

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:

186 GREENS ROAD, ORIELTON (CT155615/2)

PROPOSED DEVELOPMENT:

DWELLING AND OUTBUILDING

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 14th September 2026**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received no later than **Monday 14th September 2026**.

APPLICATION NO: 5.2026-254.1
DATE: 28 August 2026



Disclaimer

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

200 m



Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use: New Dwelling
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal:	\$ 500,000

Is all, or some the work already constructed:	No: ☒ Yes: ☐
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Location of proposed works:	Street address: 188 Greens Road
	Suburb: Orielton Postcode: 7172
	Certificate of Title(s) Volume: 186860 Folio: 2

Current Use of Site	Vacant Land
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Current Owner/s:	Name(s) Jordan Gunther & Nikala Post
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Is the Property on the Tasmanian Heritage Register?	No: ☒ Yes: ☐	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: ☒ Yes: ☐	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: ☒ Yes: ☐	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: ☒ Yes: ☐	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: ☒ Yes: ☐	<i>If yes, please complete the Council or Crown land section on page 3</i>
If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form https://www.sorell.tas.gov.au/services/engineering/		



Declarations and acknowledgements	
- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land. - I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours. - I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies. - I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application. - I/we declare that the information in this application is true and correct. <i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i>	
I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.	
Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent.	
Applicant Signature:	Signature:  Date: 17/07/2026

Crown or General Manager Land Owner Consent	
If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>). Please note: - If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au - If the application involves Crown land you will also need a letter of consent. - Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.	
I _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application for _____	
 Sorell Council Development Application: 5.2026.254.1 - Development Application - 188 Greens Road, Orielton P1.pdf Plans Reference: P1 Date Received: 28/07/2026	
Signature of General Manager, Minister or Delegate:	Signature: Date:

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 186830

PAGE 1 OF 2 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

(1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and

(2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

(1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and

(2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

1. EASEMENTS

Lot 1 on the Plan is together with an Electricity Infrastructure Easement (as defined herein) over that part of the land marked "ELECTRICITY INFRASTRUCTURE EASEMENT 2.00 WIDE" shown passing through the Balance. -

**2. COVENANTS*****No Building Zone***

The owners of each lots 1, 2 and 3 on the Plan covenant with Tasmanian Irrigation Pty Ltd (ACN 133 148 384) as a covenant in gross that no building or other structure, including concreted areas or landscaping and walls (other than a boundary fence) are to be erected or maintained on that part of the Lot shown as "NO BUILDING ZONE 10.00 WIDE" on the Plan to the intent that the burden of this covenant will run with and bind the covenantor's lot and every part of that lot, and that the benefit shall be in favour of the said Tasmanian Irrigation Pty Ltd (ACN 133 148 384).

3. FENCING PROVISION

In respect of each lot shown on the Plan the Vendors Jerome Craig Zodins and Anne Elizabeth Zodins shall not be required to fence.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: J C Zodins and A E Zodins	PLAN SEALED BY: Sorell Council
FOLIO REF: CT 155615/2	DATE: 14.8.24
SOLICITOR	7.2022.13.1
& REFERENCE: L Rama 234863	REF NO. Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 2 PAGES	Registered Number SP 186830
SUBDIVIDER: J C Zodins and A E Zodins FOLIO REFERENCE: CT 155615/2	

4. INTERPRETATION

"Electricity Infrastructure Easement" means the full and free right for the owner of the Dominant Tenement for the time being or any part thereof and their Authorised Persons:

- (a) to enter upon the strip of land marked **"ELECTRICITY INFRASTRUCTURE EASEMENT 2.00 WIDE"** on the Servient Land to lay below or erect above the surface of the land the Electricity Infrastructure poles, electricity cabling and affix wires thereto on that portion of the said Electricity Infrastructure Easement for the purpose of supplying electricity over or under the lands for the benefitting land;
- (b) to maintain forever upon, under or above the land marked **"ELECTRICITY INFRASTRUCTURE EASEMENT 2.00 WIDE"** the Electricity Infrastructure; and
- (c) to enter upon the Servient Land at all reasonable times to:
 - (i) inspect the condition of the Electricity Infrastructure; and
 - (ii) repair, clear, amend and cleanse any Electricity Infrastructure together with any necessary machinery or other things they shall consider fit and proper to cut away, remove and keep clear the said land;

provided any works done on the Servient Land must be done with all due and reasonable care and skill and any damage done in the execution of those works must be repaired.

Authorised Persons means the operators, contractors, servants, employees, agents, workmen, consultants and visitors (with or without invitation) and invitees (express or implied) of the owner of the Dominant Tenement.

Electricity Infrastructure means any poles, pipes, channels, wires, cables and other conducting media of such size and number as shall from time to time be required by the owner of the Dominant Tenement.

Servient Land means the land burdened by this Electricity Infrastructure Easement.

5. EXECUTION

Signed by Jerome Craig Zodins and Anne Elizabeth Zodins in the presence of:


Signature of Witness

MILAN PRODANOVIC
Name & Occupation of Witness **ENGINEER**

3 ASTOR DRIVE GELSTONBAY
Address of Witness


Signature

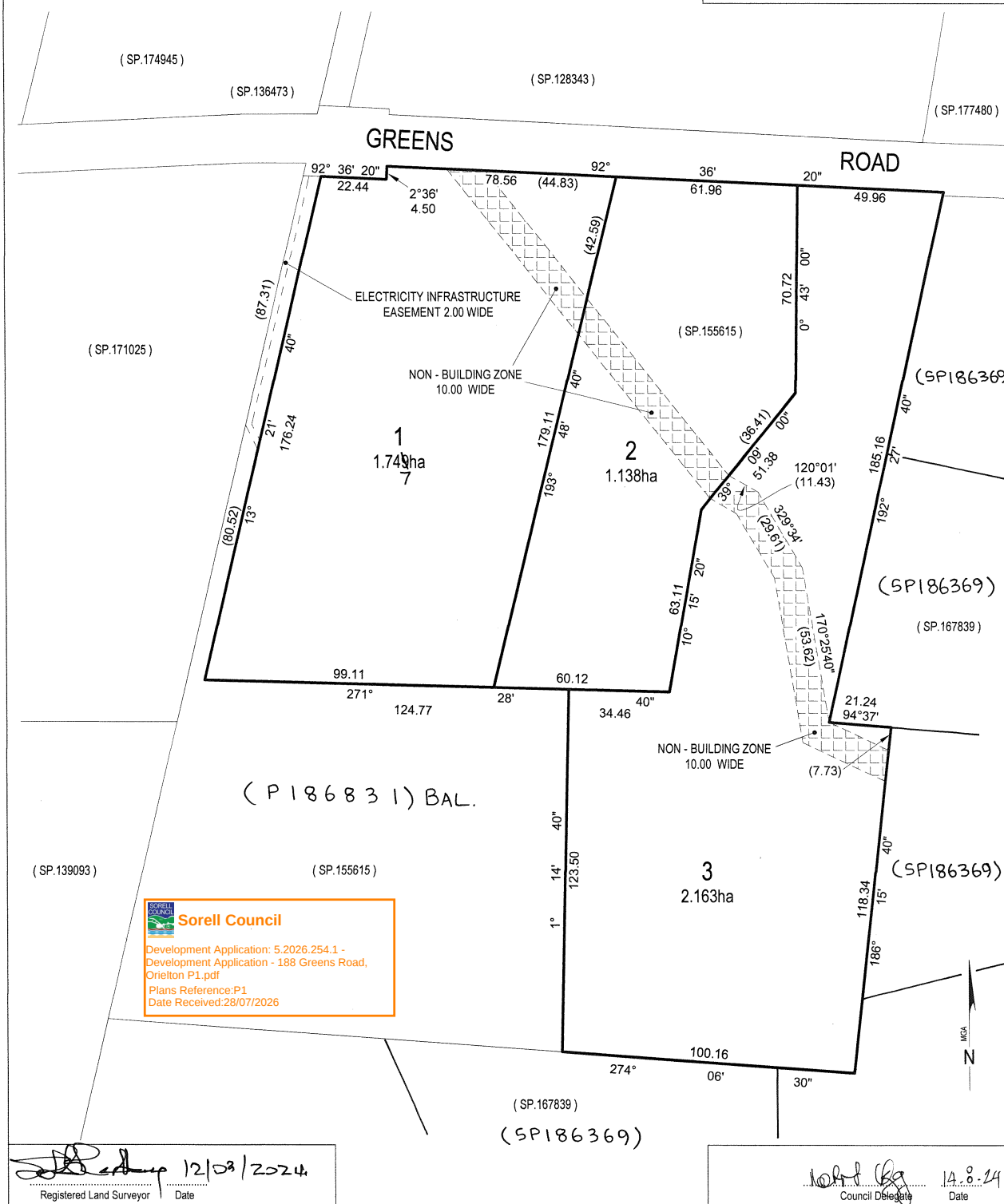


NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

OWNER: JEROME CRAIG & ANNE ELIZABETH ZODINS ZODINS	PLAN OF SURVEY	REGISTERED NUMBER SP186830
FOLIO REFERENCE: 155615 - 2	BY SURVEYOR: J.B. MEDBURY of LEARY, COX & CRIPPS SURVEYORS Unit G04 40 Mole Street, HOBART TAS 7000 P 03 6118 2030 E admin@lccsurvey.com	APPROVED EFFECTIVE FROM 29 AUG 2024
GRANTEE: PART OF LOT 30000, 276-1-25 GRANTED TO OWEN DOUGLAS TOWNSEND	LOCATION: LAND DISTRICT OF PEMBROKE PARISH OF SORELL	Recorder of Titles
SCALE 1: 1250 LENGTHS IN METRES		

PRIORITY FINAL PLAN

ALL EXISTING SURVEY NUMBERS TO BE
CROSS REFERENCED ON THIS PLAN



27 July 2026

Planning Department

Sorell Council

Re: Planning Application – New Dwelling

188 Greens Road, Orielton TAS 7172

Dear Planning Officer,

Please find enclosed our Planning Application for the construction of a new single dwelling at 188 Greens Road, Orielton.

This will be our second home build, and through the experience gained from our first project we have worked to make this process as straightforward and efficient as possible. In preparing the design, we have intentionally kept the dwelling within the nominated building envelope established as part of the original subdivision approval, while maintaining the required setbacks, with the aim of streamlining the assessment process and ensuring the proposal aligns with the original planning intent for the site.

The proposed four-bedroom family home has been designed to complement the rural character of the surrounding area while making practical use of the site's natural topography. The dwelling has been positioned to provide a functional layout, maximise privacy and maintain appropriate setbacks from adjoining properties.

Consideration has also been given to vehicle access, stormwater management, site levels and the relationship with neighbouring properties. We have sought to minimise any potential impacts on adjoining land and services while delivering a well-designed family home that is appropriate for the site.

We believe the proposal is consistent with the planning requirements and respectfully request Council's consideration of our application. Should any further information be required during the assessment process, we would be happy to provide it.

Thank you for your time and consideration.

Yours faithfully,

Jordan Gunther
Nikala Post

GEO-Environmental Solutions
 29 Kirksway Place, Battery Point
 Tasmania 7004
 Phone: 03 62231839



28 July 2026

Natural Values Assessment - Waterway and Coastal Protection Area

Project area - 188 Greens Rd, Orielton TAS 7172

PID: 2921065

C/T: 186830/2

The following report is intended to demonstrate compliance with Code C7.0 (Waterways and Coastal Protection Area) of the Tasmania Planning Scheme - Sorell Council.

The proposal is for a new dwelling and a garage on the above address. The proposed site is in close proximity to the minor stream along the eastern boundary of the site and therefore triggers Code C7.0 of the Tasmania Planning Scheme - Sorell which requires compliance with the standards outlined at C7.6.1 for Buildings and Works.

Table 1. Extract of Tasmania planning scheme C7.6.1 Buildings and Works

P1.1 Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to:	
Performance Criteria	Comment / Compliance
(a) impacts caused by erosion, siltation, sedimentation and runoff;	The proposed development should only be approved with an appropriate, site specific soil and water management plan to reduce the risk of environmental harm and erosion. The site should regularly maintain and progressively stabilised through vegetation and landscaping to reduce the potential for erosion.
(b) impacts on riparian or littoral vegetation;	No riparian or littoral vegetation is present on the site
(c) maintaining natural streambank and streambed condition, where it exists;	No works proposed in stream.
(d) impacts on in-stream natural habitat, such as fallen logs, bank overhangs, rocks and trailing vegetation;	The in-stream natural habitat will not be disturbed under the current proposal.
(e) the need to avoid significantly impeding natural flow and drainage;	The watercourse is well defined, the proposed works area is located well away from the watercourse

(f) the need to maintain fish passage, where known to exist;	The proposed works are located well away from the minor stream and will not obstruct or adversely affect any existing fish passage.
(g) the need to avoid land filling of wetlands;	No wetlands are located at the project area.
(h) the need to group new facilities with existing facilities, where reasonably practical;	The project area is a vacant land lot which doesn't have any existing facilities on site.
(i) minimising cut and fill;	The proposed development should utilise only minimal cut and fill, limited to what is necessary to achieve a stable building platform and safe access. Earthworks should be designed to follow the natural landform as much as practicable, thereby reducing disturbance to the site, maintaining natural drainage patterns, and minimising potential impacts on surrounding land and vegetation
(j) building design that responds to the particular size, shape, contours or slope of the land;	The proposed development will be located on the north portion of the site. This placement allows for efficient site development, minimizing the need for unnecessary excavations, while ensuring convenient access from Greens Road.
(k) minimising impacts on coastal processes, including sand movement and wave action;	n/a
(l) minimising the need for future works for the protection of natural assets, infrastructure and property;	No further works required other than regular maintenance.
(m) the environmental best practice guidelines in the Wetlands and Waterways Works Manual; and	All works should be undertaken in compliance with the 'Wetlands and Waterways Works Manual' (DPIWE, 2003).
(n) the guidelines in the Tasmanian Coastal Works Manual.	All proposed works should be following the guidelines of the Tasmania Coastal Works Manual.

A2.

Acceptable Solutions	Comment / Compliance
Building and works within a Future Coastal Refugia Area must be within a building area on a plan of subdivision approved under this planning scheme.	The site is not located within a Future Coastal Refugia Area in an approved subdivision area.

A3.

Acceptable Solutions	Comment / Compliance
Development within a waterway and coastal protection area or a future coastal refugia area must not involve a new stormwater point discharge into a watercourse, wetland or lake.	There is no existing stormwater connection; therefore, stormwater will be retained and managed on-site through a stormwater detention tank system.

A4.

Dredging or reclamation must not occur within a waterway and coastal protection area or a future coastal refugia area	
Acceptable Solutions	Comment / Compliance
Dredging or reclamation must not occur within a waterway and coastal protection area or a future coastal refugia area.	There is no proposed dredging or reclamation on the site.

A5.

Coastal protection works or watercourse erosion or inundation protection works must not occur within a waterway and coastal protection area or a future coastal refugia area.	
Acceptable Solutions	Comment / Compliance
Coastal protection works or watercourse erosion or inundation protection works must not occur within a waterway and coastal protection area or a future coastal refugia area.	No coastal protection works, or waterway erosion or inundation protection works are proposed within the Waterway and Coastal Protection Area or a future coastal refugia area. If such activities are to be undertaken, then they must be designed by a suitably qualified person to minimise adverse impacts on natural coastal processes.

The attachment in Appendix 2 shows the proposed works and the WCP overlay of the project area. The assessment has been completed based on the site location. The Integrated Conservation Value for the waterway has been identified as LOW (NVA report run on the 14/06/2026). Table 1 associated figures and plan demonstrate compliance with the performance criteria of section C7.6.1 of Tasmanian Planning Scheme – Sorell Council.

In considering the objectives of the Code 7 it is anticipated that there will be no unnecessary or unacceptable impacts on natural values as a result of the proposed development and that any future development that is facilitated by the proposed development is unlikely to lead to unnecessary or unacceptable impacts on natural values.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD
Environmental and Engineering Soil Scientist

Appendix 1. Natural Value Report

Natural Values Atlas Report

Authoritative, comprehensive information on Tasmania's natural values.

Reference:

Requested For: 188 Greens Road Orierton

Report Type: Summary Report

Timestamp: 06:28:12 PM Sunday 14 June 2026

Threatened Flora: buffers Min: 500m Max: 5000m

Threatened Fauna: buffers Min: 500m Max: 5000m

Raptors: buffers Min: 500m Max: 5000m

Tasmanian Weed Management Act Weeds: buffers Min: 500m Max: 5000m

Priority Weeds: buffers Min: 500m Max: 5000m

Geoconservation: buffer 1000m

Acid Sulfate Soils: buffer 1000m

TASVEG: buffer 1000m

Threatened Communities: buffer 1000m

Fire History: buffer 1000m

Tasmanian Reserve Estate: buffer 1000m

Biosecurity Risks: buffer 1000m



The centroid for this query GDA94: **544484.0, 5269322.0** falls within:

Property: 2921065

*** No threatened flora found within 500 metres ***

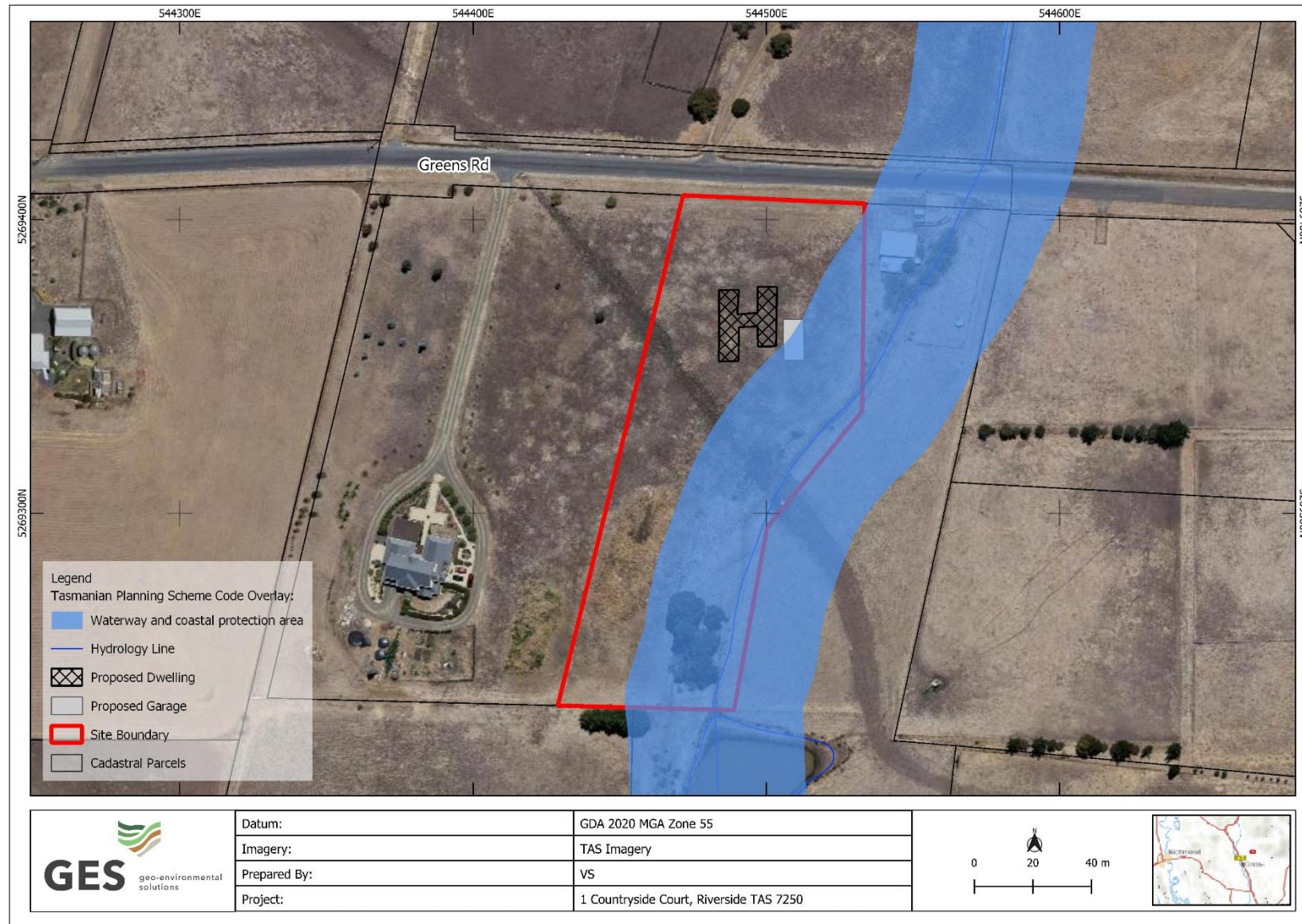
Department of Natural Resources and Environment Tasmania

Page 1 of 40

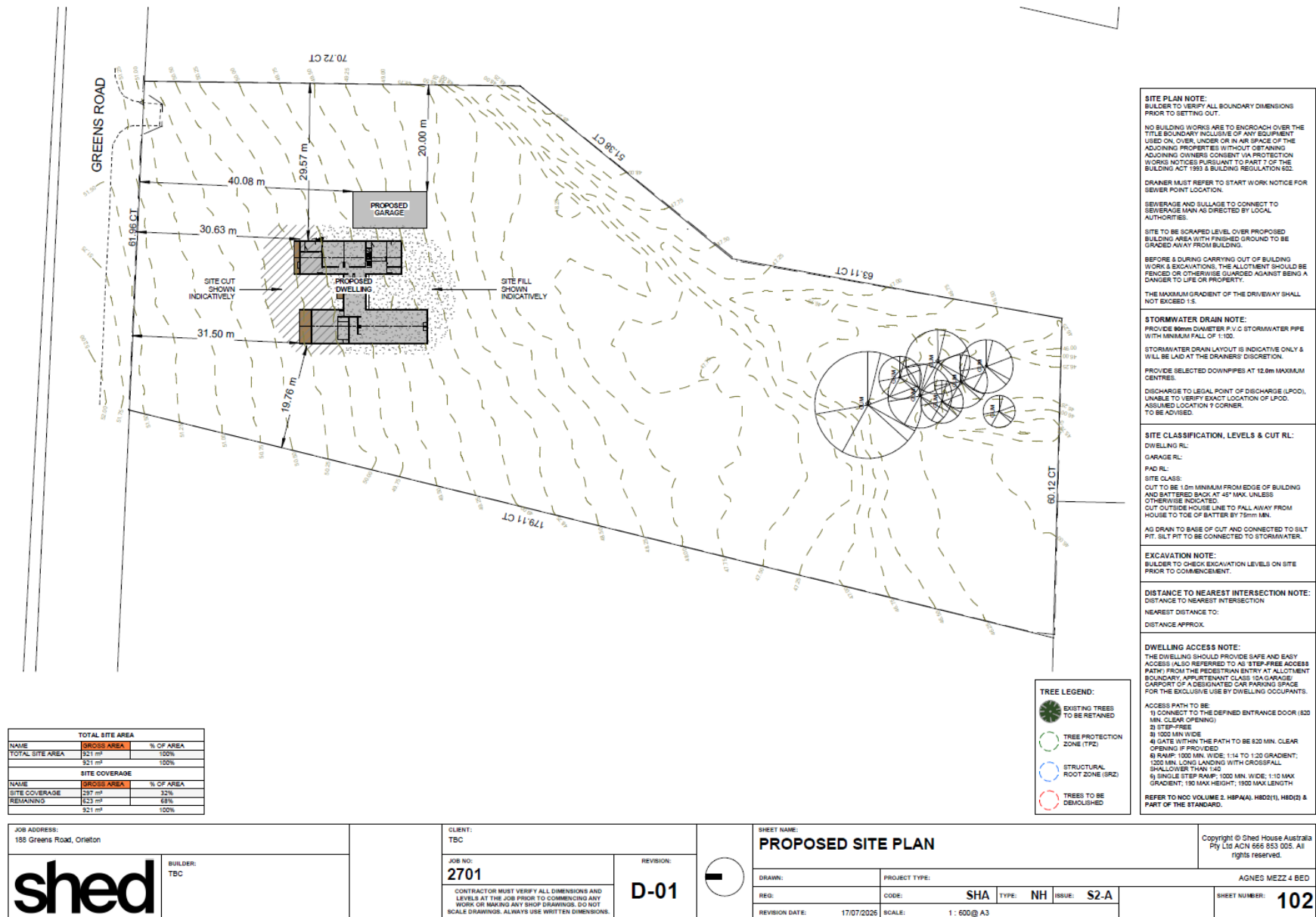


Front cover of NVA report (full report available on request).

Appendix 2. Tasmanian Planning Scheme Overlays



Appendix 3. Site Plan





FEATHERSTONE SURVEY AND CIVIL CAN PROVIDE PLANS FOR OTHER PURPOSES.

BOUNDARIES HAVE BEEN COMPILED BY REGISTERED LAND SURVEYOR SIMON FEATHERSTONE
FOR IDENTIFICATION PURPOSES ONLY AND HAVE NOT BEEN RE-ESTABLISHED OR MARKED.

ONLY SERVICES VISIBLE AT THE TIME OF SURVEY HAVE BEEN LOCATED. OTHER SERVICES MAY EXIST

THIS DISCLAIMER FORMS AN INTEGRAL PART OF THIS PLAN



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FEATHERSTONE
SURVEY AND CIVIL

Datum MGA2020			CLIENT JORDAN GUNTHER & NIKALA POST	TITLE REF: 186860/2
Height Datum AHD83 (TAS)			PROJECT 188 GREENS ROAD ORIELTON	PROJECT NO FSC1184
			TITLE DETAIL SURVEY	
Date Surveyed 7/07/2026	Drawing Date 11/7/2026	Scale when plotted at 1 : 500 A3	DRAWING NO. FSC1184-01	REVISION NO REVO

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shed

HOUSE TYPE
AGNES MEZZ 4 BED

PROJECT ADDRESS
188 Greens Road, Orielton

JOB NUMBER
2701



DISCIPLINE

ARCHITECTURAL DOCUMENTATION

JOB NUMBER

2701

CONTENTS

DRAWINGS INDEX

SHEET NAME

TRANSMITTAL

PROJECT REVISIONS

Current Revision

DRAFT NO.	DESCRIPTION
D-00	STAGE 2
D-01	STAGE 2
D-02	STAGE 2

REV. DATE	ISSUED BY	ISSUED TO
14/07/2026	LF	
17/07/2026	LF	
23/07/2026	LF	

HOUSE TYPE

AGNES MEZZ 4 BED

COLOURS MATERIALS

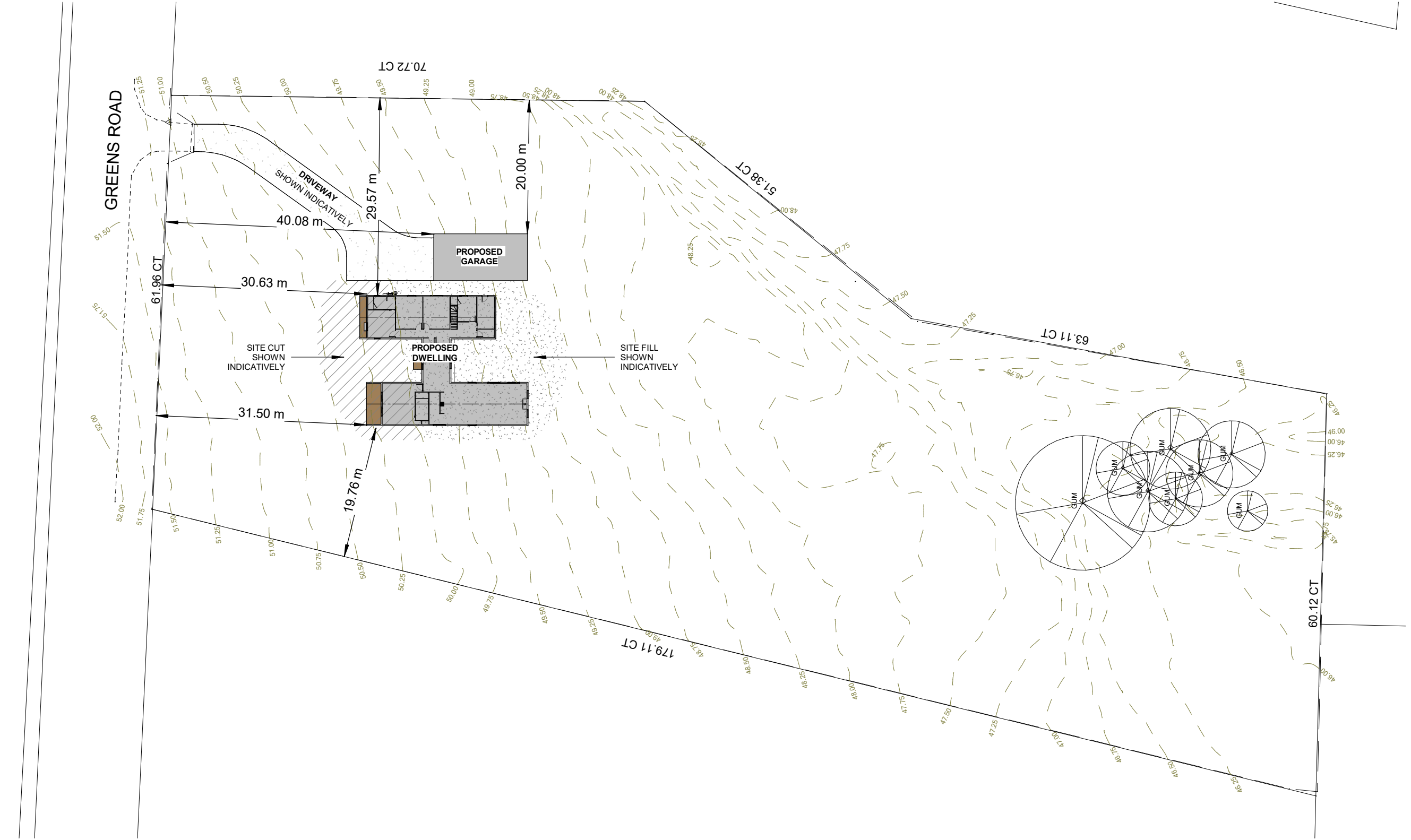
CLIENT SELECTIONS

- A**
WALL CLADDING
MATERIAL: **SELECTED COLORBOND SHEET**
COLOUR: **MONUMENT**
PROFILE: **SHARPLINE**
- B**
ROOF CLADDING
MATERIAL: **SELECTED COLORBOND SHEET**
COLOUR: **MONUMENT**
PROFILE: **CORRUGATED**
- C**
GUTTERS
MATERIAL: **STRAMIT 150 ROUND GUTTER**
COLOUR: **MONUMENT**
- D**
FASCIA & CAPPINGS
MATERIAL: **COLOURBOND**
COLOUR: **MONUMENT**
- E**
EXTERNAL DOORS & WINDOW FRAMES
MATERIAL: **ALUMINIUM**
COLOUR: **MONUMENT**
- F**
SHOURDS
MATERIAL: **ALUMINIUM**
COLOUR: **BLACK**



**Sorell Council**
Development Application: 5.2026.254.1 -
Development Application - 188 Greens Road,
Orielton P1.pdf
Plans Reference:P1
Date Received:28/07/2026

CLIENT UPGRADES



SITE PLAN NOTE:
BUILDER TO VERIFY ALL BOUNDARY DIMENSIONS PRIOR TO SETTING OUT.

NO BUILDING WORKS ARE TO ENCROACH OVER THE TITLE BOUNDARY INCLUSIVE OF ANY EQUIPMENT USED ON, OVER, UNDER OR IN AIR SPACE OF THE ADJOINING PROPERTIES WITHOUT OBTAINING WORKS NOTICES PURSUANT TO PART 7 OF THE BUILDING ACT 1993 & BUILDING REGULATION 602.

DRAINER MUST REFER TO START WORK NOTICE FOR SEWER POINT LOCATION.

SEWERAGE AND SULLAGE TO CONNECT TO SEWERAGE MAIN AS DIRECTED BY LOCAL AUTHORITIES.

SITE TO BE SCRAPED LEVEL OVER PROPOSED BUILDING AREA WITH FINISHED GROUND TO BE GRADED AWAY FROM BUILDING.

BEFORE & DURING CARRYING OUT OF BUILDING WORK & EXCAVATIONS, THE ALLOTMENT SHOULD BE FENCED OR OTHERWISE GUARDED AGAINST BEING A DANGER TO LIFE OR PROPERTY.

THE MAXIMUM GRADIENT OF THE DRIVEWAY SHALL NOT EXCEED 1:5.

STORMWATER DRAIN NOTE:
PROVIDE **90mm** DIAMETER P.V.C STORMWATER PIPE WITH MINIMUM FALL OF 1:100.

STORMWATER DRAIN LAYOUT IS INDICATIVE ONLY & WILL BE LAID AT THE DRAINERS' DISCRETION.

PROVIDE SELECTED DOWNPIPES AT **12.0m** MAXIMUM CENTRES.

DISCHARGE TO LEGAL POINT OF DISCHARGE (LPOD), UNABLE TO VERIFY EXACT LOCATION OF LPOD. ASSUMED LOCATION ? CORNER. TO BE ADVISED.

SITE CLASSIFICATION, LEVELS & CUT RL:
DWELLING RL:
GARAGE RL:
PAD RL:
SITE CLASS:
CUT TO BE 1.0m MINIMUM FROM EDGE OF BUILDING AND BATTERED BACK AT 45° MAX. UNLESS OTHERWISE INDICATED.
CUT OUTSIDE HOUSE LINE TO FALL AWAY FROM HOUSE TO TOE OF BATTER BY 75mm MIN.

AG DRAIN TO BASE OF CUT AND CONNECTED TO SILT PIT. SILT PIT TO BE CONNECTED TO STORMWATER.

EXCAVATION NOTE:
BUILDER TO CHECK EXCAVATION LEVELS ON SITE PRIOR TO COMMENCEMENT.

DISTANCE TO NEAREST INTERSECTION NOTE:
DISTANCE TO NEAREST INTERSECTION

NEAREST DISTANCE TO:
DISTANCE APPROX.

DWELLING ACCESS NOTE:
THE DWELLING SHOULD PROVIDE SAFE AND EASY ACCESS (ALSO REFERRED TO AS '**STEP-FREE ACCESS PATH**') FROM THE PEDESTRIAN ENTRY AT ALLOTMENT BOUNDARY. APPURTENANT CLASS 10A GARAGE/ CARPORT OF A DESIGNATED CAR PARKING SPACE FOR THE EXCLUSIVE USE BY DWELLING OCCUPANTS.

ACCESS PATH TO BE:
1) CONNECT TO THE DEFINED ENTRANCE DOOR (820 MIN. CLEAR OPENING)
2) STEP-FREE
3) 1000 MIN WIDE
4) GATE WITHIN THE PATH TO BE 820 MIN. CLEAR OPENING IF PROVIDED
5) RAMP: 1000 MIN. WIDE; 1:14 TO 1:20 GRADIENT; 1200 MIN. LONG LANDING WITH CROSSFALL SHALLOWER THAN 1:40
6) SINGLE STEP RAMP; 1000 MIN. WIDE; 1:10 MAX GRADIENT; 190 MAX HEIGHT; 1900 MAX LENGTH

REFER TO NCC VOLUME 2. H8PA(A), H8D2(1), H8D(2) & PART OF THE STANDARD.

TREE LEGEND:

- EXISTING TREES TO BE RETAINED
- TREE PROTECTION ZONE (TPZ)
- STRUCTURAL ROOT ZONE (SRZ)
- TREES TO BE DEMOLISHED

TOTAL SITE AREA		
NAME	GROSS AREA	% OF AREA
TOTAL SITE AREA	921 m²	100%
	921 m²	100%
SITE COVERAGE		
NAME	GROSS AREA	% OF AREA
SITE COVERAGE	297 m²	32%
REMAINING	623 m²	68%
	921 m²	100%

Sorell Council
Development Application: 5.2026.254.1 -
Development Application - 188 Greens Road,
Orielton P1.pdf
Plans Reference:P1
Date Received:28/07/2026

JOB ADDRESS:
188 Greens Road, Orielton

BUILDER:
TBC

CLIENT:
TBC

JOB NO:
2701

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

REVISION:
D-02

SHEET NAME:
PROPOSED SITE PLAN

DRAWN:

REG:

REVISION DATE:

PROJECT TYPE:

CODE: **SHA**

TYPE: **NH**

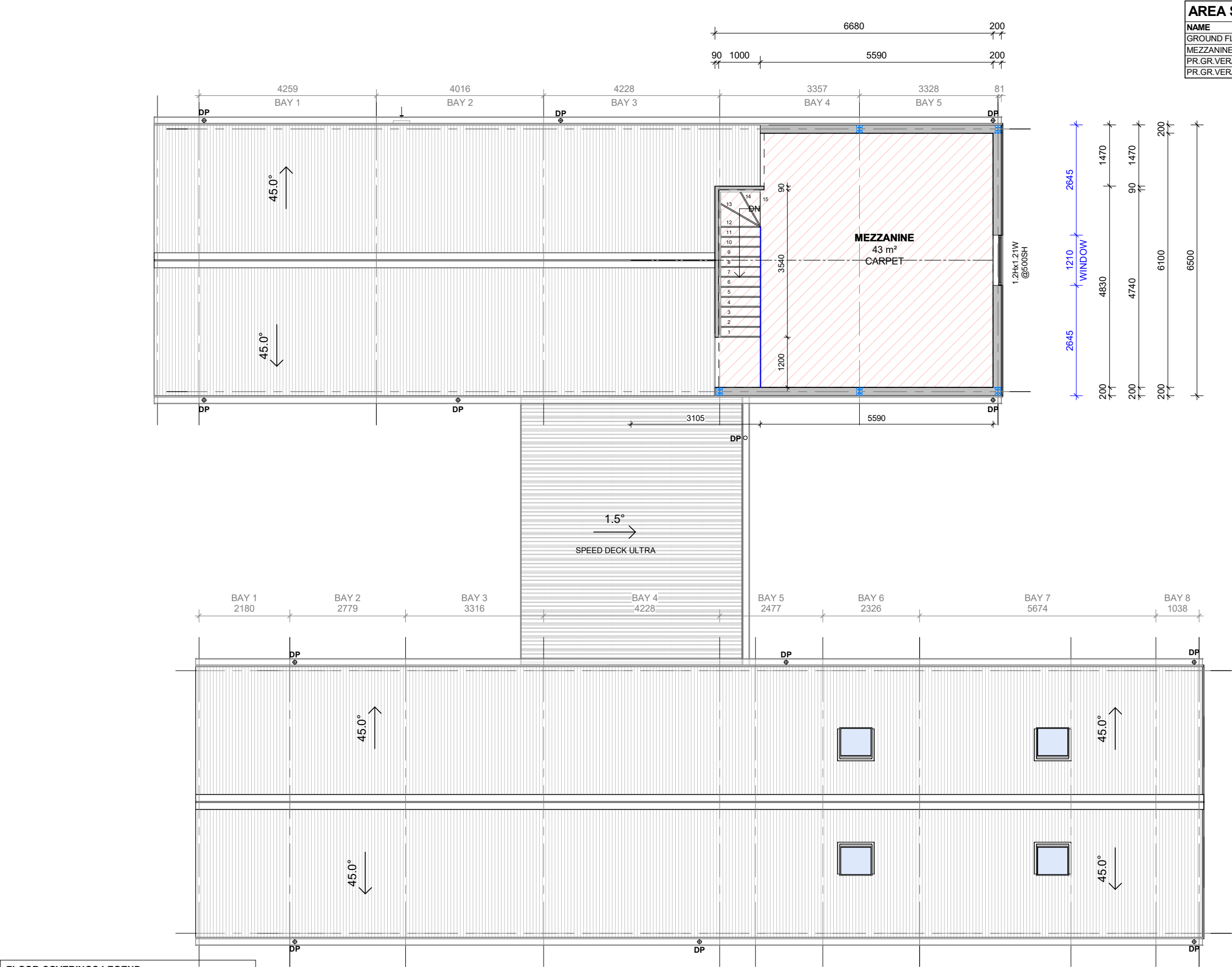
ISSUE: **S2-A**

SCALE: 1 : 600@ A3

AGNES MEZZ 4 BED

SHEET NUMBER: **102**

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AREA SCHEDULE		
NAME	GROSS AREA	% OF AREA
GROUND FLOOR	297 m²	83%
MEZZANINE	40 m²	11%
PR.GR.VERANDAH	6 m²	2%
PR.GR.VERANDAH	14 m²	4%

AREA NOTE:	
AREAS ARE TAKEN FROM THE EXTERNAL FACE OF STRUCTURAL WALL FRAMING. DIMENSIONS FOR INTERNAL ROOMS TAKEN TO INSIDE FACE OF STRUCTURAL WALL BEFORE LINING.	

BASE SPECIFICATIONS:	
INTERNAL WALL & CEILING FINISHES:	
GROUND LEVEL	PAINTED PLASTERBOARD
LOFT/MEZZANINE	PAINTED PLASTERBOARD

INSULATION RATINGS FOR BATTS:	
WALLS	R 3.5
CEILING	R 4.0

APPLIANCES LEGEND:	
	HEATING/AC UNIT MAKE: TBC MODEL: TBC
	HOT WATER SERVICE (HWS) HEAT PUMP MAKE: RINNAI MODEL: C180L TO 200L
	COOKTOP MAKE: TBC MODEL: TBC
	OVEN MAKE: TBC MODEL: TBC

LEGEND:	
	DOWNPIPES LOCATIONS
	CEILING EXHAUST FANS
	SMOKE ALARM TO COMPLY WITH NCC REQUIRMENTS AND AS 3786
	1200mm x 900mm CIRCULATION NCC COMPLIANCE
	HATCH INDICATES RAKED CEILINGS
	HATCH INDICATES DROPPED CEILINGS / BULKHEADS
	EXTERNAL WINDOW SHROUD
	STRUCTURAL STEEL PORTAL
	STRUCTURAL BRACING

WINDOW & DOOR NOTES:
ALL EXTERNAL WINDOW & DOOR HEAD HEIGHTS REFER TO WINDOW & DOOR SCHEDULES.

ALL EXTERNAL DOORS & WINDOW SLAB REBATES, REFER TO WINDOW & DOOR SCHEDULES. BUILDER TO REFER TO WINDOW & DOOR MANUFACTURERS SET DOWN HEIGHTS. BUILDER TO CONFIRM THESE DETAILS PRIOR TO POURING THE SLAB & TO ALLOW FOR PACKING IF REQUIRED.

30MM CLEARANCE EITHER SIDE OF DOOR FRAME SHOULD BE ALLOWED FOR PACKING. ALL EXTERNAL WINDOW & DOORS ARE TO BE FLASHED ACCORDINGLY, & TO MANUFACTURERS INSTALLATIONS SPECIFICATIONS.

ALL EXTERNAL WINDOW & DOOR SIZES ARE SHOWN AS NOMINAL. LIFT OFF HINGES TO WC DOORS. BUILDER TO USE WINDOW MANUFACTURERS NEAREST STOCK SIZES & ALLOW FOR REVEALS & OPENING TOLERANCES, MIN 20MM CLEARANCE AROUND WINDOW & DOOR FRAMES TO ALLOW FOR PACKING AND FLASHING REQUIREMENTS.

WALL CLADDING NOTES:
ALL EXTERNAL CLADDING IS TO BE INSTALLED TO THE MANUFACTURERS SPECIFICATIONS.

ANY STEEL SHEET CLADDING DIRECT FIXED TO STEEL WALL GIRTS ARE TO HAVE A SINGLE LAYER OF THERMATAP[™] THERMAL BREAK & A SINGLE LAYER OF WALL SISALATION WRAP JH VAPA-WRAP & REFER TO SHA ASSEMBLY MANUAL.

ANY FIBRE CEMENT SHEET CLADDING IS REQUIRED TO FIX A WALL BATTEN TO MANUFACTURERS SPECS, AND HAVE A SINGLE LAYER OF WALL SISALATION ALONG THE ENTIRE WALL RUN.

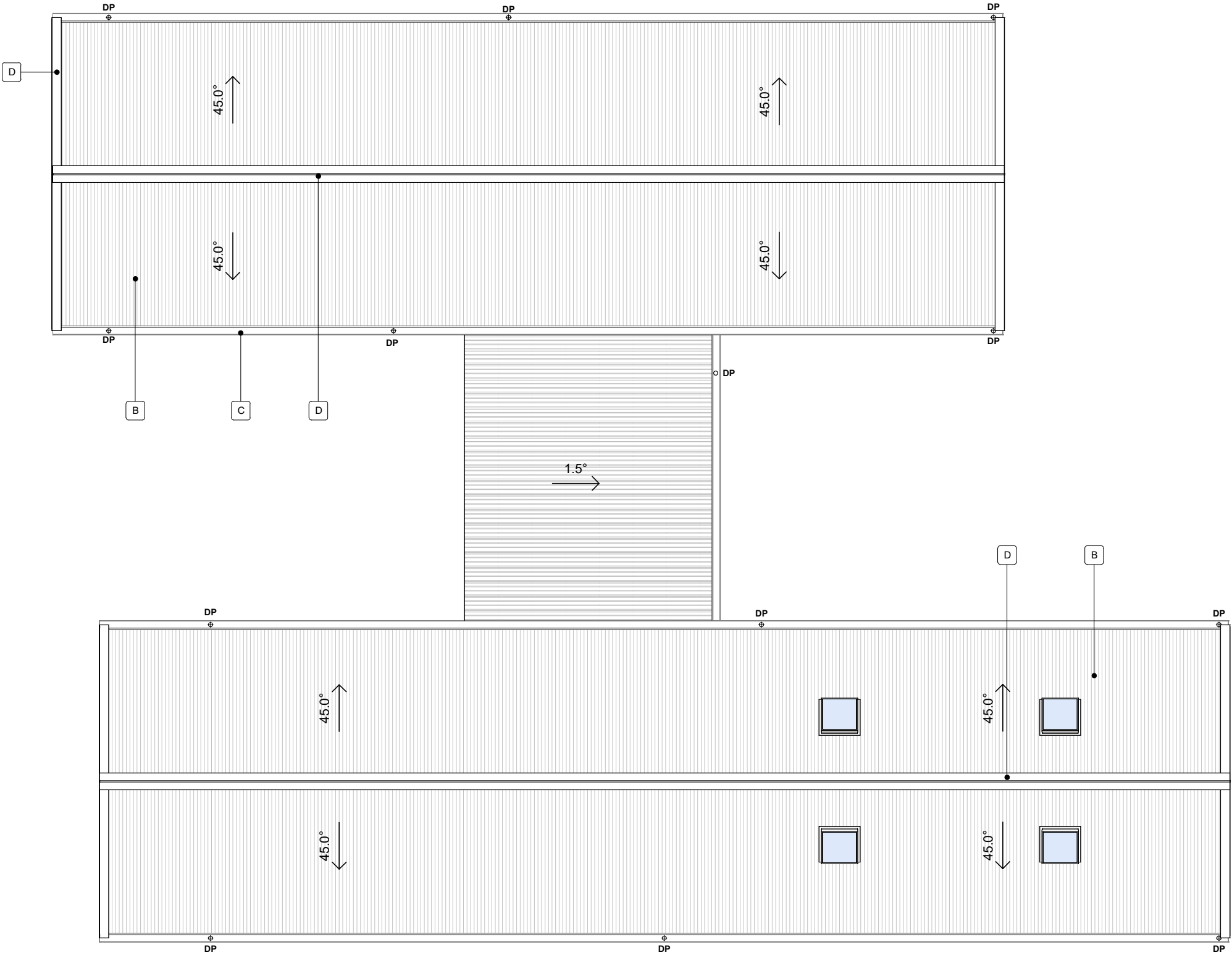
EXTERNAL WALL & AREA NOTES:
ALL EXTERNAL WALL DIMENSIONS ARE MEASURED TO EXTERNAL FACE OF STRUCTURAL FRAME AND DOES NOT INCLUDE THICKNESS OF THE FINISHES. AREA SCHEDULES ARE TAKEN FROM THE EXTERNAL PART OF THE EXTERNAL WALL.

FLOOR COVERINGS LEGEND			
	CARPET		BURNISHED CONCRETE
	TILES		PARTICLE BOARD

Sorell Council

Development Application: 5.2026.254.1 -
Development Application - 188 Greens Road,
Orielton P1.pdf
Plans Reference:P1
Date Received:28/07/2026

JOB ADDRESS: 188 Greens Road, Orielton		CLIENT: TBC		SHEET NAME: PROPOSED MEZZANINE FLOOR PLAN		Copyright © Shed House Australia Pty Ltd ACN 666 853 005. All rights reserved.	
		JOB NO: 2701		REVISION: D-02		AGNES MEZZ 4 BED	
		CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.				SHEET NUMBER: 202	
BUILDER: TBC		DRAWN:		PROJECT TYPE:		REVISION DATE: 23/07/2026	
		REG:		CODE: SHA		TYPE: NH	
		REVISION DATE: 23/07/2026		SCALE: 1 : 100@ A3		ISSUE: S2-A	



- A**
WALL CLADDING
MATERIAL: **SELECTED COLORBOND SHEET**
COLOUR: **MONUMENT**
PROFILE: **SHARPLINE**
- B**
ROOF CLADDING
MATERIAL: **SELECTED COLORBOND SHEET**
COLOUR: **MONUMENT**
PROFILE: **CORRUGATED**
- C**
GUTTERS
MATERIAL: **STRAMIT 150 ROUND GUTTER**
COLOUR: **MONUMENT**
- D**
FASCIA & CAPPINGS
MATERIAL: **COLOURBOND**
COLOUR: **MONUMENT**
- E**
EXTERNAL DOORS & WINDOW FRAMES
MATERIAL: **ALUMINIUM**
COLOUR: **MONUMENT**
- F**
SHOURDS
MATERIAL: **ALUMINIUM**
COLOUR: **BLACK**

**Sorell Council**

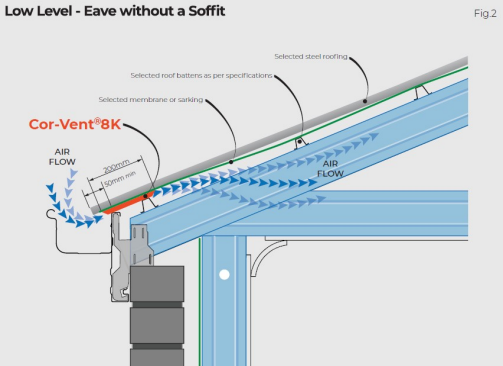
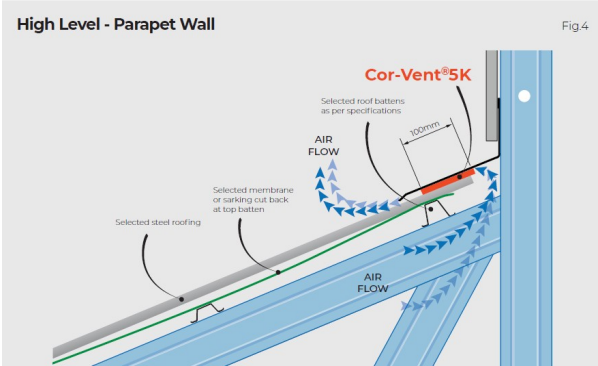
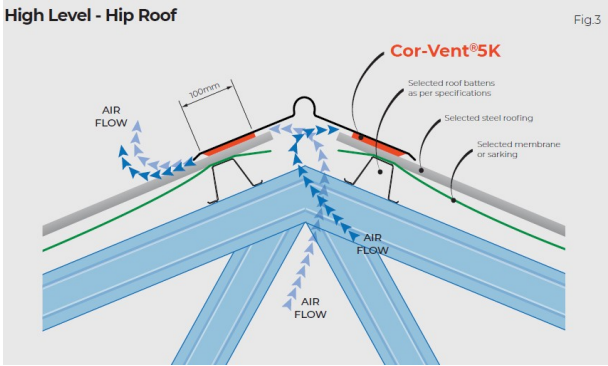
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Development Application - 188 Greens Road,
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Plans Reference:P1
Date Received:28/07/2026

COR-VENT VENTILATION REQUIREMENTS AS PER TABLE 10.8.3 NCC 2022 VOL 2 & MANUFACTURERS SPECIFICATIONS

COMPLIANCE REQUIREMENTS:
7,000mm2/m @ LOW LEVEL + ADDITIONAL
18,000mm2/m FOR CATHEDRAL CEILING
5,000mm2/m @ HIGH LEVEL

COR-VENT 8K @ LOW LEVEL RATED @ 8,050mm2/m
TOTAL LENGTH PROVIDED @ LOW LEVEL = **0m**
CALCULATED TOTAL = 0m x 8050 + 18000 = 18,000mm2/m
(MINIMUM REQ. 18,000mm2/m)

COR-VENT 5K RATED @ HIGH LEVEL RATED 5,050mm2/m
TOTAL LENGTH PROVIDED @ HIGH LEVEL = **0m**
CALCULATED TOTAL = 0m x 5050 = 0mm2/m
(MINIMUM REQ. 0mm2/m)



LEGEND:		DOWNPIPE DETAILS:
BG	BOX GUTTER	ALL DOWNPIPES TO BE ROUND 90mm DIAMETER PVC
DP	DOWNPIPES	
RH	RAINHEAD (WALL MOUNTED)	ALL STORMWATER TO BE DIRECTED TO DETAILED WATERTANK & USED FOR FLUSHING TOILET PURPOSES AND CFA FIRE FIGHTING PURPOSES IF REQUIRED.
xx°	DEGREE OF ROOF SLOPE	
	CHIMNEY & FLUE OPENING	GUTTER DETAILS: STRAMIT HALF ROUND GUTTER 150mm. REFER TO MATERIAL SCHEDULE FOR GUTTER COLOUR.
	SKYLIGHTS - REFER TO SCHEDULES	
	ROOF HATCH - REFER TO SCHEDULES	

JOB ADDRESS:
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CLIENT:
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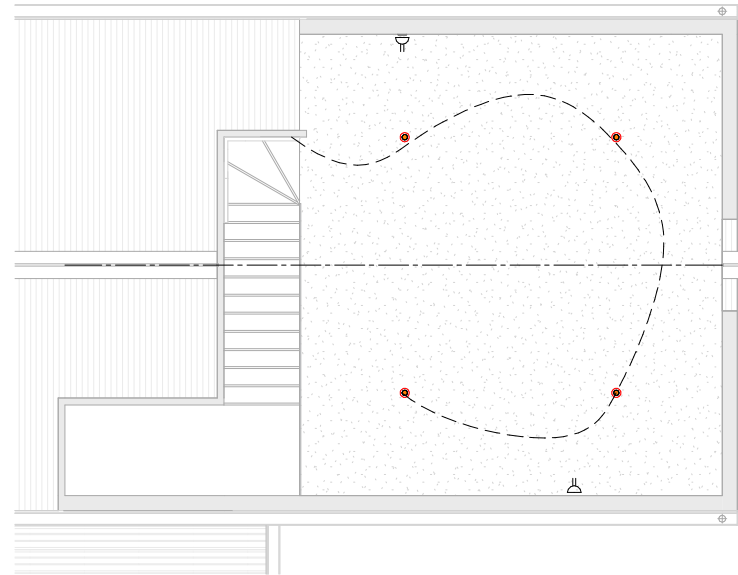
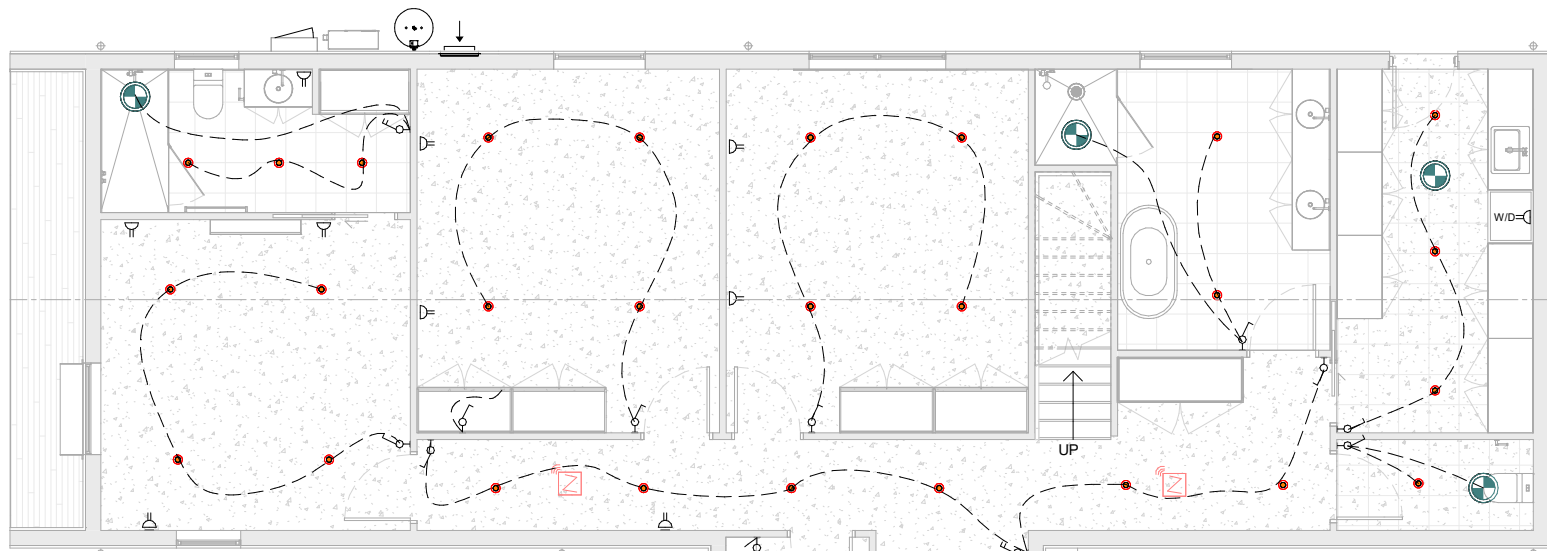
SHEET NAME:
PROPOSED ROOF PLAN

DRAWN:	PROJECT TYPE:				
REG:	CODE:	SHA	TYPE:	NH	ISSUE:
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SHEET NUMBER:
203



PROPOSED FIRST FLOOR ELECTRICAL PLAN
SCALE 1 : 100



PROPOSED GROUND FLOOR ELECTRICAL PLAN
SCALE 1 : 100

ELECTRICAL LEGEND

- 1 SWITCH
- 2 SWITCHES
- 3 SWITCHES
- 4 SWITCHES
- POWERPOINT - SINGLE
- POWERPOINT - DOUBLE
- POWERPOINT - HARDWIRED
- POWERPOINT - ESSENTIAL
- POWERPOINT - USB
- POWERPOINT - WATERPROOF
- POWERPOINT - DOUBLE + USB
- POWERPOINT - WASHING MACHINE/DRYER
- POWERPOINT - DISHWASHER
- POWERPOINT - UNDER BENCH
- POWERPOINT - OVEN
- POWERPOINT - RANGE HOOD
- DATA - SINGLE
- DATA - DOUBLE
- CEILING EXHAUST FANS (TO ATMOSPHERE)
- CCTV CAMERA
- INTERCOM

RCP/LIGHTING LEGEND

- DOWNLIGHTS
- DIRECTION DOWNLIGHTS
- BATTEN LIGHTS
- FLUORESCENT LIGHTS
- WALL MOUNT LIGHTS
- CEILING FANS
- SMOKE ALARM TO COMPLY WITH NCC REQUIREMENTS AND AS 3786
- ELECTRICAL CABLE

COORDINATION OF SERVICES NOTE:

COORDINATE ALL ARCHITECTURAL DRAWINGS WITH THOSE PROVIDED BY OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO:

- ELECTRICAL
- FIRE
- MECHANICAL
- HYDRAULIC
- STRUCTURAL
- CIVIL
- LANDSCAPE
- LAND SURVEY

ALL DOCUMENTS TO BE READ IN CONJUNCTION WITH & COMPLY WITH ALL REPORTS INCLUDING BUT NOT LIMITED TO BLDG SURVEYOR, ESD REPORTS & ACOUSTIC REPORTS).

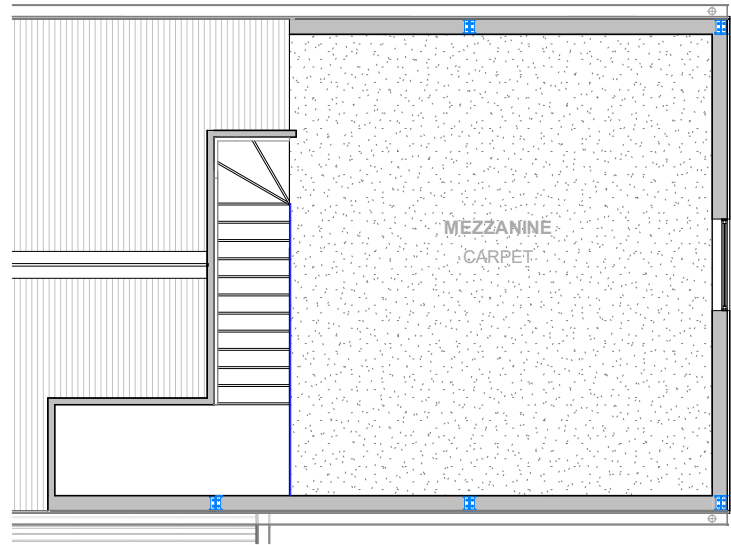
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Development Application: 5.2026.254.1 -
Development Application - 188 Greens Road,
Orielton P1.pdf
Plans Reference:P1
Date Received:28/07/2026

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					REG:		CODE:	SHA	TYPE:	NH	ISSUE:
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PROPOSED GROUND FLOOR COVERINGS
SCALE 1 : 100

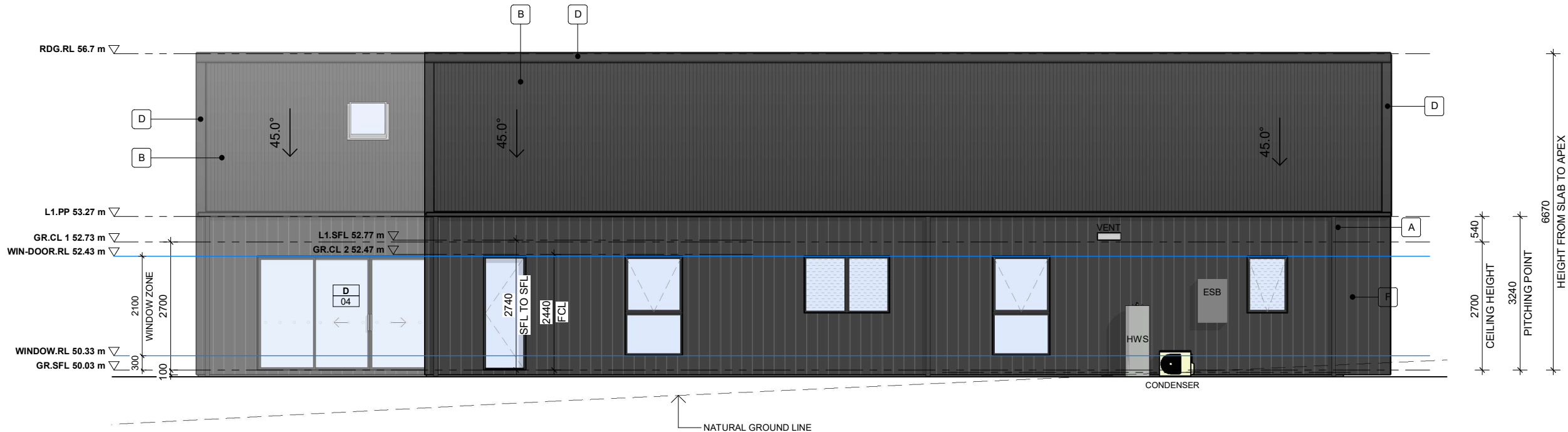


PROPOSED MEZZANINE FLOOR COVERINGS
SCALE 1 : 100

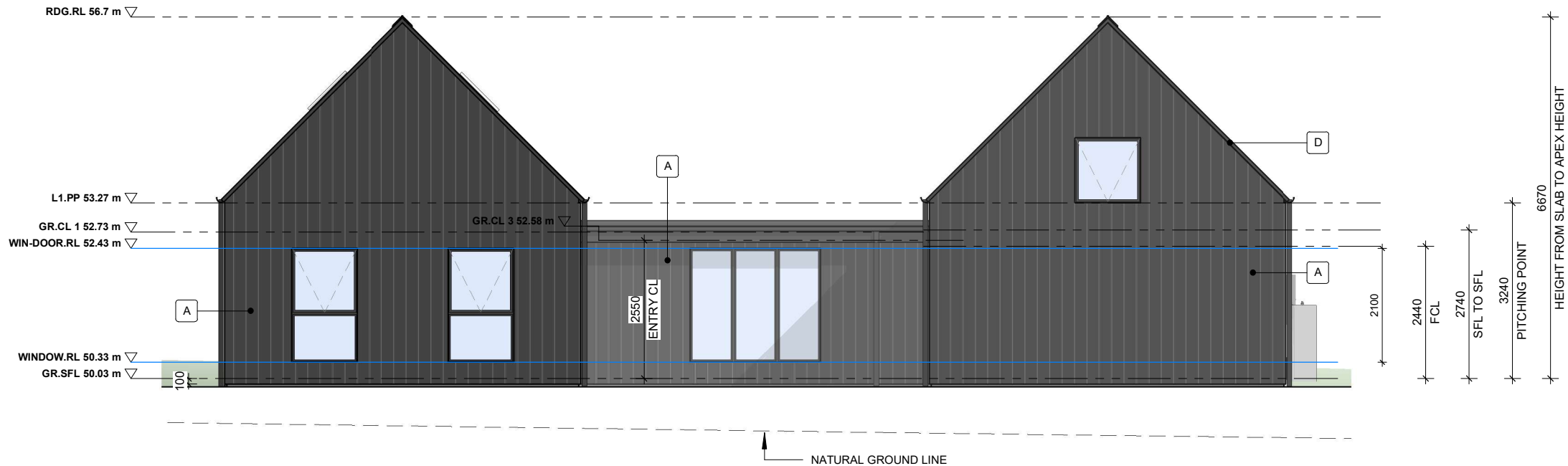
FLOOR COVERINGS LEGEND:			
	CARPET		BURNISHED CONCRETE
	TILES		PARTICLE BOARD

Sorell Council
Development Application: 5.2026.254.1 -
Development Application - 188 Greens Road,
Orielton P1.pdf
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					REG:	CODE:	SHA	TYPE:	NH	ISSUE:	S2-A	SHEET NUMBER: 206
		CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.		REVISION DATE:		23/07/2026		SCALE:		1 : 100@ A3		



PROPOSED NORTH ELEVATION
SCALE 1 : 100



PROPOSED EAST ELEVATION
SCALE 1 : 100

LEGEND	
	SITE CUT
	SITE FILL
	GLASS/GLAZING
	NATURAL GROUND LINE

ABBREVIATIONS:	
RDG.RL	RIDGE RELATIVE LEVEL
L1.SFL	LEVEL 1 STRUCTURAL FLOOR LEVEL
GR.CL	GROUND CEILING LEVEL
WIN-DOOR.RL	WINDOW & DOOR RELATIVE LEVEL
GR.SFL	GROUND FLOOR STRUCTURAL FLOOR
CL	CEILING HEIGHT LEVEL
HWS	HOT WATER SERVICE

WINDOW SIZE NOTE:
WINDOWS AND DOOR SIZES SHOWN ARE NOMINAL. BUILDER TO USE WINDOW MANUFACTURER'S NEAREST STOCK SIZES.

FIRST FLOOR WINDOWS NOTE:
FALL PREVENTION SHALL BE PROVIDED TO A BEDROOM WINDOW WHEN THE OPENABLE PORTION OF THE WINDOW IS LESS THAN 1700mm ABOVE THE FLOOR LEVEL AND THE FLOOR BELOW. THE WINDOW IS 2.0m OR MORE ABOVE THE SURFACE BENEATH IN ACCORDANCE WITH NCC 2022 PART H5P2 OPTIONS:

1. WINDOW OPENING SHALL NOT EXCEED 125mm, OR
2. THE OPENABLE PORTION PROTECTED WITH A MECHANICALLY FIXED METAL SCREEN (CAPABLE OF RESISTING 250N HORIZONTAL ACTION)

*IF THE SCREEN OR DEVICE IS ABLE TO BE REMOVED, UNLOCKED OR OVERRIDDEN, THE WINDOW SHALL BE FITTED WITH A CHILD RESISTANT DEVICE.

OTHER WINDOWS ARE REQUIRED TO HAVE BARRIER OF NOT LESS THAN 865mm ABOVE THE FLOOR LEVEL WHEN THE OPENABLE WINDOW IS 2m OR MORE ABOVE THE SURFACE BENEATH THE WINDOW.

TIMBER FRAMING NOTE:
ALL INTERNAL WALL FRAMING TO BE PRE-FABRICATED TO MANUFACTURER'S SPECIFICATIONS AND IN ACCORDANCE WITH CURRENT NCC & COMPLY TO AS1684 - 2021.

EXTERNAL CLADDING NOTE:
ALL EXTERNAL WALL DIMENSIONS ARE MEASURED TO EXTERNAL FACE OF STRUCTURAL FRAME AND DOES NOT INCLUDE THICKNESS OF THE FINISHES.

WINDOW & DOOR OPENING NOTE:
REFER TO DOOR & WINDOW SCHEDULES FOR SIZES INCLUDING HEAD & SILL HEIGHTS.

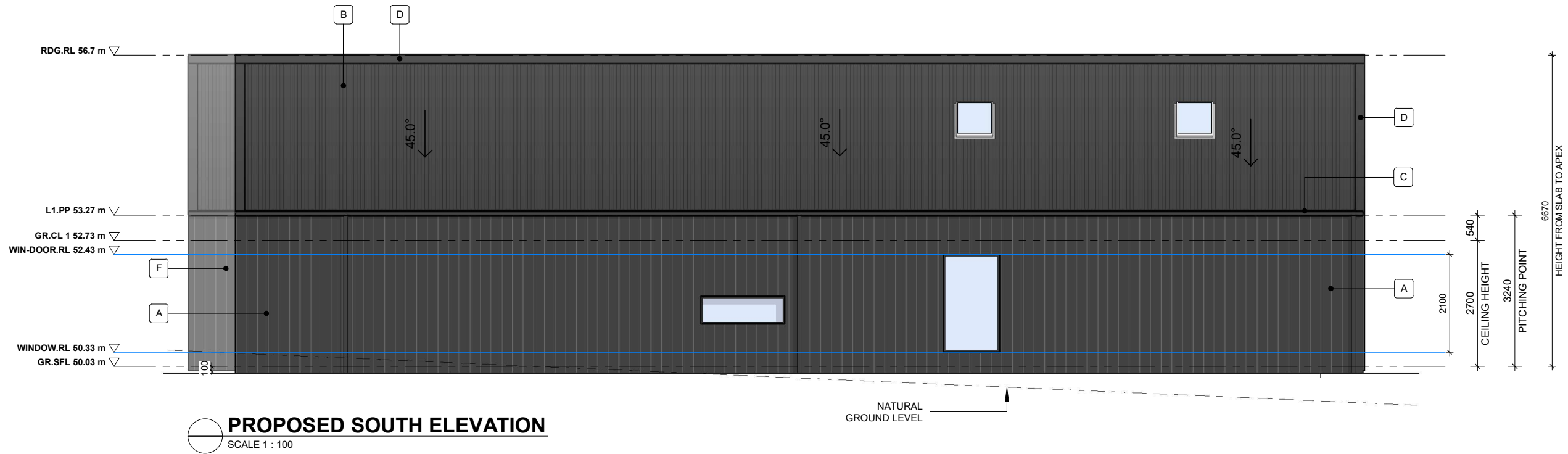
WINDOW MANUFACTURER TO ENSURE THE WINDOWS PERFORMANCE HAS BEEN REVIEWED ON THE ENERGY RATING REPORT.

BALCONY CONSTRUCTION:
BALCONIES TO BE MINIMUM 50mm STEP DOWN FROM FIRST FLOOR LEVEL AND CONSTRUCTED USING COMPRESSED SHEET WITH TILING OVER.

BALCONIES TO BE TANKED WITH AN APPROVED SYSTEM, FALL TO BE PROVIDED AND DRAINED. BALCONIES TO BE WATERPROOFED TO MANUFACTURERS SPECIFICATIONS. TO COMPLY WITH AS-4654.

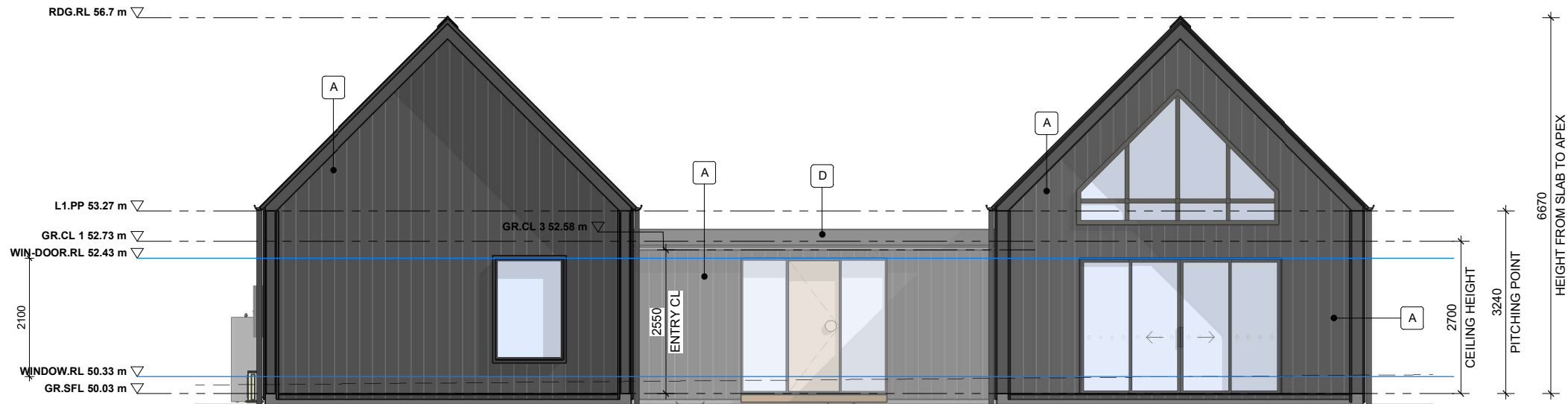
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Development Application - 188 Greens Road,
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Plans Reference:P1
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					REVISION DATE:	23/07/2026	SCALE:		1 : 100@ A3			



PROPOSED SOUTH ELEVATION

SCALE 1 : 100



PROPOSED WEST ELEVATION

SCALE 1 : 100

LEGEND

	SITE CUT		GLASS/GLAZING
	SITE FILL		
	NATURAL GROUND LINE		

ABBREVIATIONS:

RDG.RL	RIDGE RELATIVE LEVEL
L1.SFL	LEVEL 1 STRUCTURAL FLOOR LEVEL
GR.CL	GROUND CEILING LEVEL
WIN-DOOR.RL	WINDOW & DOOR RELATIVE LEVEL
GR.SFL	GROUND FLOOR STRUCTURAL FLOOR
CL	CEILING HEIGHT LEVEL
HWS	HOT WATER SERVICE

WINDOW SIZE NOTE:

WINDOWS AND DOOR SIZES SHOWN ARE NOMINAL. BUILDER TO USE WINDOW MANUFACTURER'S NEAREST STOCK SIZES.

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1. WINDOW OPENING SHALL NOT EXCEED 125mm, OR
2. THE OPENABLE PORTION PROTECTED WITH A MECHANICALLY FIXED METAL SCREEN (CAPABLE OF RESISTING 250N HORIZONTAL ACTION)

*IF THE SCREEN OR DEVICE IS ABLE TO BE REMOVED, UNLOCKED OR OVERRIDDEN, THE WINDOW SHALL BE FITTED WITH A CHILD RESISTANT DEVICE.

OTHER WINDOWS ARE REQUIRED TO HAVE BARRIER OF NOT LESS THAN 865mm ABOVE THE FLOOR LEVEL WHEN THE OPENABLE WINDOW IS 2m OR MORE ABOVE THE SURFACE BENEATH THE WINDOW.

TIMBER FRAMING NOTE:

ALL INTERNAL WALL FRAMING TO BE PRE-FABRICATED TO MANUFACTURER'S SPECIFICATIONS AND IN ACCORDANCE WITH CURRENT NCC & COMPLY TO AS1684 - 2021.

EXTERNAL CLADDING NOTE:

ALL EXTERNAL WALL DIMENSIONS ARE MEASURED TO EXTERNAL FACE OF STRUCTURAL FRAME AND DOES NOT INCLUDE THICKNESS OF THE FINISHES.

WINDOW & DOOR OPENING NOTE:

REFER TO DOOR & WINDOW SCHEDULES FOR SIZES INCLUDING HEAD & SILL HEIGHTS.

WINDOW MANUFACTURER TO ENSURE THE WINDOWS PERFORMANCE HAS BEEN REVIEWED ON THE ENERGY RATING REPORT.

BALCONY CONSTRUCTION:

BALCONIES TO BE MINIMUM 50mm STEP DOWN FROM FIRST FLOOR LEVEL AND CONSTRUCTED USING COMPRESSED SHEET WITH TILING OVER.

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Development Application - 188 Greens Road,
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REVISION:

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DRAWN:

PROJECT TYPE:

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REG:

CODE:

SHA

TYPE: NH

ISSUE: S2-A

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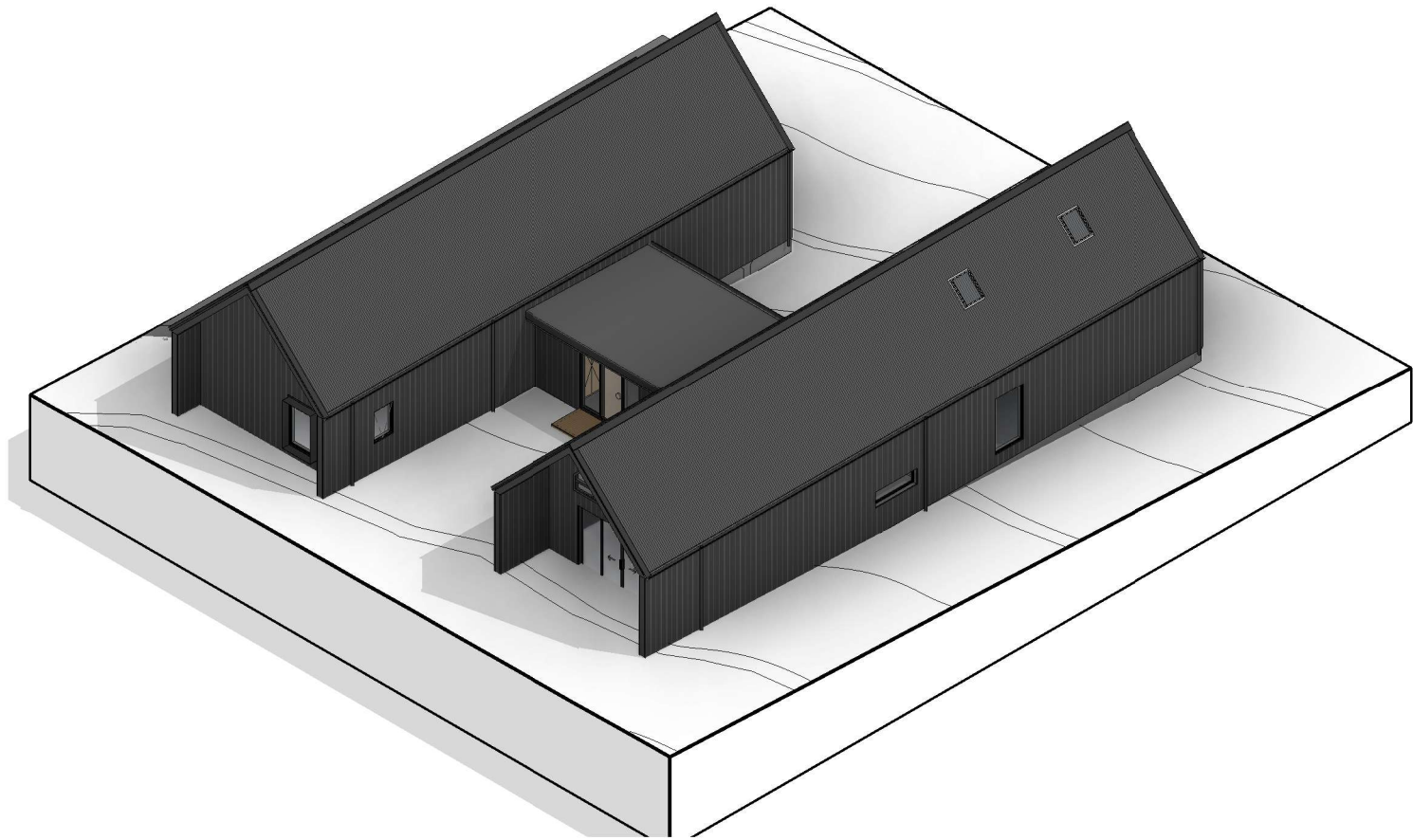
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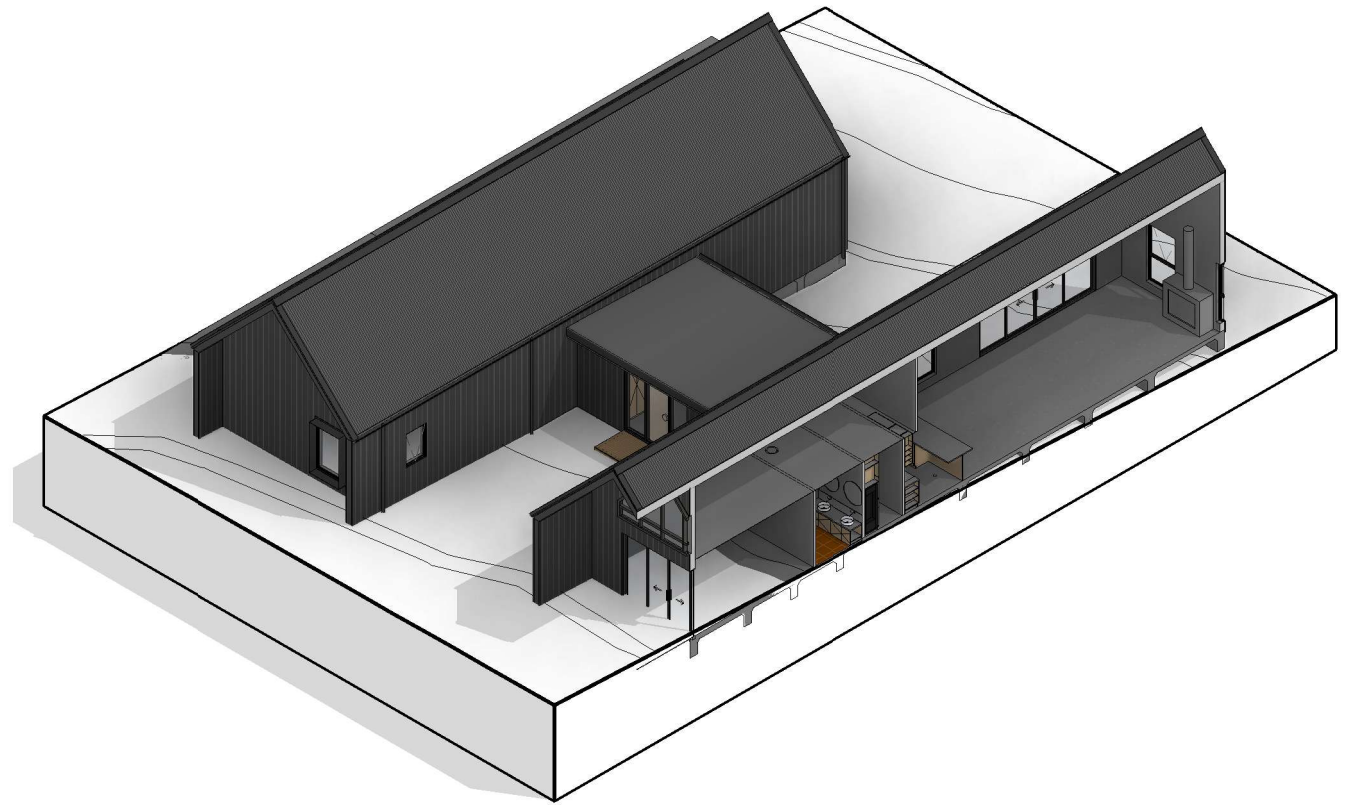
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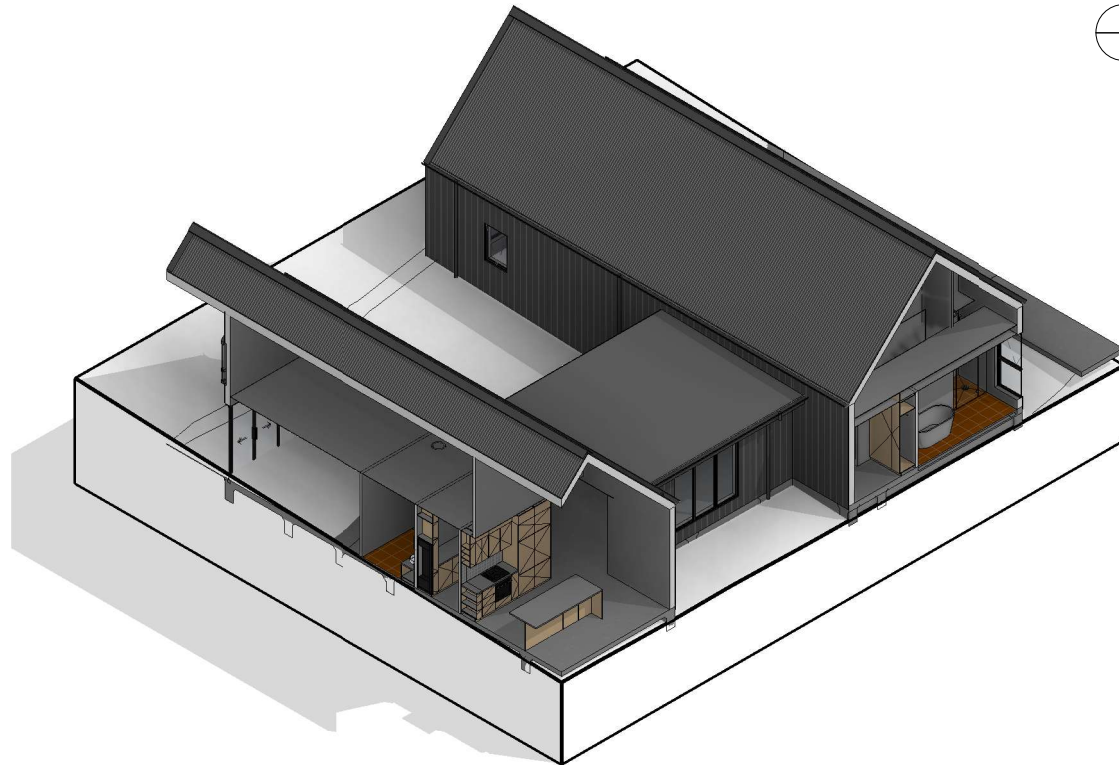
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3D AXONOMETRIC
NOT TO SCALE



3D AXONOMETRIC SECTION
NOT TO SCALE



3D AXONOMETRIC SECTION
NOT TO SCALE

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			CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.			REG:	CODE: SHA	TYPE: NH	ISSUE: S2-A	SHEET NUMBER: 700		
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