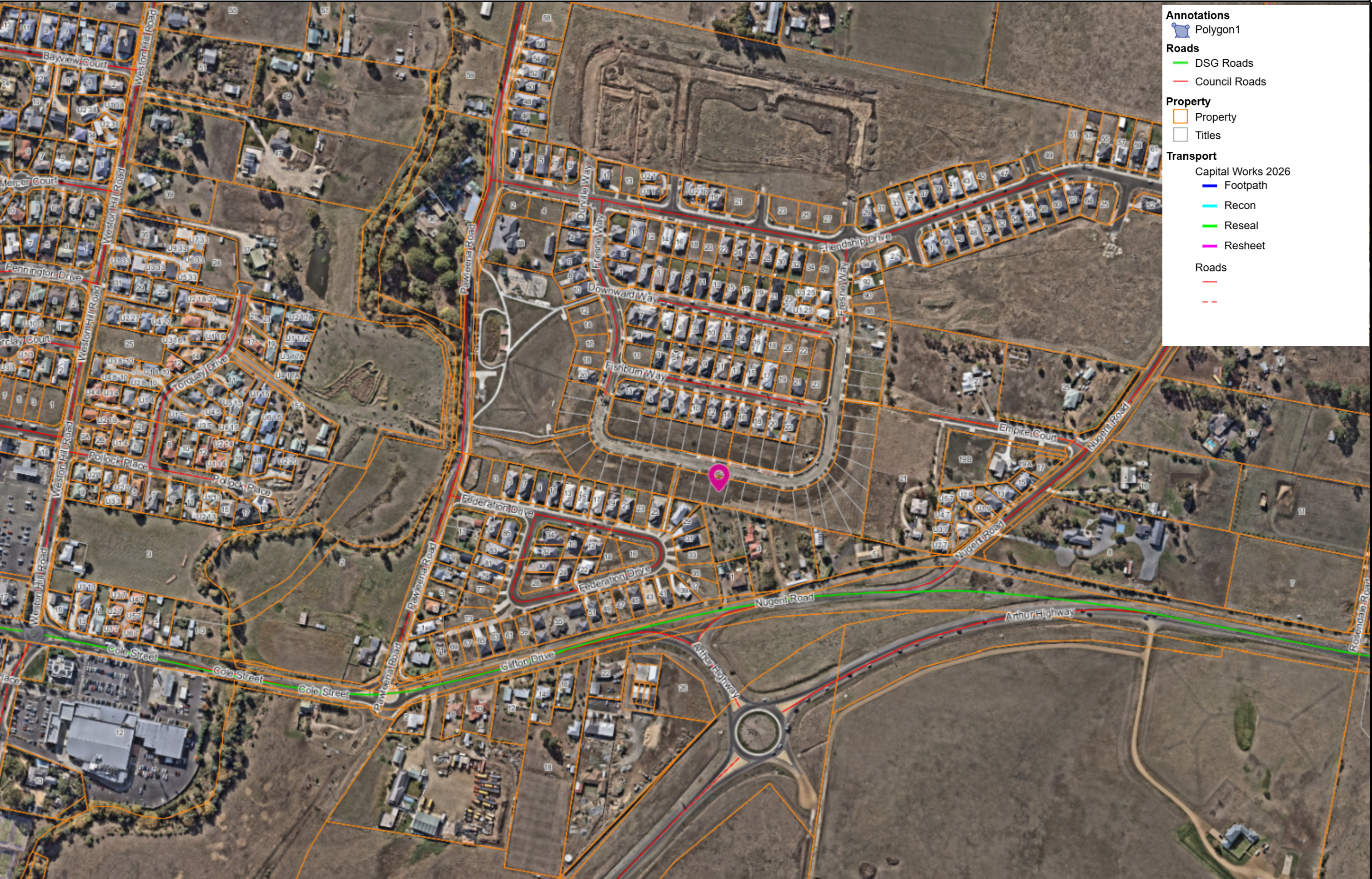
Notice is hereby given that an application has been made for planning approval for the following development:

SITE:**48 FRESNE WAY, SORELL****PROPOSED DEVELOPMENT:****DWELLING**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 14th September 2026**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received no later than **Monday 14th September 2026**.

APPLICATION NO: 5.2026-285.1
DATE: 28 August 2026



Annotations

- Polygon1

Roads

- DSG Roads
- Council Roads

Property

- Property
- Titles

Transport

Capital Works 2026

- Footpath
- Recon
- Reseal
- Resheet

Roads

-
-



Disclaimer

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

100 m



Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use: Residential
	Development: Single dwelling
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal:	\$ 438,100.00

Is all, or some the work already constructed:	No: ☒ Yes: ☐
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Location of proposed works:	Street address: Lot 239 Fresne Way
	Suburb: Sorell Postcode: 7172
	Certificate of Title(s) Volume: 300597 Folio: 239

Current Use of Site	Vacant Land
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Current Owner/s:	Name(s) Joyal Lukose & Reshmi Vincent
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Is the Property on the Tasmanian Heritage Register?	No: ☒ Yes: ☐	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: ☒ Yes: ☐	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: ☒ Yes: ☐	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: ☐ Yes: ☐	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: ☒ Yes: ☐	<i>If yes, please complete the Council or Crown land section on page 3</i>

If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form
<https://www.sorell.tas.gov.au/services/engineering/>

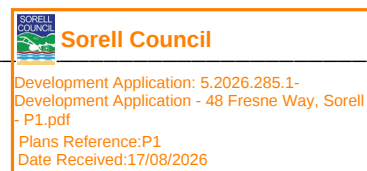


Sorell Council

Development Application: 5.2026.285.1-
 Development Application - 48 Fresne Way, Sorell
 - P1.pdf
 Plans Reference: P1
 Date Received: 17/08/2026

Declarations and acknowledgements	
- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land. - I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours. - I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies. - I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application. - I/we declare that the information in this application is true and correct. <i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i>	
I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.	
Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent.	
Applicant Signature:	Signature: <u>Tanya Hill</u> Date: <u>17.08.2026</u>

Crown or General Manager Land Owner Consent	
If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>). Please note: - If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au - If the application involves Crown land you will also need a letter of consent. - Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.	
I _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application for _____	
Signature of General Manager, Minister or Delegate:	Signature: _____ Date: _____



SEARCH OF TORRENS TITLE

VOLUME 300597	FOLIO 239
EDITION 1	DATE OF ISSUE 09-June-2026

SEARCH DATE : 17-Aug-2026

SEARCH TIME : 10.11 am

DESCRIPTION OF LAND

Town of SORELL

Lot 239 on Sealed Plan [300597](#)Derivation : Part of 980 Acres Gtd. to Thomas Villeneuve Jean
and Cornelius DriscollPrior CTs [184727/1](#) and [185352/1](#)SCHEDULE 1[M807417](#) & [M807420](#) TRANSFER to LYNMORE HOLDINGS PTY LTD
Registered 09-Apr-2020 at 12.01 pmSCHEDULE 2Reservations and conditions in the Crown Grant if any
SP[300597](#) EASEMENTS in Schedule of Easements
SP[300597](#) COVENANTS in Schedule of Easements
SP[300597](#) FENCING PROVISION in Schedule of Easements
SP[146152](#) FENCING COVENANT in Schedule of EasementsUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Sorell Council

Development Application: 5.2026.285.1-
Development Application - 48 Fresne Way, Sorell
- P1.pdf
Plans Reference:P1
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SCHEDULE OF EASEMENTS NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	Registered Number SP 300597
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PAGE 1 OF 10 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lot 1 on the Plan is subject to a pipeline and services easement created by and fully described in E224894 over the land marked PIPELINE AND SERVICES EASEMENT 4.00 WIDE (CREATED BY E224894) (P180371) on the Plan.

Lot 504 on the Plan is subject to a pipeline and services easement created by and fully described in E295688 over the land marked PIPELINE AND SERVICES EASEMENT 2.50 WIDE (CREATED BY E295688) (P183297) on the Plan.

Lot 505 on the Plan is subject to a drainage easement created by and fully described in E295687 over the land marked DRAINAGE EASEMENT 3.00 WIDE CREATED BY E295687 (P.183297) on the Plan.

Lots 232 to 247 (inclusive) and Lot 401 ("the Lots") are subject to a PIPELINE AND SERVICES EASEMENT in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT VARIABLE WIDTH shown on the Plan ("the Easement Land").

Director

Director

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: LYNMORE HOLDINGS PTY LTD FOLIO REF: 185352/1 & 184727/1 SOLICITOR & REFERENCE: Page Seager (DAS 201243 – Stages 8 & 9)	PLAN SEALED BY: Sorell Council DATE: 27.5.26 REF NO. SA 7.2020.17.2 Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

 Sorell Council
Development Application: 5.2026.285.1- Development Application - 48 Fresne Way, Sorell - P1.pdf Plans Reference: P1 Date Received: 17/08/2026

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 10 PAGES	Registered Number SP300597
SUBDIVIDER: LYNMORE HOLDINGS PTY. LTD. FOLIO REFERENCE: 185352/1 & 184727/1	

Lots 4, 5 and 6 ("the Lots") are subject to a PIPELINE AND SERVICES EASEMENT in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT 3.00 WIDE shown on the Plan ("the Easement Land"). —

2, 3 and *BS

Lots 222 to 231 (inclusive) ("the Lots") are subject to a PIPELINE AND SERVICES EASEMENT in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE shown on the Plan ("the Easement Land"). —

2, 3 and *BS

Lots 222 to 231 on the Plan are subject to a Drainage Easement (as defined) in gross in favour of the Sorell Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan. —

Lots 13 and 231 on the Plan are subject to a Drainage Easement (as defined) in gross in favour of the Sorell Council over the land marked DRAINAGE EASEMENT 2.50 WIDE on the Plan. —

COVENANTS

The owner of each lot on the Plan (excepting lots 1, 401, 402, 504 and 505) covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, any kit home, relocatable dwelling or weatherboard dwelling on such lot.
2. Not without the prior written consent of the Vendor to construct on any such lot which has an area greater than 550 square metres, a dwelling with a liveable floor area of less than 120 square metres,

Director

Director

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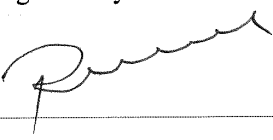


ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 10 PAGES	Registered Number SP 300597
SUBDIVIDER: LYNMORE HOLDINGS PTY. LTD. FOLIO REFERENCE: 185352/1 & 184727/1	

(which area shall not include patios, verandas and carports), except if the dwelling is one of a greater number of multiple dwellings on that lot.

3. Not without the prior written consent of the Vendor to construct on any such lot, a dwelling which may be used other than as a single dwelling.
4. Not to construct any walls of any residential building on such lot from any material except brick, finished rendered surface or masonry without the prior written consent of the Vendor, PROVIDED THAT (subject to the other covenants contained in this Schedule of Easements) the use of timber, non-brick, and James Hardie products, or non-masonry materials not exceeding thirty percent (30%) of the total external wall area is permitted.
5. Not without the prior written consent of the Vendor:
 - (a) to use or allow such lot to be used for any public housing or public rental project or public assistance program;
 - (b) to use or allow such lot to be occupied on any basis which involves any state or federal government rental assistance, rental benefit or rental relief;
 - (c) to use or allow such lot to be occupied on any basis where the owner of such lot does not have the absolute right (subject to the rights of any mortgagee) to determine to whom such lot may be leased or licensed; and
 - (d) to use or allow such lot to be used for the purposes of a public road.
6. Not without the prior written consent of the Vendor to construct any dwelling on such lot unless there is a lockable skip of at least 3m³ capacity placed on such lot during the construction of the dwelling for all rubbish and discarded materials.

The owner of lot 3 on the Plan covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run


 Director


 Director

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 10 PAGES	Registered Number SF 300597
SUBDIVIDER: LYNMORE HOLDINGS PTY. LTD. FOLIO REFERENCE: 185352/1 & 184727/1	

with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, along the lot boundary marked 'A' to 'B' on the Plan any boundary fence other than a fence constructed using the following:
 - (a) 1800mm x 50mm x 50mm steel posts, being 2mm thick, with a 'Red Rock' powder-coat finish; and
 - (b) adaptor 'U' channel aluminium with a 'Red Rock' powder-coat finish; and
 - (c) 2.7 metre lengths of horizontal 'Ekodeck' composite decking in the 'Red Rock' colour.

The owner of lot 4 on the Plan covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, along the lot boundary marked 'C' to 'D' on the Plan any boundary fence other than a fence constructed using the following:
 - (a) 1800mm x 50mm x 50mm steel posts, being 2mm thick, with a 'Red Rock' powder-coat finish; and
 - (b) adaptor 'U' channel aluminium with a 'Red Rock' powder-coat finish; and
 - (c) 2.7 metre lengths of horizontal 'Ekodeck' composite decking in the 'Red Rock' colour.

Director

Director

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 10 PAGES	Registered Number SP300597
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The owner of lot 236 on the Plan covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, along the lot boundary marked 'E' to 'F' on the Plan any boundary fence other than a fence constructed using the following:
 - (a) 1800mm x 50mm x 50mm steel posts, being 2mm thick, with a 'Red Rock' powder-coat finish; and
 - (b) adaptor 'U' channel aluminium with a 'Red Rock' powder-coat finish; and
 - (c) 2.7 metre lengths of horizontal 'Ekodeck' composite decking in the 'Red Rock' colour.

The owner of lot 237 on the Plan covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, along the lot boundary marked 'G' to 'H' on the Plan any boundary fence other than a fence constructed using the following:
 - (a) 1800mm x 50mm x 50mm steel posts, being 2mm thick, with a 'Red Rock' powder-coat finish; and
 - (b) adaptor 'U' channel aluminium with a 'Red Rock' powder-coat finish; and
 - (c) 2.7 metre lengths of horizontal 'Ekodeck' composite decking in the 'Red Rock' colour.

Director

Director

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 10 PAGES	Registered Number SF 300597
SUBDIVIDER: LYNMORE HOLDINGS PTY. LTD. FOLIO REFERENCE: 185352/1 & 184727/1	

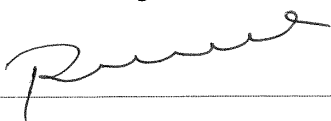
The owner of lot 253 on the Plan covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, along the lot boundary marked 'I' to 'J' on the Plan any boundary fence other than a fence constructed using the following:
 - (a) 1800mm x 50mm x 50mm steel posts, being 2mm thick, with a 'Red Rock' powder-coat finish; and
 - (b) adaptor 'U' channel aluminium with a 'Red Rock' powder-coat finish; and
 - (c) 2.7 metre lengths of horizontal 'Ekodeck' composite decking in the 'Red Rock' colour.

The owner of lot 254 on the Plan covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, along the lot boundary marked 'K' to 'L' on the Plan any boundary fence other than a fence constructed using the following:
 - (a) 1800mm x 50mm x 50mm steel posts, being 2mm thick, with a 'Red Rock' powder-coat finish; and
 - (b) adaptor 'U' channel aluminium with a 'Red Rock' powder-coat finish; and
 - (c) 2.7 metre lengths of horizontal 'Ekodeck' composite decking in the 'Red Rock' colour.

Director



Director



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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 7 OF 10 PAGES	Registered Number SP 300597
SUBDIVIDER: LYNMORE HOLDINGS PTY. LTD. FOLIO REFERENCE: 185352/1 & 184727/1	

The owners of each lot on the plan (excepting lots 1, 401, 402, 504 and 505) each covenant in gross with the Sorell Council to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof shall be in favour of the said Sorell Council to observe the following stipulations:-

1. Not without the prior written consent of the Sorell Council to construct any building on a lot with a toilet included without at the same time installing one or more rainwater tanks with a combined minimum volume of 5000 litres which must:
 - (a) collect all roof water runoff and be connected to the internal plumbing to provide water for toilet flushing, laundry and on-site garden use; and
 - (b) have a minimum retention storage of 2000 litres and be plumbed into toilets so that re-use occurs, with top-up from the reticulated supply.

FENCING PROVISION

In respect of the Lots shown on the Plan, the Vendor (Lynmore Holdings Pty. Ltd.) shall not be required to fence.

DEFINITIONS

"Drainage Easement" means a right of drainage (including the right of construction of drains) for Sorell Council with which the right shall be capable of enjoyment for the purpose of carrying away stormwater and other surplus water from any land over or under the land herein indicated as the land over which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Sorell Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

Director

Director

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 8 OF 10 PAGES	Registered Number SP 300597
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“Pipeline and Services Easement” is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the

Director

Director

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 9 OF 10 PAGES	Registered Number SP 300597
SUBDIVIDER: LYNMORE HOLDINGS PTY. LTD. FOLIO REFERENCE: 185352/1 & 184727/1	

servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

“**Infrastructure**” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

“**TasWater**” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

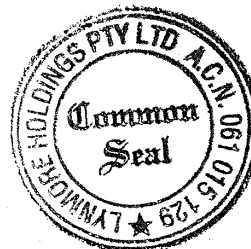
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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 10 OF 10 PAGES	Registered Number Sf 300597
SUBDIVIDER: LYNMORE HOLDINGS PTY. LTD. FOLIO REFERENCE: 185352/1 & 184727/1	

EXECUTED by LYNMORE HOLDINGS PTY. LTD.)
(ACN 061 015 129), as registered proprietor of the land)
comprised in Folio of the Register Volume 185352 Folio 1)
and Folio of the Register Volume 184727 Folio 1 pursuant)
to section 127 of the *Corporations Act 2001* by:)



.....
Director Signature

Robert Arthur Wayne Lynch (sr.)

.....
Director Full Name (print)

.....
*Director/Secretary Signature

Robert Arthur Wayne Lynch (sr.)

.....
*Director/Secretary Full Name (print)

(*please strike out inapplicable *if Sole Director/Secretary write 'Sole')

* Bailee Saward
Page Seager
on behalf of registered proprietor
9.06.2026

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Sorell Council

Development Application: 5,2026.285.1-
Development Application - 48 Fresne Way, Sorell
- P1.pdf
Plans Reference: P1
Date Received: 17/08/2026

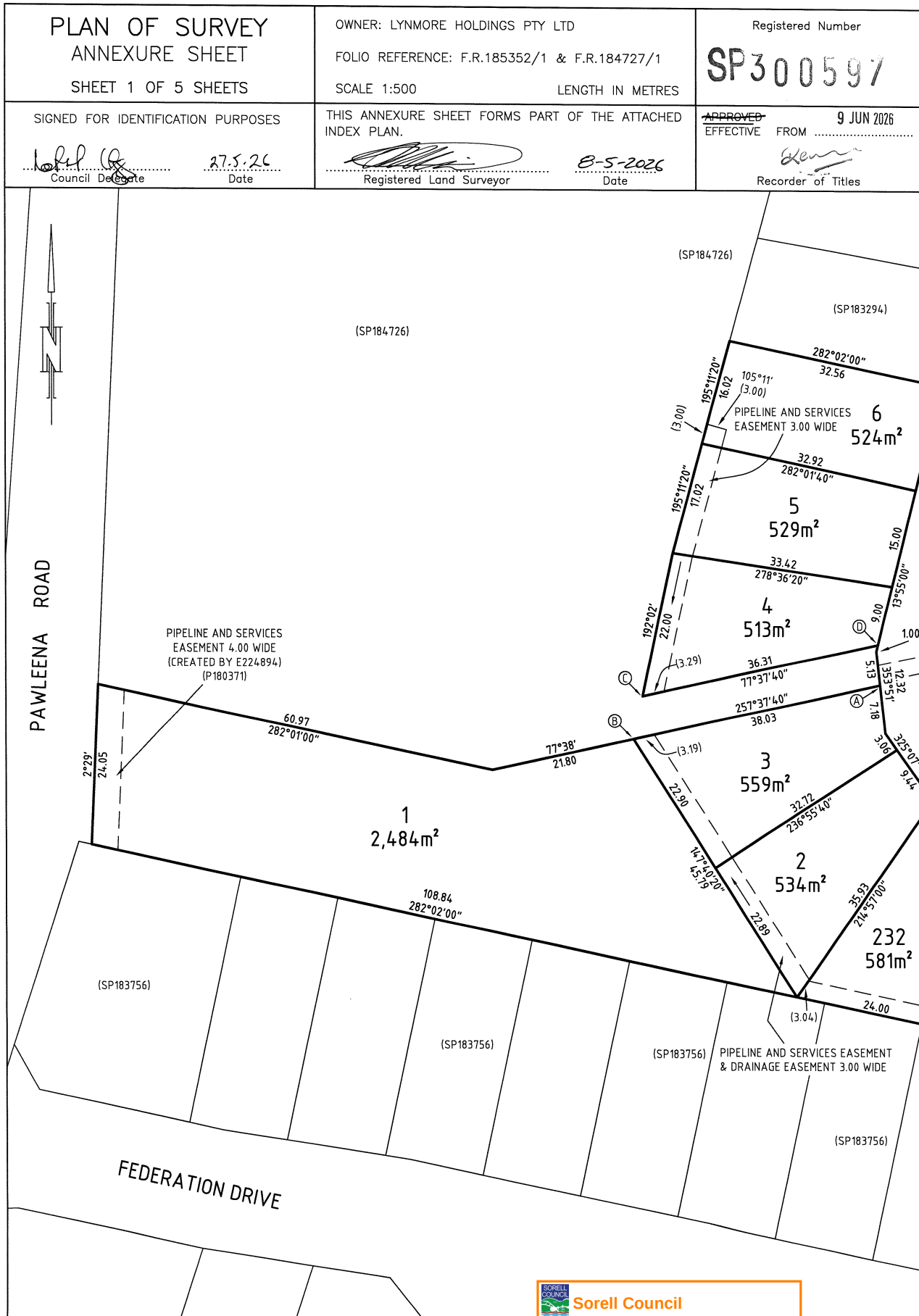
OWNER LYNMORE HOLDINGS PTY LTD FOLIO REFERENCE F.R.185352/1 & F.R.184727/1 GRANTEE PART OF 980 ACRES GTD. TO THOMAS VILLENEUVE JEAN AND CORNELIOUS DRISCOLL	PLAN OF SURVEY BY SURVEYOR ANDREW STEPHEN BIRCH ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 TOWN OF SORELL SCALE 1: 2000 LENGTHS IN METRES	Registered Number SP 300597 APPROVED EFFECTIVE 9 JUN 2026 <i>René</i> Recorder of Titles
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		

INDEX PLAN

PRIORITY FINAL PLAN

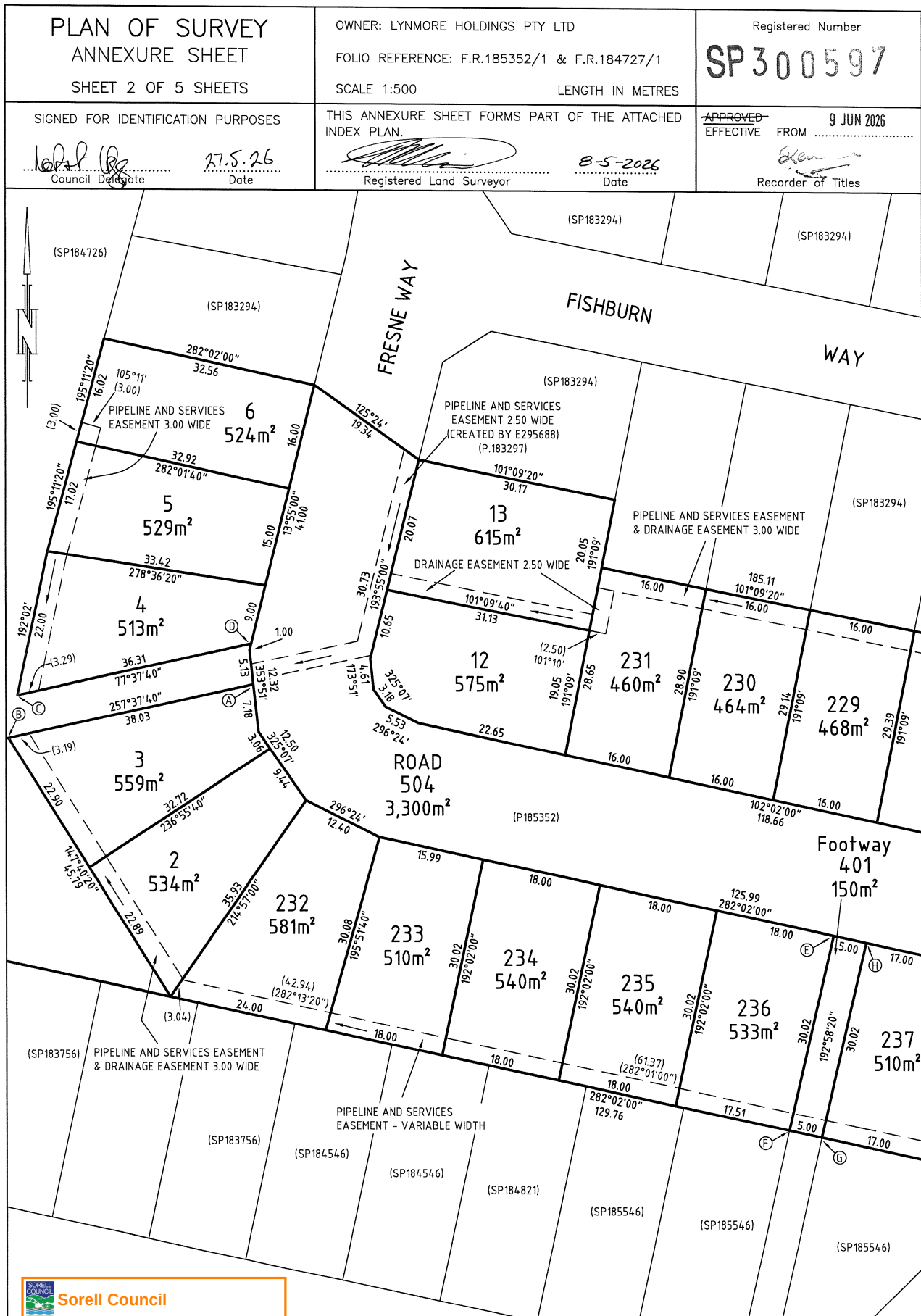


<i>[Signature]</i> Registered Land Surveyor 8-5-2026 Date	 Sorell Council Development Application: 5.2026.285.1- Development Application - 48 Fresne Way, Sorell - P1.pdf Plans Reference: P1 Date Received: 17/08/2026	<i>[Signature]</i> Council Delegate 21.5.26 Date
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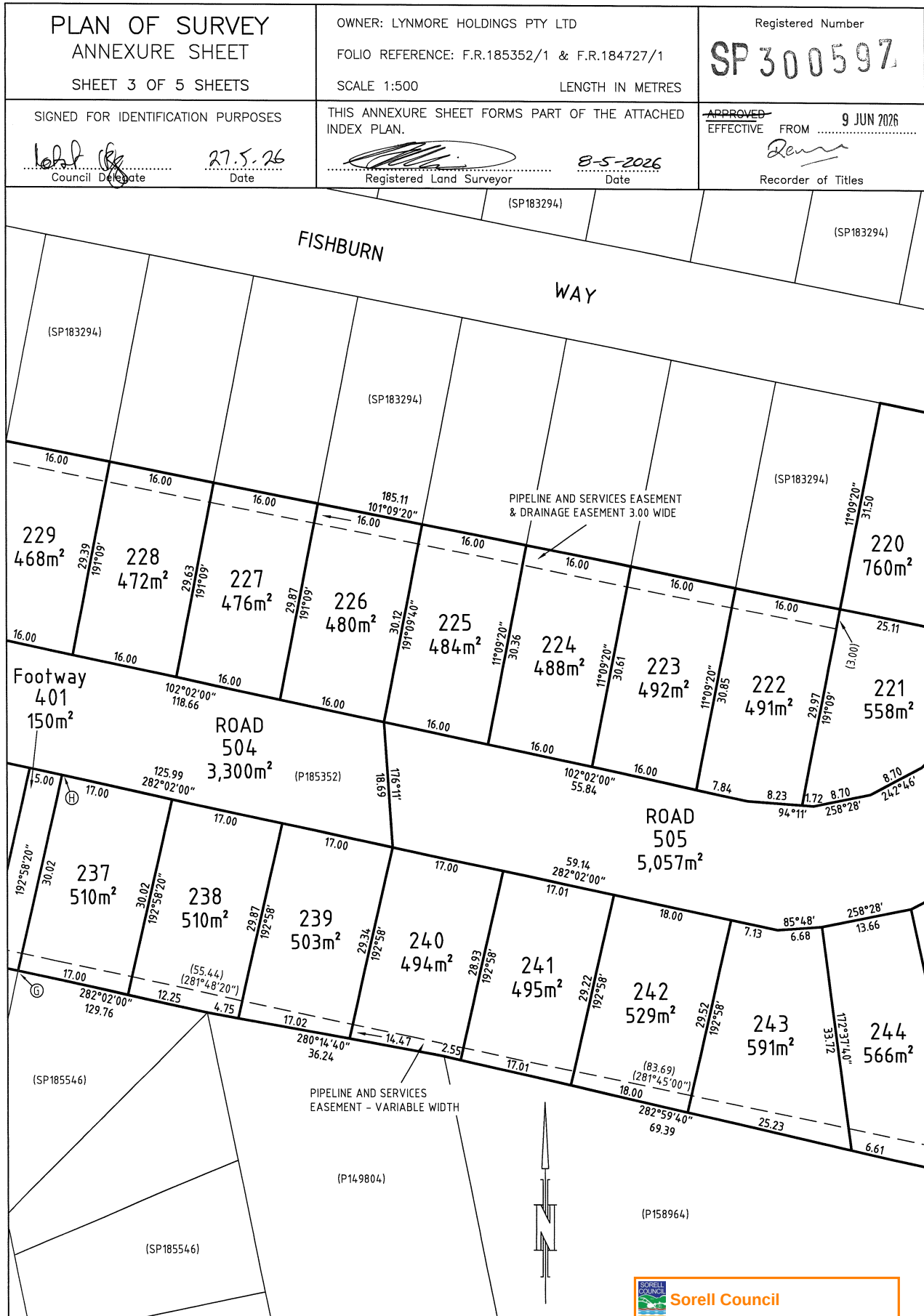
Sorell Council

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 - P1.pdf
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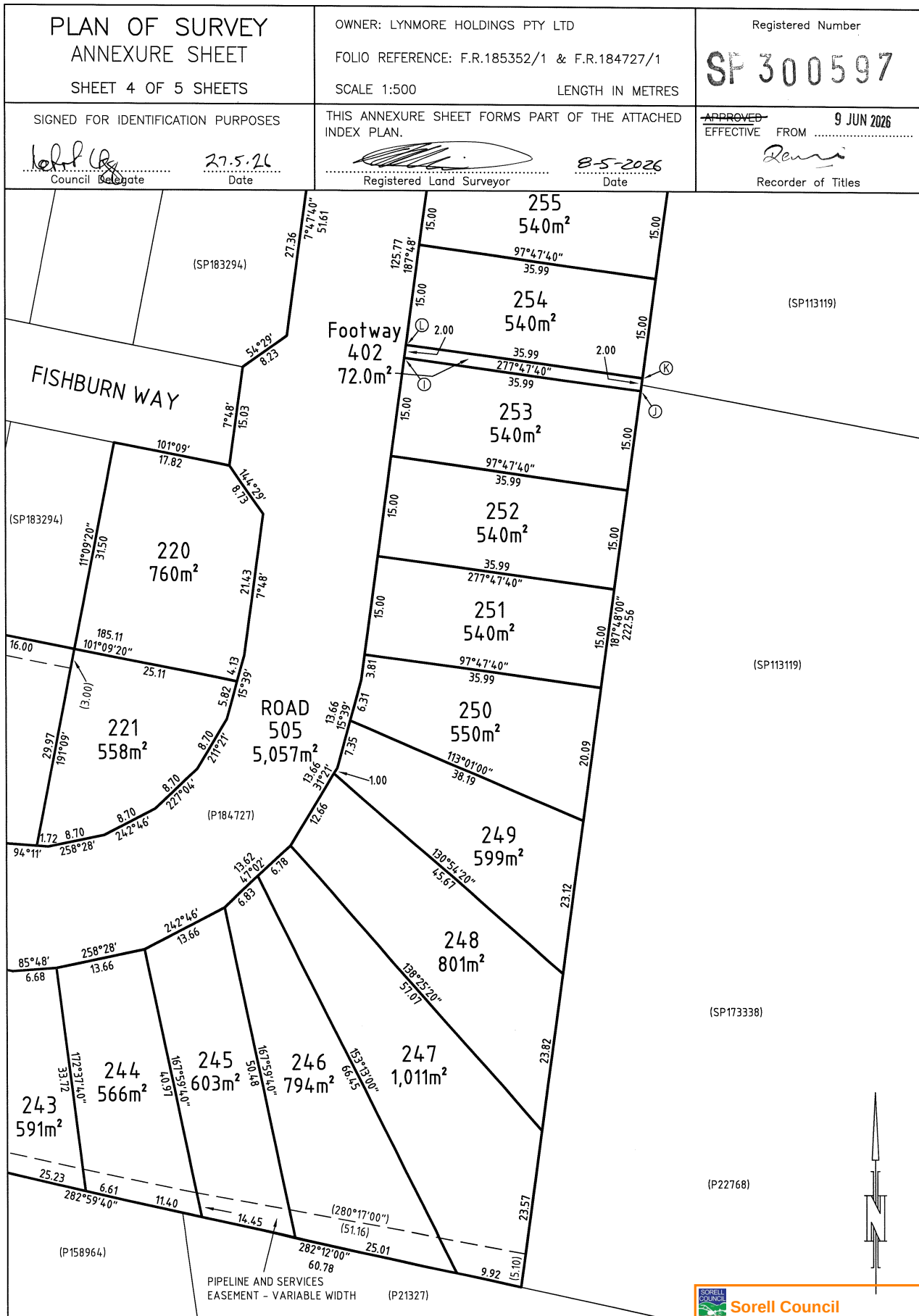
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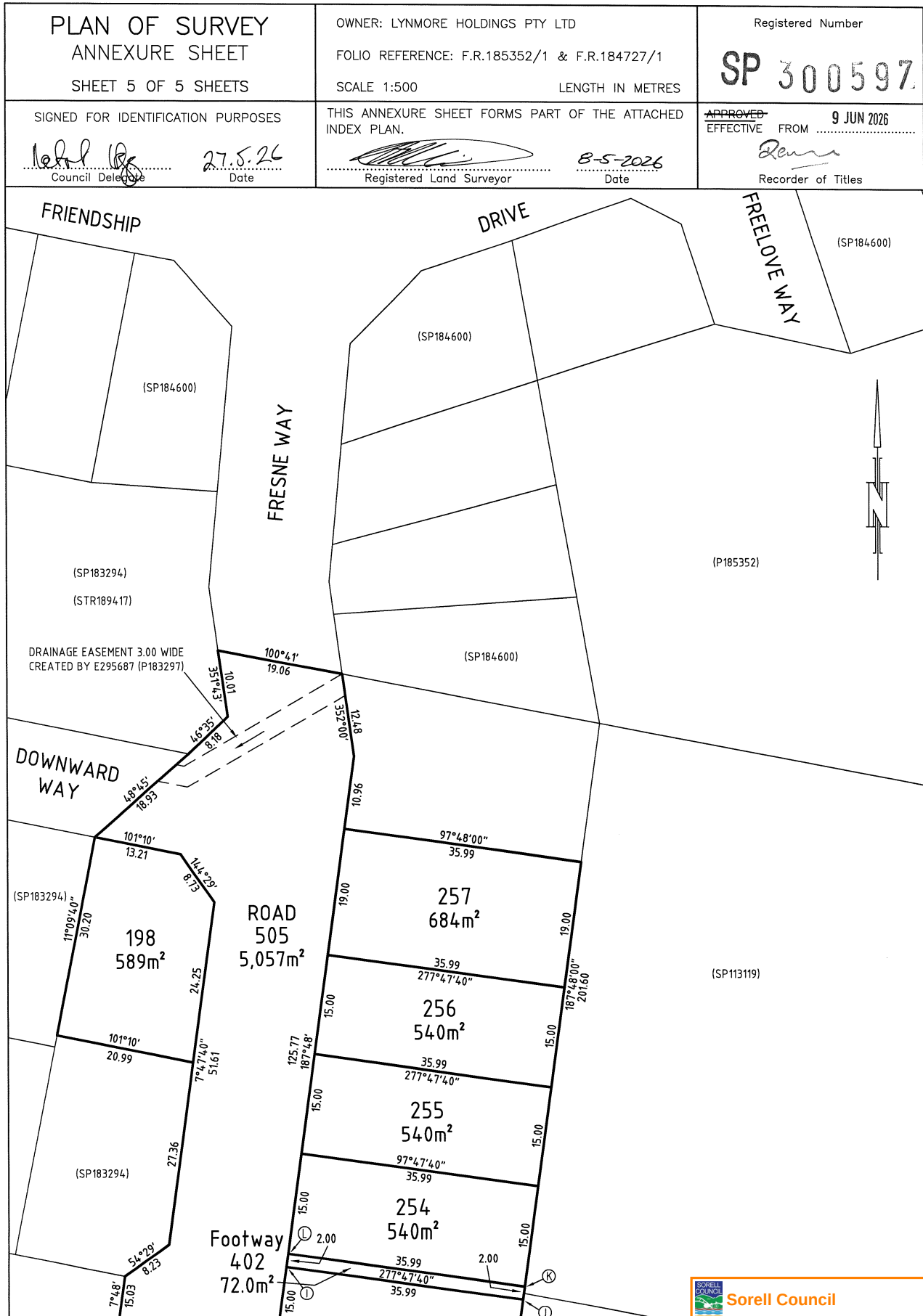
 **Sorell Council**

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DA
TASMANIAN PLANNING SCHEME

SHEET INDEX

1	COVER SHEET
2	SITE PLAN
3	SOIL & WATER MANAGEMENT PLAN
4	GROUND FLOOR PLAN
5	ELEVATIONS / SECTION
6	ELEVATIONS
7	WINDOW & DOOR SCHEDULES
8	CALCULATIONS
9	DETAILS (FACE BRICKWORK)
10	DETAILS (CLADDING)
11	ROOF DRAINAGE PLAN
12	ROOF VENTILATION
13	FLOOR COVERINGS
14	KITCHEN DETAILS
15	BATHROOM DETAILS
16	ENSUITE DETAILS
17	LAUNDRY DETAILS
18	3D VIEWS
19	GENERAL NOTES
20	WET AREA & ENERGY EFFICIENCY NOTES

TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR		
	GARAGE	38.96
	LIVING	129.73
	PORCH	2.92
		171.61 m²

HIGHLY REACTIVE /
PROBLEMATIC SOIL TYPE.
REFER TO HYDRAULICS PLANS
AND DETAILS PREPARED BY HED
CONSULTING

AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
 - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
 - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
 - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
 - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
 - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
 - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
 - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
 - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
 - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
 - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.8.
 - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
 - SERVICES IN ACCORDANCE WITH NCC 2022.
 - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
 - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
 - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	YES
BUILDING ENVELOPE	YES
BUSHFIRE	BAL-LOW
CLIMATE ZONE (NCC)	ZONE 7 - COOL TEMPERATE
DESIGN WIND CLASSIFICATION	N2 (EXPOSED TBC)
ESTATE/DEVELOPER GUIDELINES	NO
FLOOD OVERLAY	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINIMUM FLOOR LEVEL	NO
NATURAL ASSET CODE	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SHIELDING FACTOR	PS - PARTIAL SHIELDING
SITE CLASSIFICATION	H1
SPECIFIC AREA PLAN OVERLAY	NO
TERRAIN CATEGORY	TC1
TOPOGRAPHIC CLASSIFICATION	T0
WATERWAY & COASTAL OVERLAY	NO
WIND REGION	A - NORMAL
WITHIN 1km CALM SALT WATER	NO
WITHIN 50km BREAKING SURF	22.00km
ZONING	GENERAL RESIDENTIAL
SAFEGUARDING OF AIRPORTS	AIRPORT OBSTACLE

BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
SETBACKS		
FRONT	MIN. 4,500mm	4,617mm
SIDE A	MIN. 1,500mm	2,500mm
SIDE B	MIN. 1,500mm	2,998mm
REAR	MIN. 1,500mm	7,721mm
BULK & SCALE		
SITE AREA	503m²	
SITE COVERAGE	MAX. 50%	34.12%
LANDSCAPE		
NO APPLICABLE CONTROLS		
EARTHWORKS		
CUT DEPTH	MAX. 2,000mm	1,014mm
FILL DEPTH	MAX. 800mm	181mm
ACCESS & AMENITY		
PARKING SPACES	MIN. 2 SPACES	2 SPACES

3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP

- INSTRUCTIONS
1. PASTE LOCATION MAP SCREENSHOT
 2. SET THE WIDTH OF THE SCREENSHOT TO 13,200
 3. DELETE THESE INSTRUCTIONS

This Plan has been prepared prior to the receipt of one or more of the following documents:-
Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved
subdivision plans providing crossover locations and service connection points, power and communications connection point
information, Geotechnical Site Investigation, Contour Survey, Dial Before You Dig information, Planning Approval.

BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S) 2455mm	
NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL	
ROOF PITCH (U.N.O.)	23.0°
ELECTRICITY SUPPLY	SINGLE PHASE
GAS SUPPLY	NONE
ROOF MATERIAL	SHEET METAL
ROOF COLOUR	N/A
WALL MATERIAL	BRICK VENEER CLADDING
SLAB CLASSIFICATION	TBC

INSULATION

ROOF	SARKING UNDER ROOFING
CEILING	R4.1 BATTS (EXCL. GARAGE, ALFRESCO)
EXT. WALLS	R2.0 BATTS (EXCL. GARAGE)
WALL WRAP	WALL WRAP TO ENTIRE HOUSE
INT. WALLS	R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN
FLOOR	BIAX SLAB R0.60

NCC 2022 LIVABLE HOUSING COMPLIANCE

- STEP FREE ENTRANCE LOCATION: N/A
ACCESSIBLE SANITARY COMPARTMENT LOCATION: BATH (GROUND FLOOR)
ACCESSIBLE SHOWER LOCATION: BATH (GROUND FLOOR)
- GENERAL NOTES:
- THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX. 5mm.
 - THRESHOLD OF STEP FREE ENTRANCE DOOR TO BE MAX. 5mm.
 - THRESHOLD OF INTERIOR DOORS SERVICING HABITABLE ROOMS, LAUNDRY, ACCESSBILE SANITARY COMPARTMENT AND ROOM CONTAINING ACCESSIBLE SHOWER TO BE MAX. 5mm.
 - INTERIOR DOORS NOMINATED AS 870 TO ACHIEVE MIN. 820mm CLEAR OPENING.
 - CORRIDORS CONNECTING HABITABLE ROOMS, ACCESSBILE SANITARY COMPARTMENT AND ROOM CONTAINING ACCESSIBLE SHOWER TO ACHIEVE MIN. 1000mm CLEARANCE BETWEEN FINISHED SURFACE OF OPPOSING WALLS (EXCL. SKIRTINGS).
 - REFER TO APPLICABLE WET AREA PLANS AND INTERIOR ELEVATIONS FOR LOCATIONS OF REQUIRED WALL REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION.

THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE:

DATE:

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

PRELIMINARY PLAN SET

2	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2026.07.29	TRV	-
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

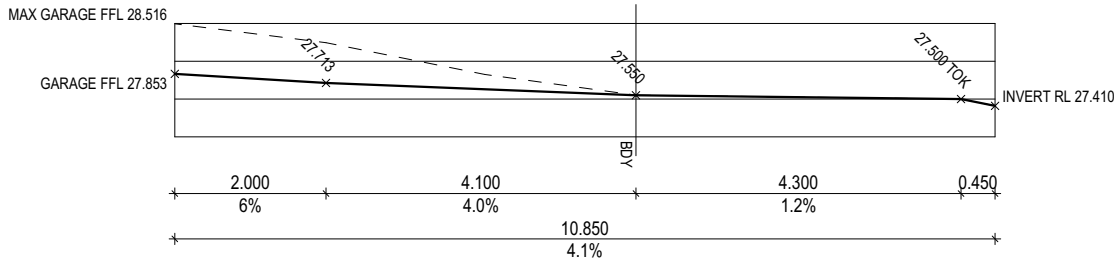
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	2 PRELIM PLANS - INITIAL ISSUE	TRV 29/07/2026	LOT / SECTION / CT: 239 / - /	SHEET TITLE: COVER SHEET	SCALES:	
			COUNCIL: SORELL	SHEET No.: 1 / 20		

APPROX. CUT/FILL		
CUT	142.90m³	321.53
FILL	2.06m³	4.64
DIFFERENCE	140.84m³	316.89
317 TONNES OF EXPORT FILL		

LOT SIZE: 503m²
HOUSE (COVERED AREA): 171.61m²
SITE COVERAGE: 34.12%

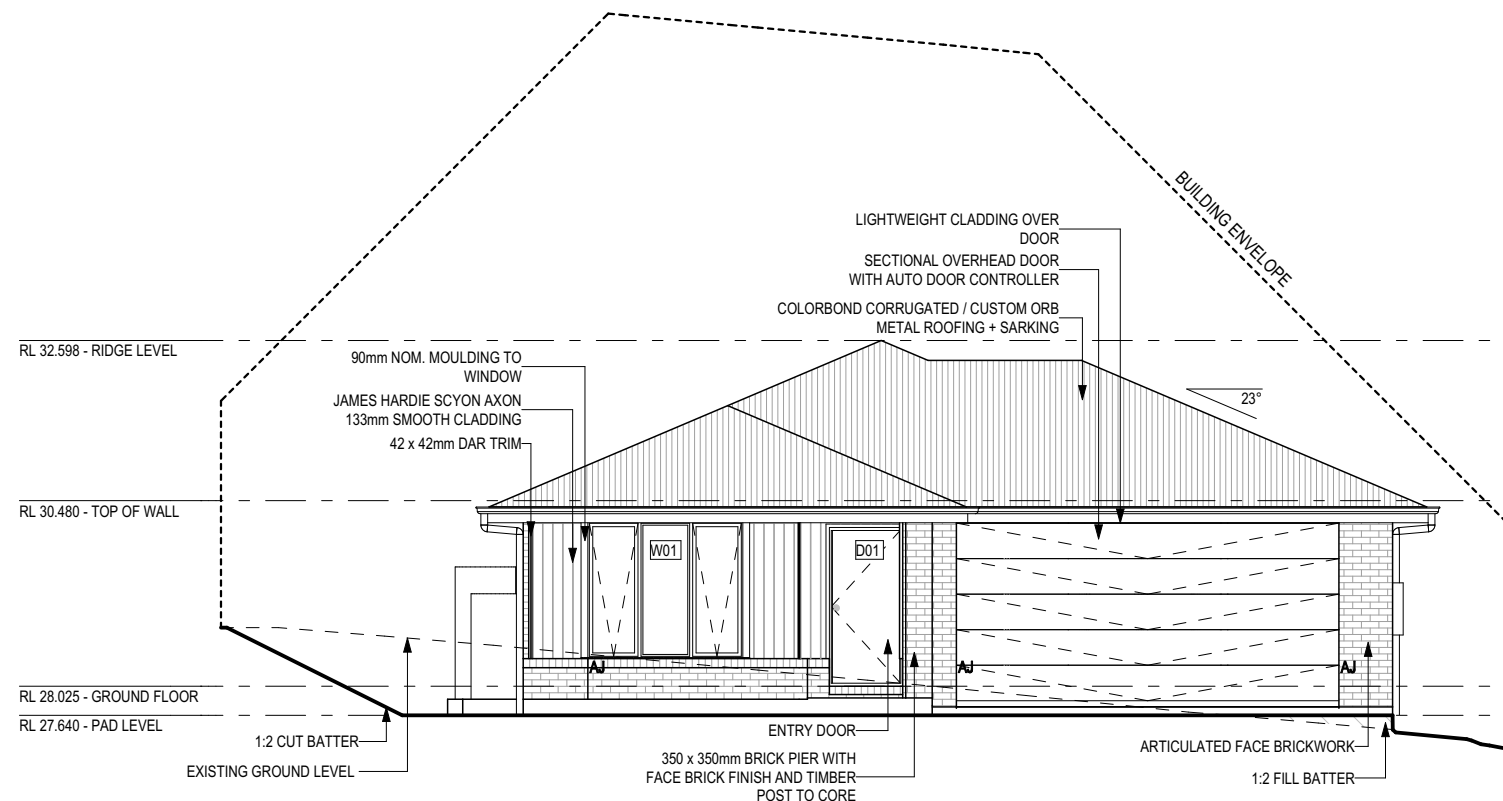
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**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

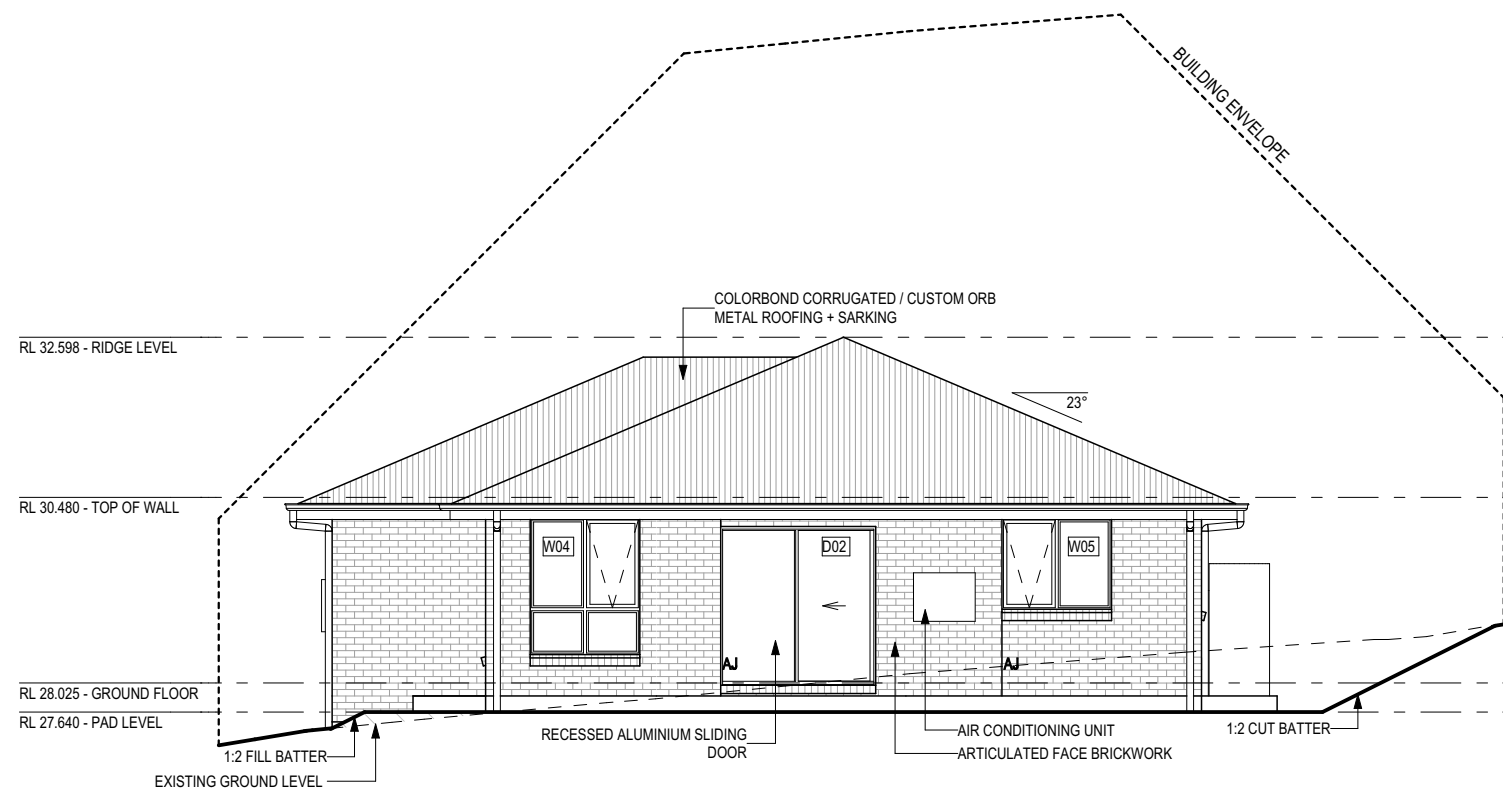
PLAN ACCEPTANCE BY OWNER	
SIGNATURE: _____	DATE: _____
SIGNATURE: _____	DATE: _____
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

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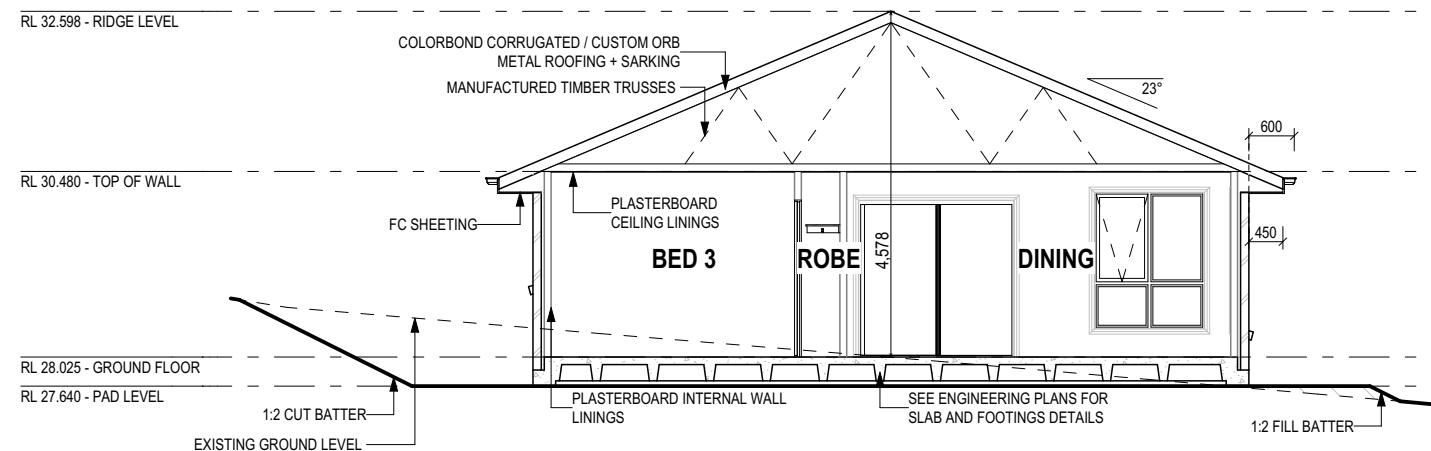
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	© 2026						FRESNE WAY, SORELL TAS 7172		DAINTREE FACADE		F-WNWPMB10DTREA		
							LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:		SHEET No.:	SCALES:	
							239 / - /	SORELL	SITE PLAN		2 / 20	1:200	714774



NORTH ELEVATION
SCALE: 1:100



SOUTH ELEVATION
SCALE: 1:100



SECTION A-A
SCALE: 1:100



Sorell Council

Development Application: 5.2026.285.1-
Development Application - 48 Fresne Way, Sorell
- P1.pdf
Plans Reference:P1
Date Received:17/08/2026

**SUBJECT TO NCC 2022
(1 MAY 2023)**

WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

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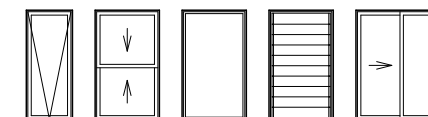
GLASS TYPE LEGEND



CLE

OBSCURE

WINDOW TYPE LEGEND



AWI

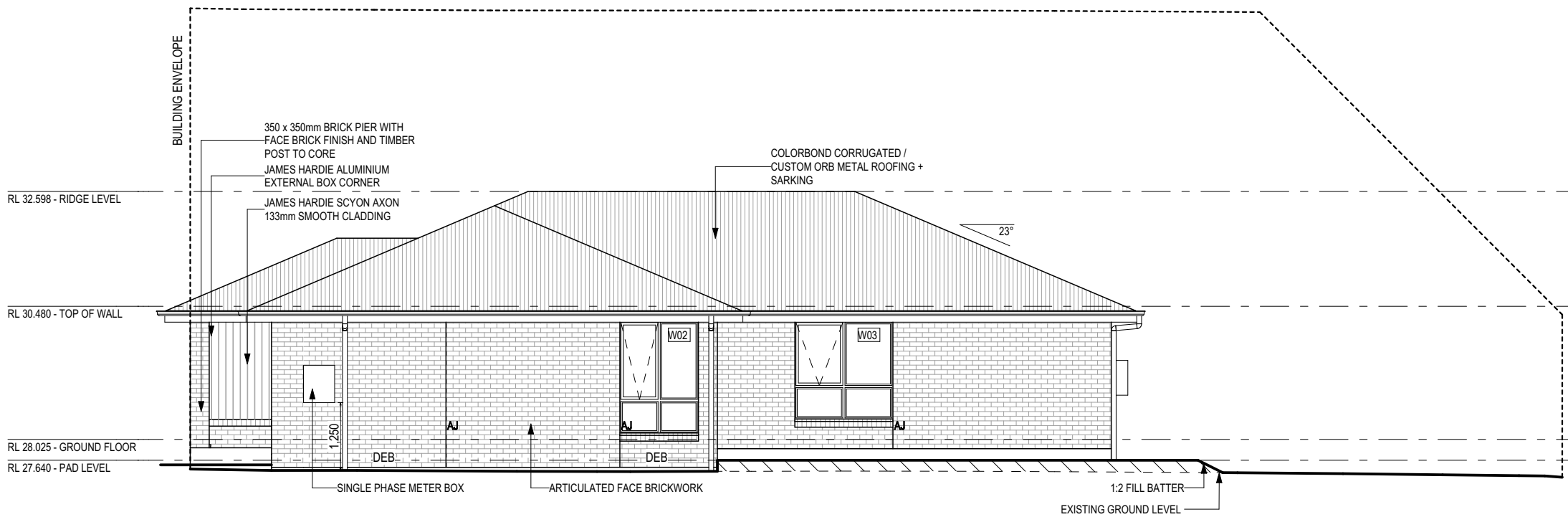
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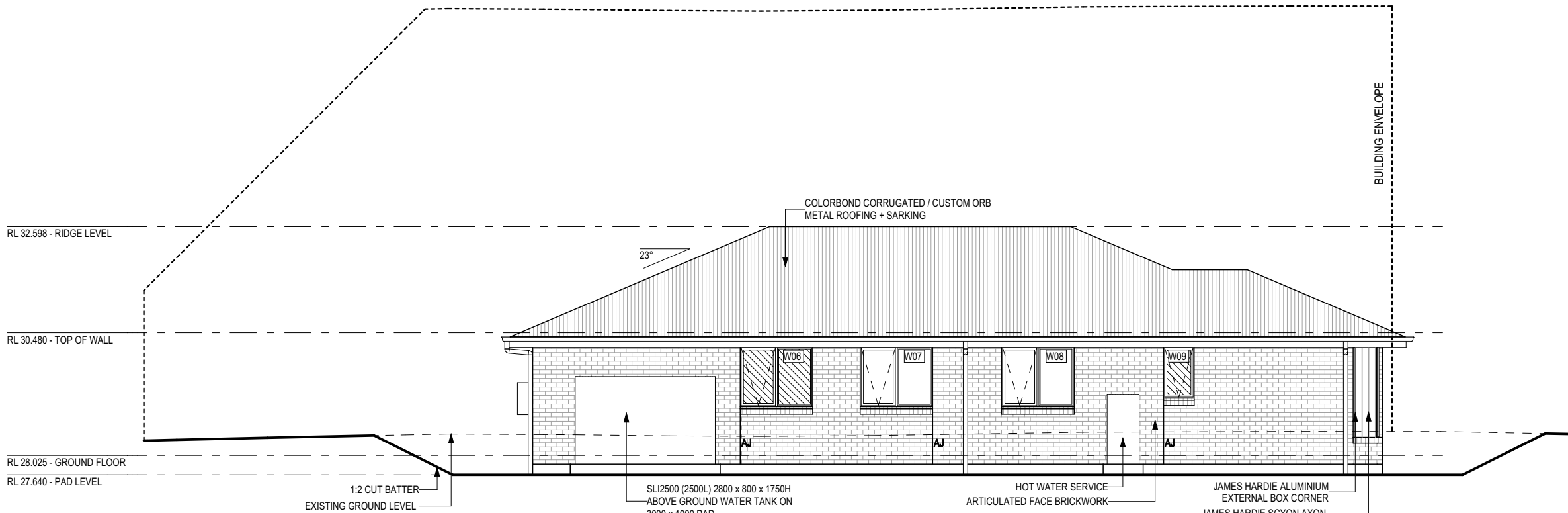
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SLIDING

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NOW BY WILSON HOMES	1	CONSOLIDATED PROPOSAL 1	BGU 03/07/2026	JOYAL MARIA LUKOSE & RESHMI MARIA VINCENT	PEMBROKE 18	H-WNWPMB10SA	
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				LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
				239 / - /	SORELL ELEVATIONS / SECTION	5 / 20	
						1:100	714774

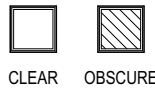


WEST ELEVATION
SCALE: 1:100

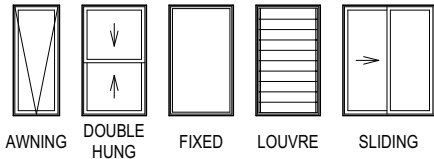


EAST ELEVATION
SCALE: 1:100

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SOME DETAILS ON THIS SHEET ARE INDICATIVE ONLY FOR EXAMPLE BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

SH = SNAP HEADER SILL

BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS: BRICK COURSING **W-BRIC-001**



Sorell Council

Development Application: 5.2026.285.1-
Development Application - 48 Fresne Way, Sorell
- P1.pdf

Plans Reference: P1
Date Received: 17/09/2026

**SUBJECT TO NCC 2022
(1 MAY 2023)**
**WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING**

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EXTERIOR WINDOW & DOOR SCHEDULE 1,2 ASSUME LOOKING FROM OUTSIDE

	STOREY	ID	CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION²
WINDOW																
	GROUND FLOOR	W01	AFA1821	AWNING	BED 1	1,800	2,050	7,700	3.69	ALUMINIUM	BAL-LOW	NONE	N	2.92	CLEAR, DOUBLE GLAZED	MP 683-683
	GROUND FLOOR	W02	AF/FF2115	AWNING	LDRY	2,057	1,450	7,014	2.98	ALUMINIUM	BAL-LOW	ANGLED	W	2.39	CLEAR, DOUBLE GLAZED	BP 600, MP 725/725
	GROUND FLOOR	W03	AF/FF1818	AWNING	LIVING	1,800	1,810	7,220	3.26	ALUMINIUM	BAL-LOW	ANGLED	W	2.65	CLEAR, DOUBLE GLAZED	BP 600, MP 905/905
	GROUND FLOOR	W04	FA/FF1815	AWNING	LIVING	1,800	1,450	6,500	2.61	ALUMINIUM	BAL-LOW	ANGLED	S	2.07	CLEAR, DOUBLE GLAZED	BP 600, MP 725/725
	GROUND FLOOR	W05	AF1215	AWNING	BED 4	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-LOW	ANGLED	S	1.38	CLEAR, DOUBLE GLAZED	MP 725
	GROUND FLOOR	W06	AF1215	AWNING	BATH	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-LOW	ANGLED	E	1.38	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 725
	GROUND FLOOR	W07	AF1215	AWNING	BED 3	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-LOW	ANGLED	E	1.38	CLEAR, DOUBLE GLAZED	MP 725
	GROUND FLOOR	W08	AF1215	AWNING	BED 2	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-LOW	ANGLED	E	1.38	CLEAR, DOUBLE GLAZED	MP 725
	GROUND FLOOR	W09	A1006	AWNING	ENS	1,029	610	3,278	0.63	ALUMINIUM	BAL-LOW	ANGLED	E	0.44	OBSCURE, DOUBLE GLAZED, TOUGHENED	
								52,912 mm	20.13					15.98		
DOOR																
	GROUND FLOOR	D01	HD2110R	SWINGING	ENTRY	2,100	970	6,140	2.04	ALUMINIUM	BAL-LOW	SNAP HEADER	N	1.41	N/A	
	GROUND FLOOR	D02	FS2121	SLIDING	LIVING	2,100	2,050	8,300	4.31	ALUMINIUM	BAL-LOW	SNAP HEADER	S	3.79	CLEAR, DOUBLE GLAZED, TOUGHENED	
								14,440 mm	6.34					5.20		
								67,352 mm	26.47					21.18		

Window Manufacturer: Dowell Windows				
No BAL / BAL 12.5				
Window Type	WERS Code	U Value	SHGC	
Sliding Window	DOW-022-003	2.9	0.64	
Awning Window	DOW-005-001	3.9	0.58	
Fixed External Window	DOW-038-001	3.03	0.71	
Sliding Door	DAR-034-001	3.97	0.63	
Stacking Door	DAR-034-001	3.97	0.63	
Hinged Door	DOW-017-001	4.1	0.55	
Bi-Fold Door	DOW-020-001	4.1	0.54	
BAL 19				
Window Type	WERS Code	U Value	SHGC	
Sliding Window	TND-034-001	3.1	0.61	
Awning Window	STG-001-066	3.91	0.54	
Fixed External Window	DOW-038-005	3.02	0.66	
Sliding Door	AUW-009-009	4.03	0.58	
Stacking Door	AUW-009-009	4.03	0.58	
Hinged Door	GRN-009-001	4.25	0.53	
Bi-Fold Door	DOW-020-001	4.1	0.54	
BAL 29				
Window Type	WERS Code	U Value	SHGC	
Sliding Window	TND-034-001	3.1	0.61	
Awning Window	STG-001-066	3.91	0.54	
Fixed External Window	DOW-038-005	3.02	0.66	
Sliding Door	AMJ-007-005	4.03	0.59	
Stacking Door	AMJ-007-005	4.03	0.59	
Hinged Door	GRN-009-001	4.29	0.53	
NOTE:				
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.				
PICTURE, TV RECESS AND SS WINDOW OPENINGS				
QTY	TYPE	HEIGHT	WIDTH	AREA (m²)

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

INTERIOR WINDOW & DOOR SCHEDULE								
	STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR								
	GROUND FLOOR	3	2 x 620	SWINGING	2,040	1,240	N/A	
	GROUND FLOOR	1	2 x 720	SWINGING	2,040	1,440	N/A	
	GROUND FLOOR	1	620	SWINGING	2,040	620	N/A	
	GROUND FLOOR	6	870	SWINGING	2,040	870	N/A	
	GROUND FLOOR	2	870 UC	SWINGING	2,040	870	N/A	20mm UNDERCUT, LIFT-OFF HINGES

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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- SITE CLASSIFICATION
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NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

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NOW

by Wilson Homes

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						LOT / SECTION / CT:		COUNCIL:		SHEET TITLE:				SHEET No.:		SCALES:	
						239 / - /		SORELL		WINDOW & DOOR SCHEDULES				7 / 20		714774	

**Sorell Council**
Development Application: 5.2026.285.1-
Development Application - 48 Fresne Way, Sorell
- P1.pdf
Plans Reference:P1
Date Received:17/08/2026

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER	
SIGNATURE:	DATE:
-----	-----
SIGNATURE:	DATE:
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PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

NATURAL LIGHT AND VENTILATION						
ROOM	AREA (m2)	WINDOW ID	LIGHT REQUIRED (m2)	LIGHT ACHIEVED (m2)	VENTILATION REQ'D (m2)	VENTILATION ACH'D (m2)
OPEN KITCHEN/ LIVING/ DINING	41.97 m²	W03, W04, D02	4.20 m²	8.51 m²	2.10 m²	3.79 m²
BED 1	10.66 m²	W01	1.07 m²	2.92 m²	0.53 m²	2.26 m²
BED 2	9.62 m²	W08	0.96 m²	1.38 m²	0.48 m²	0.79 m²
BED 3	9.62 m²	W07	0.96 m²	1.38 m²	0.48 m²	0.79 m²
BED 4	10.22 m²	W05	1.02 m²	1.38 m²	0.51 m²	0.79 m²
PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)						
PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).						

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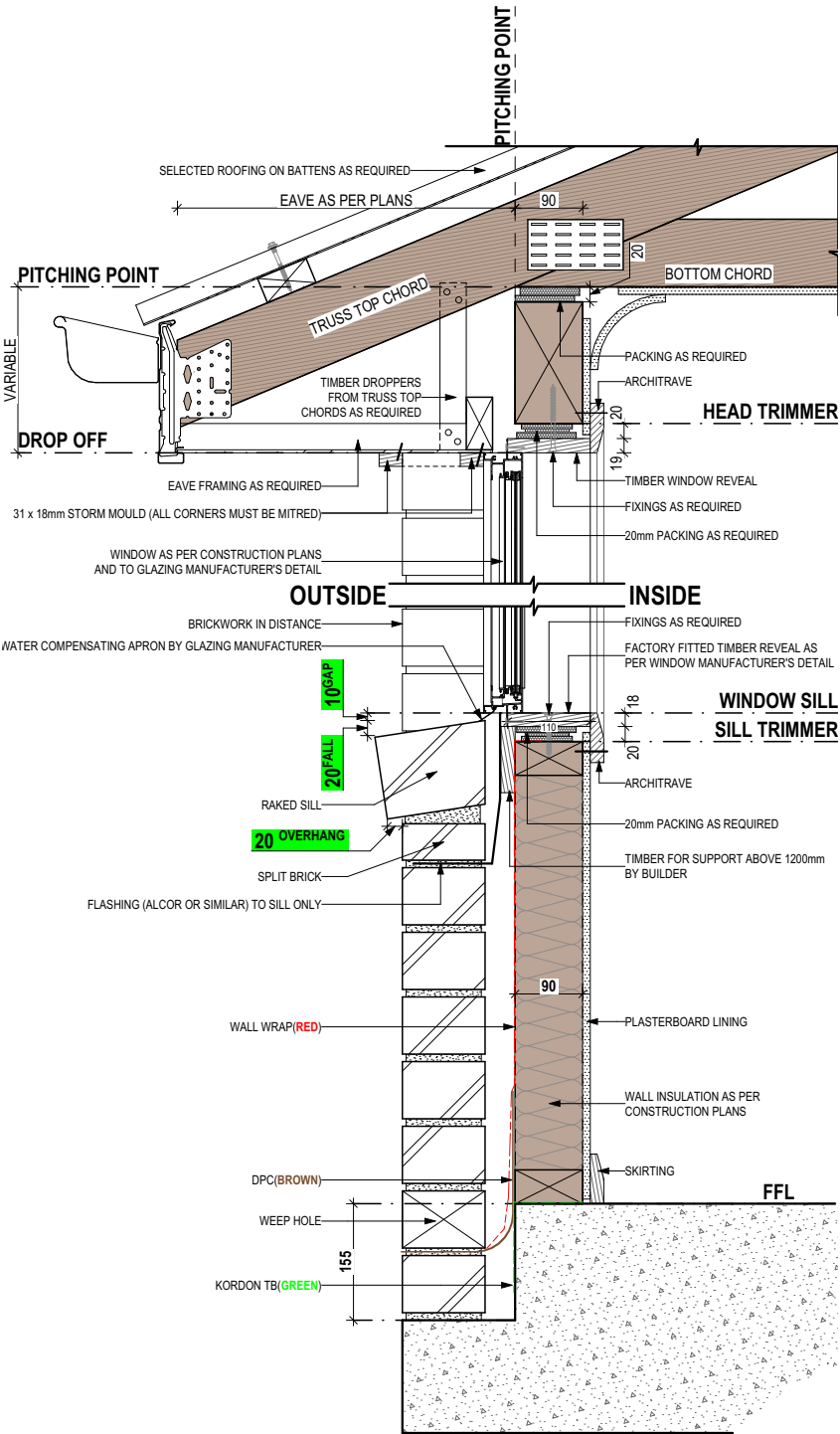
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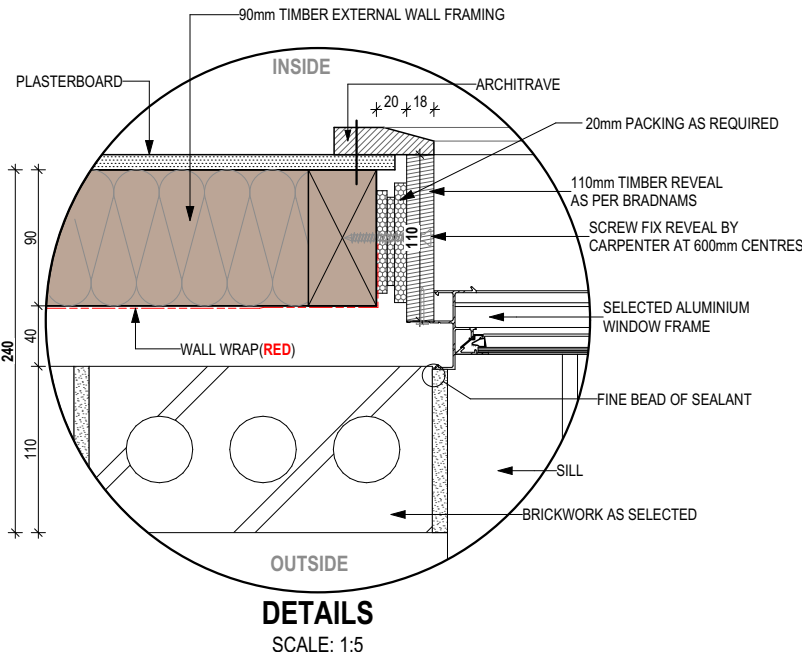
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						LOT / SECTION / CT:		SHEET TITLE:		SHEET No.:			
						239 / - /		SORELL		8 / 20		714774	



SECTIONS
SCALE: 1:10

STANDARD BRICK										STANDARD BRICK									
BRICKWORK DIMENSIONS					Bricks per m ² in wall = 48.5 approx.					all dimensions in mm					BRICKWORK DIMENSIONS				
FORMAT SIZE: 240x120x86mm					MANUFACTURING SIZE: 230x110x76mm					VERTICAL GAUGE: 7 Courses to 600mm					FORMAT SIZE: 240x120x86mm				
MANUFACTURING SIZE: 230x110x76mm					VERTICAL GAUGE: 7 Courses to 600mm					FORMAT SIZE: 240x120x86mm					MANUFACTURING SIZE: 230x110x76mm				
VERTICAL GAUGE: 7 Courses to 600mm					FORMAT SIZE: 240x120x86mm					MANUFACTURING SIZE: 230x110x76mm					VERTICAL GAUGE: 7 Courses to 600mm				
NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT
1	230	250	86	26	6230	6250	2229	11	2630	2650	943	36 ¹ / ₂	8630						3086
1 ¹ / ₂	350	370		26 ¹ / ₂	6350	6370		11 ¹ / ₂	2750	2770		36 ¹ / ₂	8750						
2	470	490	172	27	6470	6490	2314	12	2870	2890	1029	37	8870						3172
2 ¹ / ₂	590	610		27 ¹ / ₂	6590	6610		12 ¹ / ₂	2990	3010		37 ¹ / ₂	8990						
3	710	730	257	28	6710	6730	2400	13	3110	3130	1114	38	9110						3257
3 ¹ / ₂	830	850		28 ¹ / ₂	6830	6850		13 ¹ / ₂	3230	3250		38 ¹ / ₂	9230						
4	950	970	343	29	6950	6970	2486	14	3350	3370	1200	39	9350						3343
4 ¹ / ₂	1070	1090		29 ¹ / ₂	7070	7090		14 ¹ / ₂	3470	3490		39 ¹ / ₂	9470						
5	1190	1210	429	30	7190	7210	2572	15	3590	3610	1286	40	9590						3429
5 ¹ / ₂	1310	1330		30 ¹ / ₂	7310	7330		15 ¹ / ₂	3710	3730		40 ¹ / ₂	9710						
6	1430	1450	514	31	7430	7450	2657	16	3830	3850	1372	41	9830						3514
6 ¹ / ₂	1550	1570		31 ¹ / ₂	7550	7570		16 ¹ / ₂	3950	3970		41 ¹ / ₂	9950						
7	1670	1690	600	32	7670	7690	2743	17	4070	4090	1457	42	10070						3600
7 ¹ / ₂	1790	1810		32 ¹ / ₂	7790	7810		17 ¹ / ₂	4190	4210		42 ¹ / ₂	10190						
8	1910	1930	686	33	7910	7930	2829	18	4310	4330	1543	43	10310						3686
8 ¹ / ₂	2030	2050		33 ¹ / ₂	8030	8050		18 ¹ / ₂	4430	4450		43 ¹ / ₂	10430						
9	2150	2170	772	34	8150	8170	2914	19	4550	4570	1629	44	10550						3772
9 ¹ / ₂	2270	2290		34 ¹ / ₂	8270	8290		19 ¹ / ₂	4670	4690		44 ¹ / ₂	10670						
10	2390	2410	857	35	8390	8400	3000	20	4790	4810	1714	45	10790						3857
									20 ¹ / ₂	4910	4930		45 ¹ / ₂	10910					
									21	5030	5050	1800	46	11030					3943
									21 ¹ / ₂	5150	5170		46 ¹ / ₂	11150					
									22	5270	5290	1886	47	11270					4029
									22 ¹ / ₂	5390	5410		47 ¹ / ₂	11390					
									23	5510	5530	1972	48	11510					4114
									23 ¹ / ₂	5630	5650		48 ¹ / ₂	11630					
									24	5750	5770	2057	49	11750					4200
									24 ¹ / ₂	5870	5890		49 ¹ / ₂	11870					
									25	5990	6010	2143	50	11990					4286
									25 ¹ / ₂	6110	6130		100	23990					8572

NOT OFTEN REQUIRED. IF NEEDED ADD 20 TO LENGTH.



Sorell Council
Development Application: 5.2026.285.1-
Development Application - 48 Fresne Way, Sorell
- P1.pdf
Plans Reference:P1
Date Received:17/08/2026

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING**

PLAN ACCEPTANCE BY OWNER	
SIGNATURE:	DATE:
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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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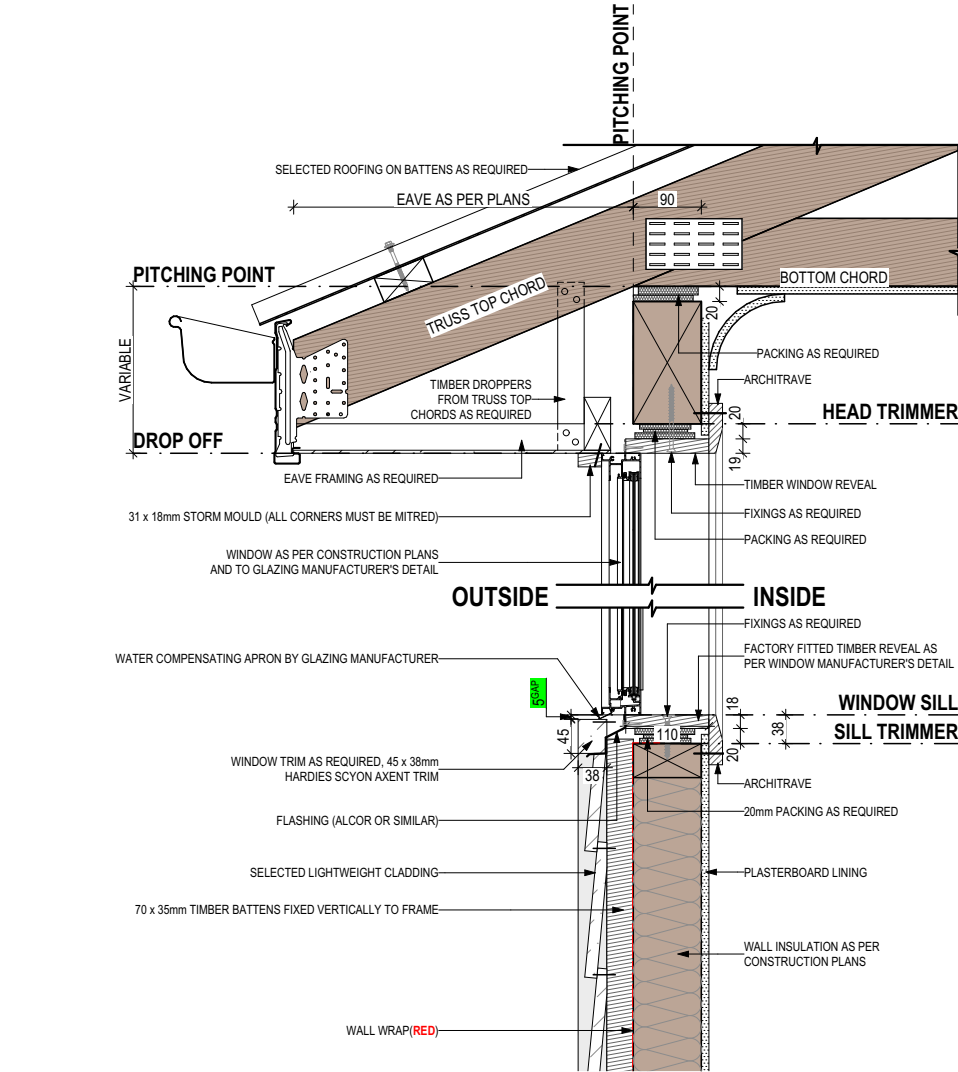
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						239 / - /	SORELL	DETAILS (FACE BRICKWORK)		9 / 20		714774	

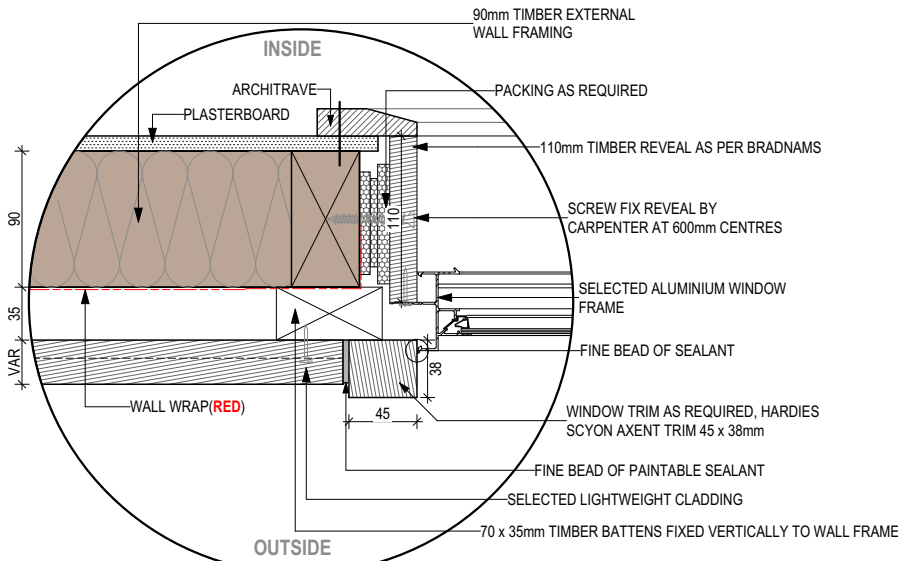


REFER TO W-CLAD-001 & W-CLAD-002 FOR FULL DETAIL

SHEET CLADDING



SECTIONS
SCALE: 1:10



DETAILS
SCALE: 1:5

THIS DWELLING IS BEING CONSTRUCTED IN A [Unused] AREA
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							239 / - /	SORELL	DETAILS (CLADDING)	10 / 20		714774	

WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

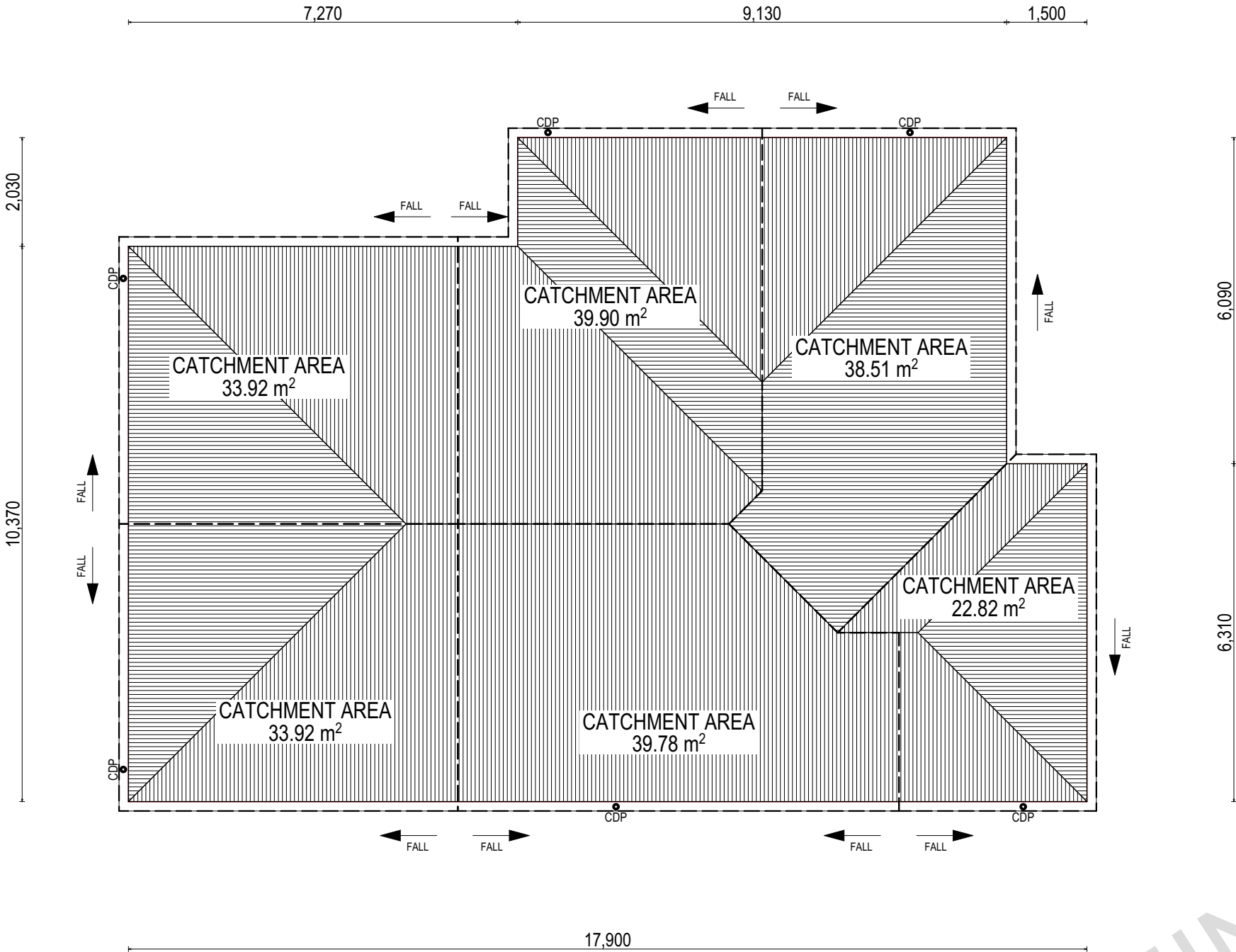
Roofing Data		
	198.07	Flat Roof Area (excluding gutter and slope factor) (m ²)
	215.17	Roof Surface Area (includes slope factor, excludes gutter) (m ²)
Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	208.84	Area of roof catchment (including 115mm Slotted Quad Gutter) (m ²)
Ac	252.70	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m ²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm ²)
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m ²)
Required Downpipes	3.95	Ac / Acdp
Downpipes Provided	6	

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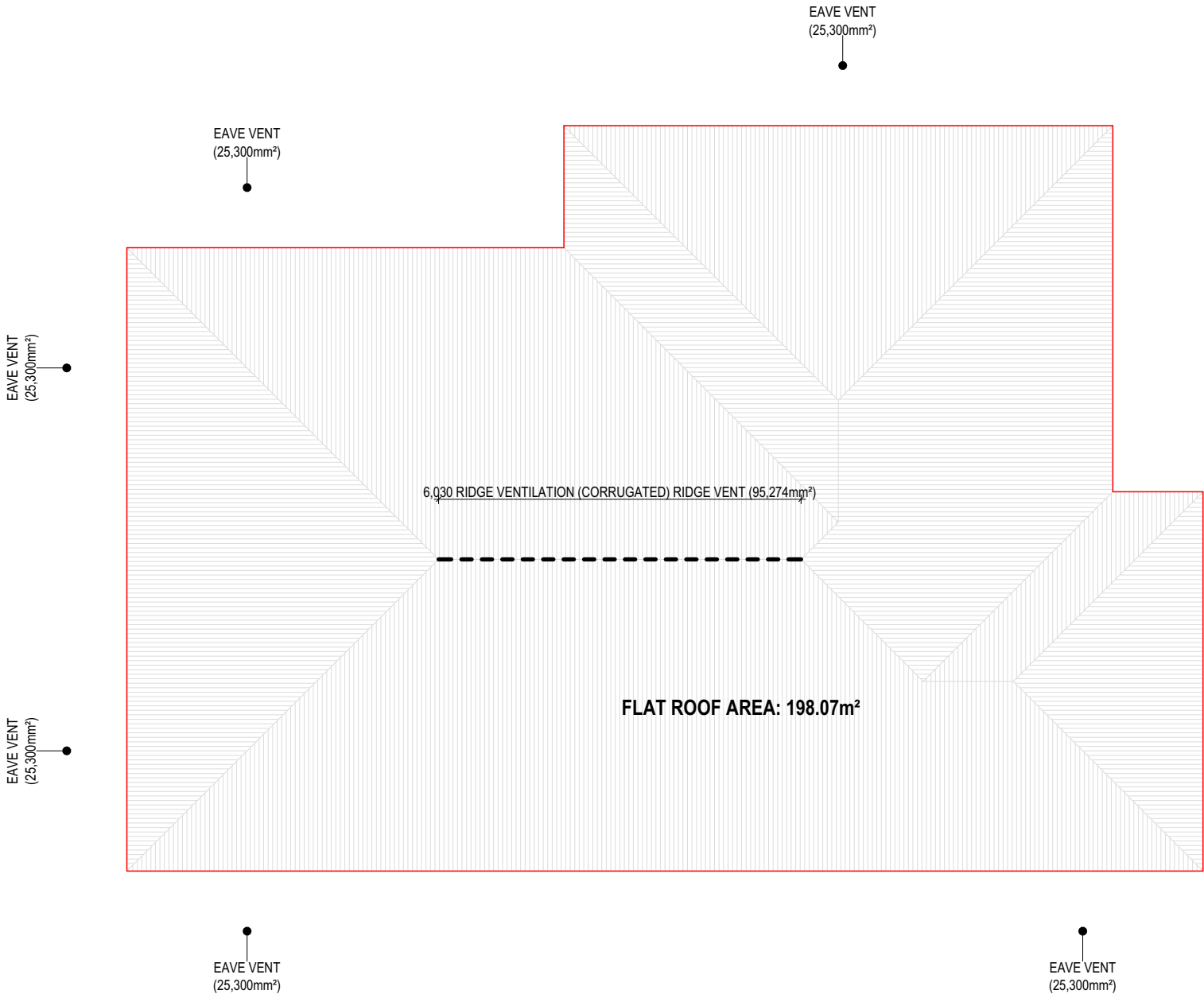
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				LOT / SECTION / CT: 239 / - /	SHEET TITLE: ROOF DRAINAGE PLAN	SCALES: 1:100	
				COUNCIL: SORELL	SHEET No.: 11 / 20		



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(1 MAY 2023)**
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CONDENSATION MANAGEMENT
LIVABLE HOUSING

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ROOF SPACE VENTILATION			
REFER TO ROOF PLAN FOR VENTILATION LOCATIONS			
GROUND FLOOR 23Â° ROOF			
LONGEST HORIZONTAL ROOF LENGTH		17.900m	
ROOF PITCH		23.00°	
HIGH LEVEL VENTILATION	REQUIRED	89,500mm² (5,000 x 17.900m)	
	PROVIDED	95,274mm²	
LOW LEVEL VENTILATION	REQUIRED	125,300mm² (7,000 x 17.900m)	
	PROVIDED	151,800mm²	
NO OF EAVE VENTS	REQUIRED	4.95	
	PROVIDED	6	



GROUND FLOOR 23° ROOF (ID 1)
ROOF LENGTH: 17.900m
ROOF PITCH: 23.0°
CEILING: FLAT
HIGH LEVEL VENTILATION REQUIRED: 89,500mm²
LOW LEVEL VENTILATION REQUIRED: 125,300mm²

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(1 MAY 2023)
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CONDENSATION MANAGEMENT
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						239 / - /		SORELL		12 / 20		SCALES:	714774
								ROOF VENTILATION		1:100			



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FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES. TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

	NO COVERING
	COVER GRADE CONCRETE
	CARPET
	LAMINATE
	TILE (STANDARD WET AREAS)
	TILE (UPGRADED AREAS)
	DECKING



Sorell Council

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Plans Reference:P1
Date Received:17/08/2026

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**SUBJECT TO NCC 2022
(1 MAY 2023)**

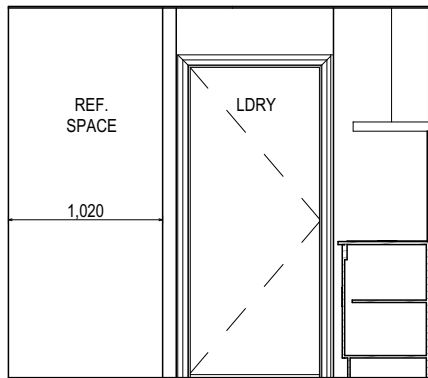
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

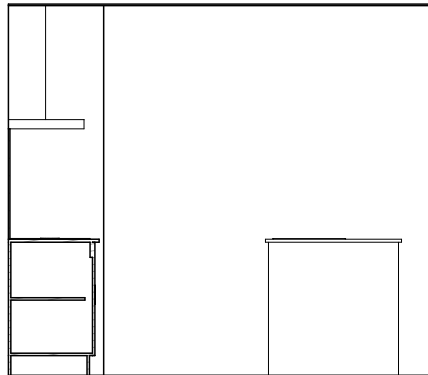
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PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

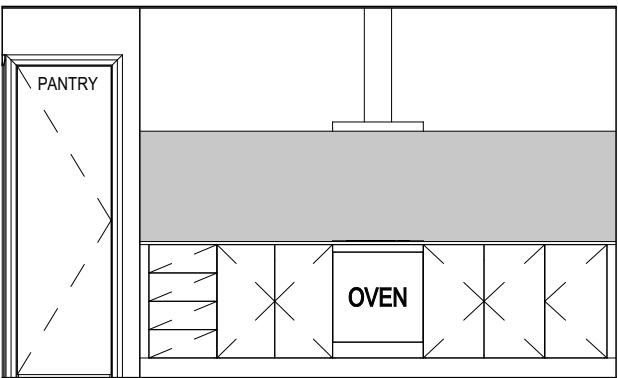
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	NOW BY WILSON HOMES		1	CONSOLIDATED PROPOSAL 1	BGU	03/07/2026	JOYAL MARIA LUKOSE & RESHMI MARIA VINCENT		PEMBROKE 18		H-WNWPMB10SA			
	COPYRIGHT:		2	PRELIM PLANS - INITIAL ISSUE	TRV	29/07/2026	ADDRESS:		FACADE DESIGN:		FACADE CODE:			
	© 2026						FRESNE WAY, SORELL TAS 7172		DAINTREE FACADE		F-WNWPMB10DTREA			
							LOT / SECTION / CT:		COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:		
							239 / - /		SORELL	FLOOR COVERINGS		13 / 20	1:100	714774



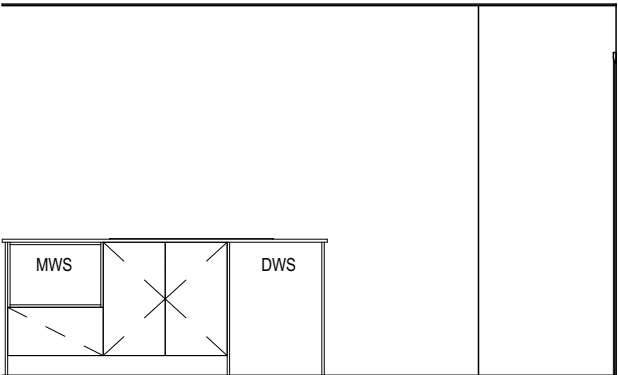
ELEVATION A
SCALE: 1:50



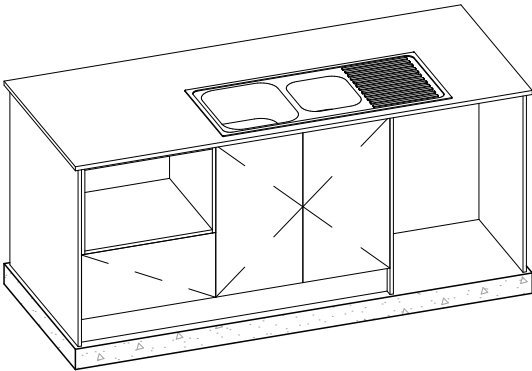
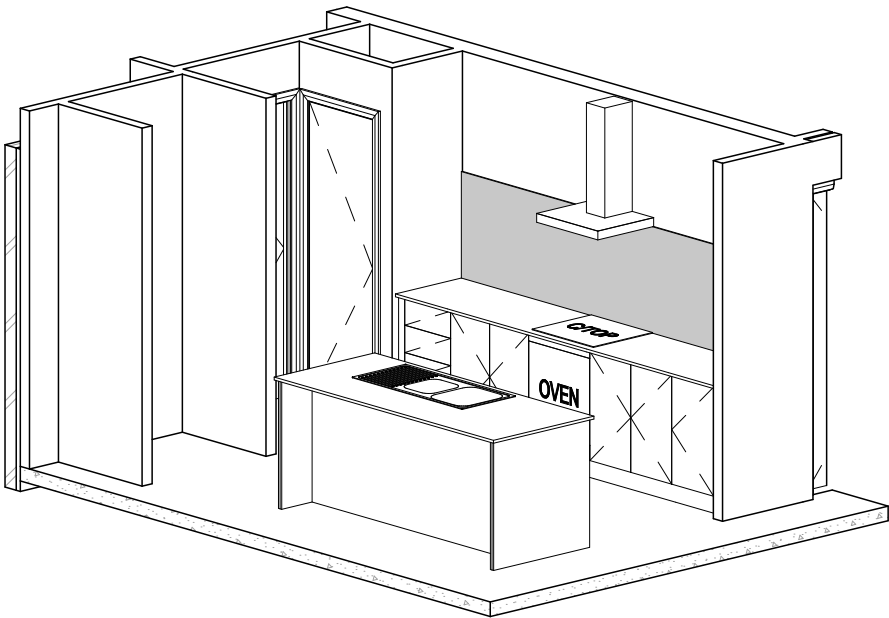
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ELEVATION B
SCALE: 1:50



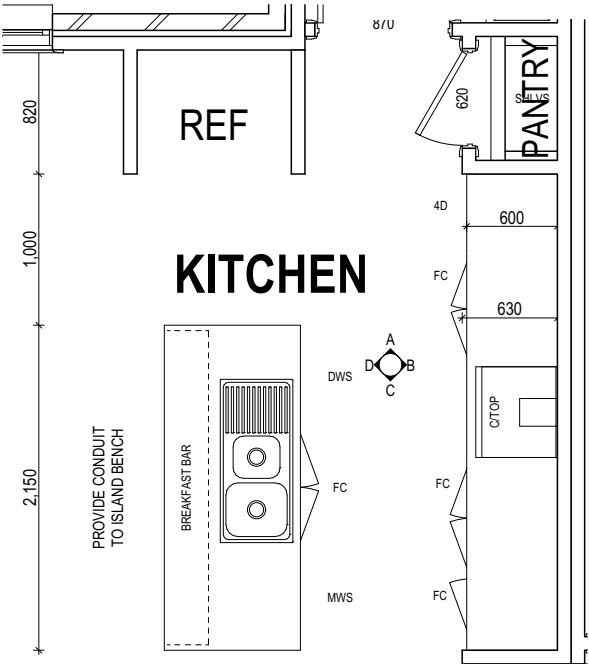
ELEVATION D
SCALE: 1:50



Sorell Council
Development Application: 5.2026.285.1-
Development Application - 48 Fresne Way, Sorell
- P1.pdf
Plans Reference:P1
Date Received:17/08/2026

REFER TO SHEET 1 (COVER SHEET) FOR
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- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A
REPRESENTATION ONLY. JOINER MAY
ADJUST CABINETRY AS REQUIRED.



KITCHEN PLAN
SCALE: 1:50

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

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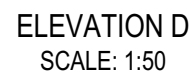
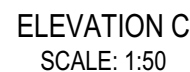
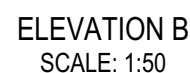
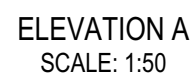
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Template

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY



- | | |
|------|----------------------------|
| RSHR | RAIL SHOWER |
| ROSE | SHOWER ROSE |
| ELBW | SHOWER ELBOW
CONNECTION |
| MIX | MIXER TAP |
| HT | HOT TAP |
| CT | COLD TAP |
| HS | HOB SPOUT |
| WS | WALL SPOUT |
| SC | STOP COCK |
| TRH | TOILET ROLL HOLDER |
| TR-S | TOWEL RAIL - SINGLE |
| TR-D | TOWEL RAIL - DOUBLE |
| TL | TOWEL LADDER |
| TH | TOWEL HOLDER |
| TR | TOWEL RACK |
| TMB | TUMBLER HOLDER |
| RNG | TOWEL RING |
| RH | ROBE HOOK |
| SHLF | SHELF |
| SR | SHAMPOO RECESS |
| SOAP | SOAP HOLDER |



W06

SMALL SHAMPOO RECESS (G-WETA-TILE01)

THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE
MAX. 5MM. REFER TO BATHROOM DETAILS FOR LHA
NOGGING LOCATIONS

BATHROOM PLAN
SCALE: 1:50

**SUBJECT TO NCC 2022
(1 MAY 2023)**
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CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

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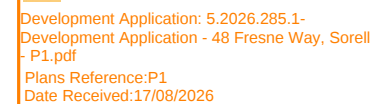
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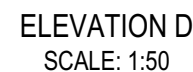
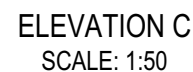
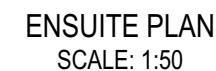
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							LOT / SECTION / CT:		COUNCIL:		SHEET TITLE:		SHEET No.:		SCALES:		
							239 / - /		SORELL		BATHROOM DETAILS		15 / 20		1:50		714774

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY



RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



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CONDENSATION MANAGEMENT
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	© 2026						FRESNE WAY, SORELL TAS 7172		DAINTREE FACADE		F-WNWPMB10DTREA		
							LOT / SECTION / CT:		SHEET TITLE:		SHEET No.:		
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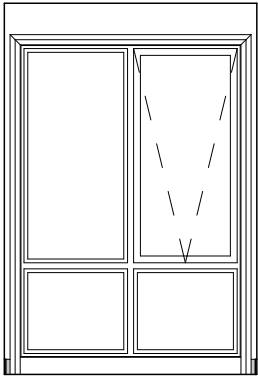
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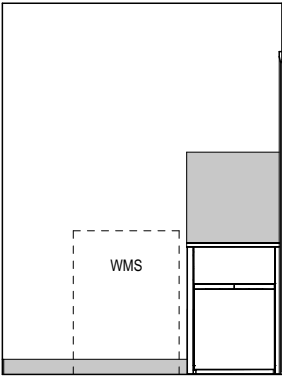
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 **Sorell Council**

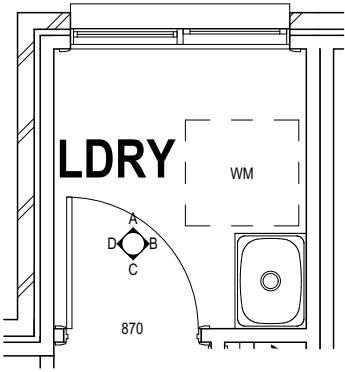
Development Application: 5.2026.285.1-
Development Application - 48 Fresne Way, Sorell
- P1.pdf
Plans Reference:P1
Date Received:17/08/2026



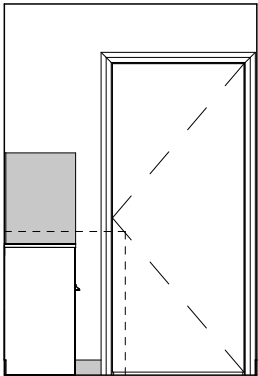
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SCALE: 1:50



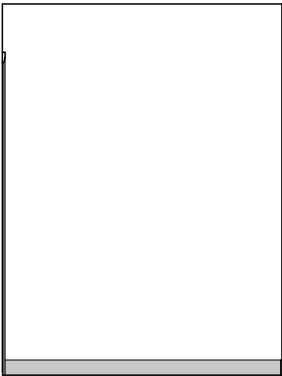
ELEVATION B
SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

**SUBJECT TO NCC 2022
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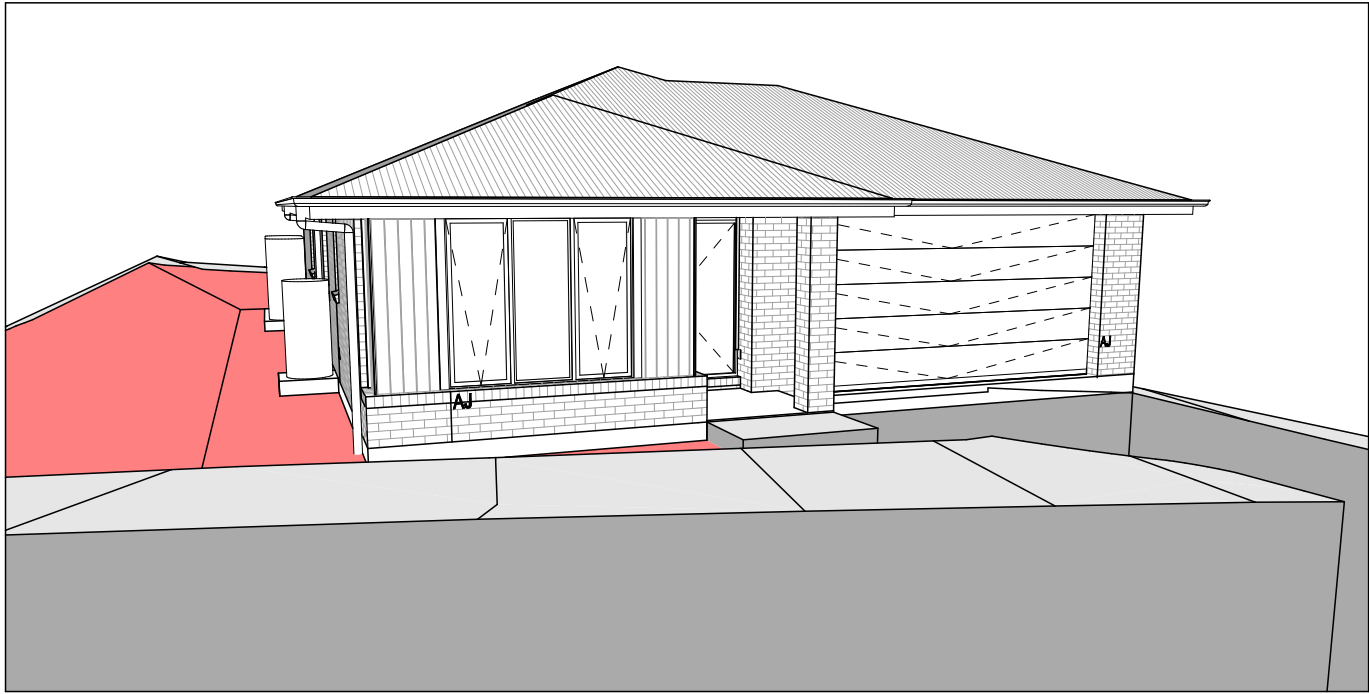
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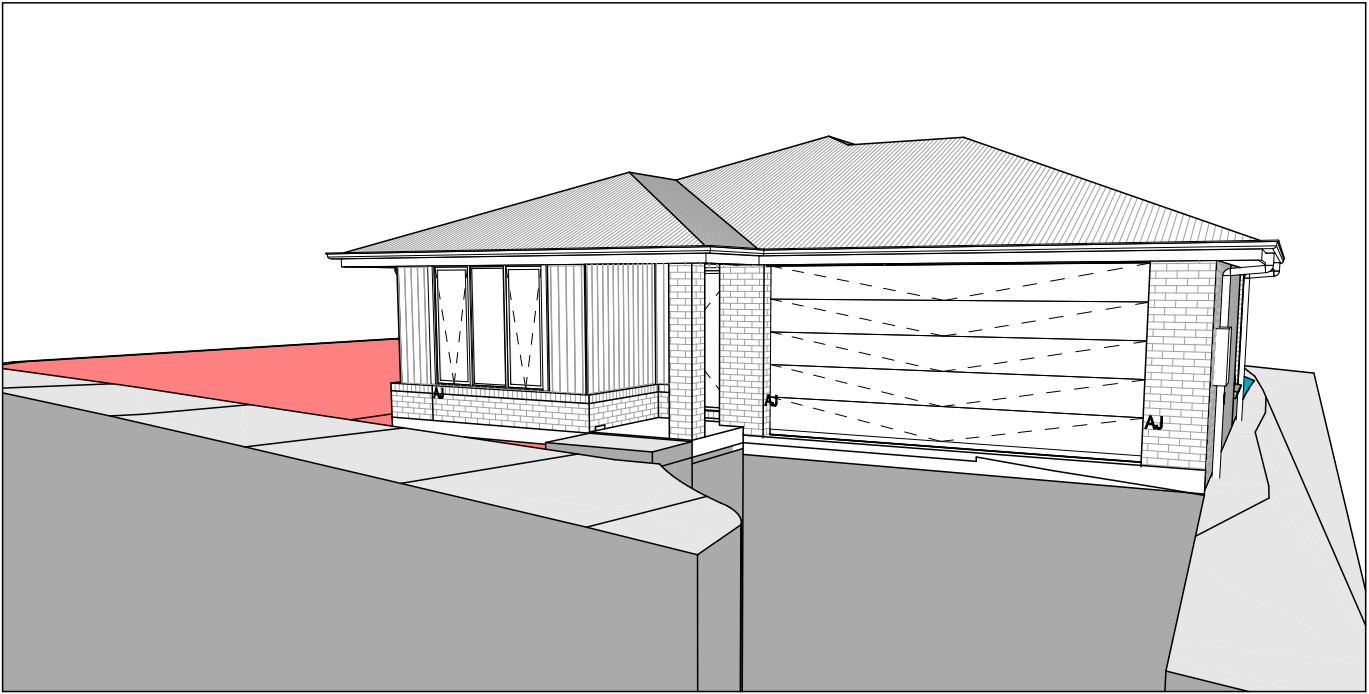
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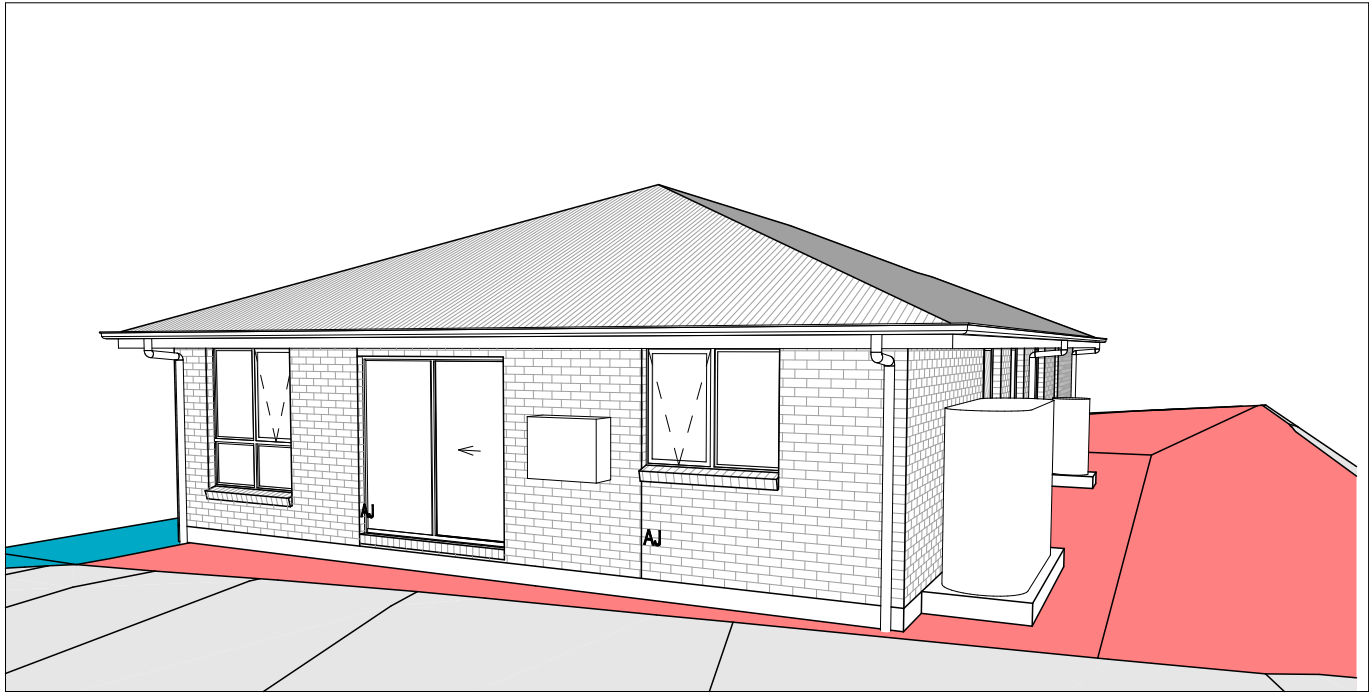
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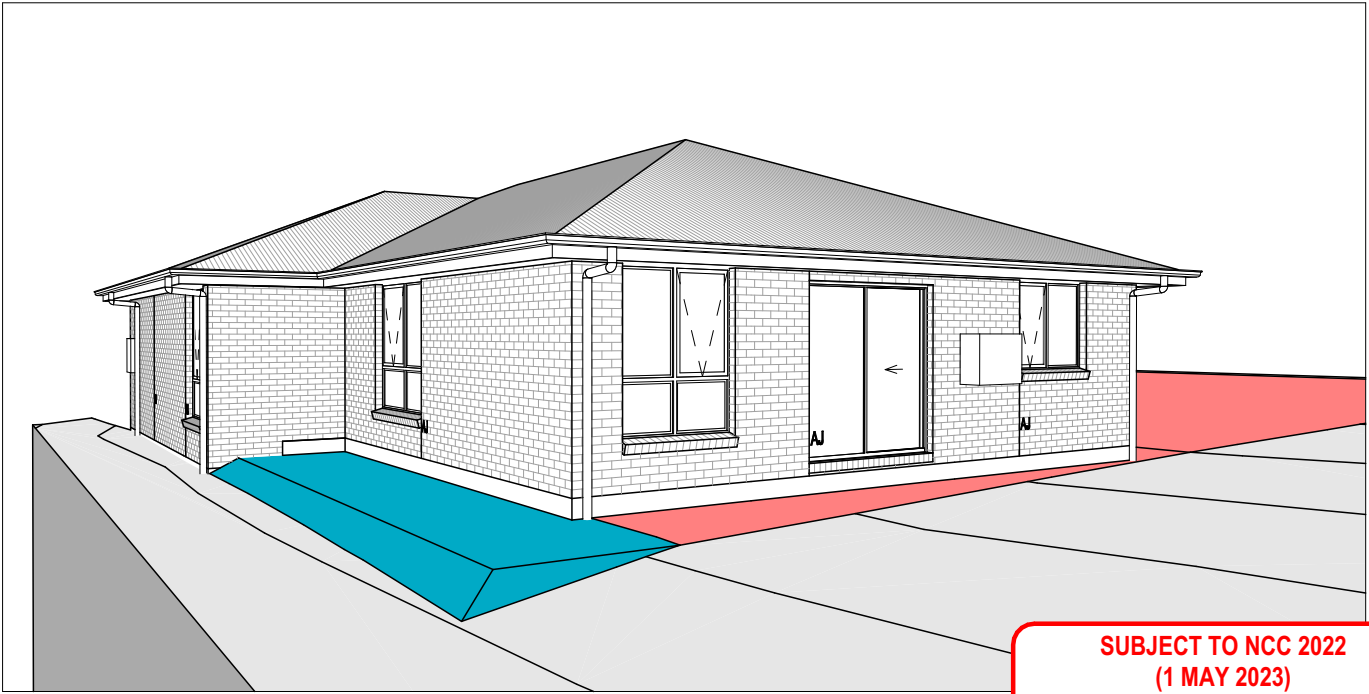
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**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER	
SIGNATURE:	DATE:

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**Sorell Council**

Development Application: 5.2026.285.1-
Development Application - 48 Fresne Way, Sorell
- P1.pdf
Plans Reference:P1
Date Received:17/08/2026

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						239 / - /		SORELL		3D VIEWS		18 / 20	
										SCALES:		714774	



WET AREA NOTES

VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	PENETRATIONS
ENCLOSED SHOWER WITH HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING HOB.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITHOUT HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA, INCLUDING WATERSTOP.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH STEPDOWN	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING THE STEPDOWN.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH PRE-FORMED SHOWER BASE	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
UNENCLOSED SHOWERS	WATERPROOF ENTIRE UNCLOSED SHOWER AREA.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING	WATER RESISTANT TO ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS OUTSIDE THE SHOWER AREA FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	WATERPROOF ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING.	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
AREAS ADJACENT TO BATHS AND SPAS (SEE NOTE 1) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS.	WATERPROOF ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
INSERTED BATHS	N/A FOR FLOOR UNDER BATH. ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH.	N/A FOR WALL UNDER BATH. WATERPRROF TO NOT LESS THAN 150 mm ABOVE THE LIP OF A BATH OR SPA.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
WALLS ADJOINING OTHER VESSELS (EG. SINKS, LAUNDRY TUBS AND BASINS)	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF THE WALL.	WHERE THE VESSEL IS FIXED TO A WALL, WATERPROOF EDGES FOR EXTENT OF VESSEL.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
LAUNDRIES AND WCS	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT LESS THAN 25mm ABOVE THE FINISHED FLOOR LEVEL, SEALED TO FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A

THE ABOVE INFORMATION IS FOR GENERAL GUIDANCE AND IS INDICATIVE ONLY. WATERPROOFING INSTALLERS TO COMPLY WITH ALL CURRENT CODES OF LEGISLATION WHICH TAKE PRECEDENCE OVER THIS SPECIFICATION.

WET AREA WAERPROOFING BY LICENSED AND ACCREDITED INSTALLER. CERTIFICATION TO BE PROVIDED TO BUILDING SURVEYOR. CONTRACTOR OR BUILDER TO DETERMINE THE APPROPRIATE WATERPROOFING IN ACCORDANCE WITH AS3740 PART 10.2 OF N.C.C AND TO NOTIFY THE BUILDING SURVEYOR FOR INSPECTION ARRANGEMENTS DURING INSTALLATION.

ENERGY EFFICIENCY - GENERAL

STATED R VALUES ARE FOR ADDITIONAL INSULATION REQUIRED AND ARE NOT RT VALUES (TOTAL SYSTEM VALUE)

INSULATION TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND ANY RELEVANT STANDARDS

BULK INSULATION IS NOT TO BE COMPRESSED AS THIS REDUCES THE EFFECTIVE R RATING

WAFFLE POD ALLOWANCES:

- R0.6 - 175mm DEEP
- R0.7 - 225mm DEEP
- R0.8 - 300mm DEEP
- R0.9 - 375mm DEEP

N.C.C 2022 TAS PART H6

IN TASMANIA, FOR NCC PART H6 REFER TO NCC 2019 AMENDMENT 1 PART 2.6; FOR NCC PART 13.1 REFER TO NCC 2019 PART 3.12

N.C.C 2019 3.12.0 (A)

PERFORMANCE REQUIREMENT P2.6.1 FOR THE THERMAL PERFORMANCE OF THE BUILDING IS SATISFIED BY COMPLYING WITH:

3.12.0.1 - FOR REDUCING THE HEATING AND COOLING LOADS
TO REDUCE HEATING AND COOLING LOADS MUST ACHIEVE AN ENERGY RATING USING HOUSING ENERGY RATING SOFTWARE OF NOT LESS THAN 6 STARS.

3.12.1.1 - FOR BUILDING FABRIC THERMAL INSULATION
BUILDER TO ENSURE THAT ALL INSULATION COMPLIES WITH AS/NZS 4859.1 AND BE INSTALLED TO N.C.C 3.12.1.1.

3.12.1.2(e) - FOR COMPENSATING FOR A LOSS OF CEILING INSULATION
REFER TO ATTACHED THERMAL PERFORMANCE CERTIFICATE
(i) IF ALLOWANCE HAS BEEN MADE FOR CEILING PENERATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN NO FURTHER ACTION REQUIRED.
(ii) IF NO ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN CEILING PENETRATION AREA MUST BE CALCULATED AND THE NECESSARY ADJUSTMENT MADE TO THE SPECIFIED INSULATION AS PER TABLE 3.12.1.1B OF NCC

3.12.1.5(c) AND 3.12.1.5(d) - FOR FLOOR EDGE INSULATION
FOR CONCRETE SLAB ON GROUND WITH IN SLAB HEATING OR COOLING.

3.12.3 - FOR BUILDING SEALING
3.12.3.1 - CHIMNEYS AND FLUES
THE CHIMNEY OR FLUE OF AN OPEN SOLID FUEL BURNING APPLIANCE MUST BE PROVIDED WITH A DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL THE CHIMNEY OR FLUE.

3.12.3.2 - ROOF LIGHTS
(a) A ROOF LIGHT MUST BE SEALED, OR CAPABLE OF BEING SEALED WHEN SERVING:
(i) A CONDITIONED SPACE; OR
(ii) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8
(b) A ROOF LIGHT REQUIRED BY (a) TO BE SEALED, OR CAPABLE OF BEING SEALED MUST BE CONSTRUCTED WITH:
(i) AN IMPERFORATE CEILING DIFFUSER OR THE LIKE INSTALLED AT A CEILING OR INTERNAL LINING LEVEL; OR
(ii) A WATERPROOF SEAL; OR
(iii) A SHUTTER SYSTEM READILY OPERATED MANUALLY, MECHANICALLY OR ELECTRONICALLY BY THE OCCUPANT.

3.12.0.1 - EXTERNAL WINDOWS AND DOORS
(a) A SEAL TO RESTRIC AIR INFILTRATION MUST BE FITTED TO EACH OF AN EXTERNAL DOOR, OPENABLE WINDOW AND OTHER SUCH OPENING:
(i) WHEN SERVING A CONDITIONED SPACE; OR
(ii) IN CLIMATE ZONES 4, 5, 6, 7 OR 8, WHEN SERVING A HABITABLE ROOM.
(b) A WINDOW COMPLYING WITH THE MAXIMUM AIR INFILTRATION RATES SPECIFIED IN AS2047 NEED NOT COMPLY WITH (a).
(c) A SEAL REQUIRED BY (a)
(i) FOR THE BOTTOM EDGE OF AN INTERNAL SWING DOOR, MUST BE A DRAFT PROTECTION DEVICE; AND
(ii) FOR THE OTHER EDGES OF AN EXTERNAL SWING DOOR OR THE EDGES OF AN OPENABLE WINDOW OR OTHER SUCH OPENING, MAY BE A FOAM OR RUBBER COMPRESSIBLE STRIP, FIBROUS SEAL OR THE LIKE.

3.12.3.4 - EXHAUST FANS
AN EXHAUST FAN MUST BE FITTED WITH A SEALING DEVICE SUCH AS A SELF CLOSE DAMPER, FILTER OR THE LIKE WHEN SERVING:
(a) A CONDITIONED SPACE; OR
(b) A HABITABLE ROOM IN THE CLIMATE ZONES 4, 5, 6, 7 OR 8.

3.12.3.5 - CONSTRUCTION OF ROOF, WALLS AND FLOORS
(a) ROOFS, EXTERNAL WALLS, EXTERNAL FLOORS AND AN OPENING SUCH AS A WINDOW FRAME, DOOR FRAME, ROOF LIGHT FRAME OR THE LIKE MUST BE CONSTRUCTED TO MINIMISE AIR LEAKAGE IN ACCORDANCE WITH (b) WHEN FORMING PART OF THE EXTERNAL FABRIC OF:
(i) A CONDITIONED SPACE; OR
(ii) A HABITABLE ROOM IN CLIMATE ZONE 4, 5, 6, 7 OR 8.
(b) CONSTRUCTION REQUIRED BY (a) MUST BE:
(i) ENCLOSED BY AN INTERNAL LINING SYSTEM THAT ARE CLOSE FITTING AT CEILING, WALL AND FLOOR JUNCTIONS; OR
(ii) SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE LIKE.

3.12.3.6 - EVAPORATIVE COOLERS
AN EVAPORATIVE COOLER MUST BE FITTED WITH A SELF CLOSING DAMPER OR THE LIKE WHEN SERVING:
(a) A HEATED SPACE; OR
(b) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8.

3.12.5.5 - ARTIFICIAL LIGHTING
(a) LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF AN ARTIFICIAL LIGHT, EXCLUDING HEATING THAT EMITS LIGHT, MUST NOT EXCEED THE ALLOWANCE OF:
(i) 5W/m² IN A CLASS 1 BUILDING
(ii) 4W/m² ON A VERANDAH, BALCONY OR THE LIKE ATTACHED TO A CLASS 1 BUILDING (NOT EXCLUDING EAVE PERIMETER LIGHTS);
(iii) 3W/m² IN A CLASS 10A BUILDING ASSOCIATED WITH A CLASS 1 BUILDING.
(b) THE ILLUMINATION POWER DENSITY ALLOWANCE IN (a) MAY BE INCREASED BY DIVIDING IT BY THE ILLUMINATION POWER DENSITY ADJUSTMENT FACTOR FOR A CONTROL DEVICE AS SET OUT IN TABLE 3.12.5.3.

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED



Sorell Council

Development Application: 5.2026.285.1-
Development Application - 48 Fresne Way, Sorell
- P1.pdf
Plans Reference:P1
Date Received:17/08/2026

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