

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:

10 BRYANT STREET, MIDWAY POINT (CT55807 139, 140 AND 141)

PROPOSED DEVELOPMENT:

FOUR MULTIPLE DWELLINGS, LOT CONSOLIDATION AND BOUNDARY ADJUSTMENT

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 27th July 2026**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received no later than **Monday 27th July 2026**.

APPLICATION NO: 5.2026-68.1
DATE: 10 JULY 2026



Annotations

- Polygon2
- Polygon1

Surrounding Properties for PID: 98130 75

- Property

Roads

- DSG Roads
- Council Roads

Property

- property
- Titles



Disclaimer

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

50 m



Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	<i>Use:</i> Class 1A single dwellings, multiple dwelling site
	<i>Development:</i> Addition of four new dwellings to existing one dwelling site, Lot boundary adjustment (Lot 139/140) and Lot consolidation (Lots 140 & 141)
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal:	\$ 1000,000

Is all, or some the work already constructed:	No: ☒ Yes: ☐
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Location of proposed works:	Street address: 10 Bryant St
	Suburb: Midway Point Postcode: 7171
	Certificate of Title(s) Volume: 55807 Folio: 139, 140, 141

Current Use of Site	Existing single unit dwelling
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Current Owner/s:	Name(s) Elizabeth Anne Beck
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Is the Property on the Tasmanian Heritage Register?	No: ☒ Yes: ☐	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: ☒ Yes: ☐	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: ☒ Yes: ☐	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: ☐ Yes: ☒	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: ☒ Yes: ☐	<i>If yes, please complete the Council or Crown land section on page 3</i>
If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form https://www.sorell.tas.gov.au/services/engineering/		



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Plans Reference: P5
Date Received: 17/06/2026

Declarations and acknowledgements	
- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land. - I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours. - I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies. - I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application. - I/we declare that the information in this application is true and correct. <i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i>	
I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.	
Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent.	
Applicant Signature:	Signature:  Date: 17 June 2026

Crown or General Manager Land Owner Consent	
If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>). Please note: - If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au - If the application involves Crown land you will also need a letter of consent. - Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.	
I _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application for _____	
 Sorell Council Development Application: 5.2026.68.1 - Response to Request For Information - 10 Bryant Street, Midway Point - P5.pdf Plans Reference: P5 Date Received: 17/06/2026	
Signature of General Manager, Minister or Delegate:	Signature: _____ Date: _____

Stormwater Report



Sorell Council

Development Application: 5.20269.68.1 -
Response to Request For Information - 10
Bryant Street, Midway Point P4.pdf
Plans Reference: P4
Date Received: 05/05/2026

New Townhouses

05/05/2026

PROJECT INFORMATION

DOCUMENT TITLE	Stormwater Report - 26 E 99 - 137 Rev B
PROJECT LOCATION	10 Bryant Street, Midway Point TAS 7171
CLIENT ORGANISATION	Tasmanian Development Group Pty Ltd
CLIENT REFERENCE	New Townhouses
CLIENT CONTACT/S	Shane Geard
VERTO REFERENCE	26 E 99 - 137
VERTO CONTACT/S	Lachlan Gadomski (lgadomski@vertotas.com.au)

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Verto will notify you immediately if at any stage during the works we believe that the fee will be higher than this estimate. In this event Verto will cease works until written approval to proceed is provided by you.

DOCUMENT CONTROL

REVISION	DATE	REVISION DETAILS	PREPARED	VERIFIED	APPROVED
A	21/04/2026	Development Approval	LG	NM	MG
B	05/05/2026	Section 2 updated with existing main details	LG	NM	MG

**Sorell Council**

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 Plans Reference: P4
 Date Received: 05/05/2026

1. INTRODUCTION

Verto have been engaged to provide a stormwater report for the proposed development at 10 Bryant Street, Midway Point.

The development must comply with the stormwater quantity and quality requirements of Sorell Council's Stormwater in New Development Policy.

This report aims to demonstrate that the development at 10 Bryant Street, Midway Point complies with the above stormwater quality and quantity requirements.



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2. SITE OVERVIEW

The existing site comprises two undeveloped lots with no known stormwater lot connections. See Figure 1 below. A DN225 Concrete stormwater main is located in the road reserve, parallel to the front boundary (as shown on Verto Civil drawings).

The two lots will be consolidated into a single strata with four (4) residential dwellings proposed to be constructed on the subject site as well as two new concrete driveways and parking areas as per Figure 2 below. A new stormwater lot connection is proposed to be connected to the existing DN225 main (as shown on Verto Civil drawings).

The increase in impervious area within the site is expected to increase the quantity of site stormwater runoff.

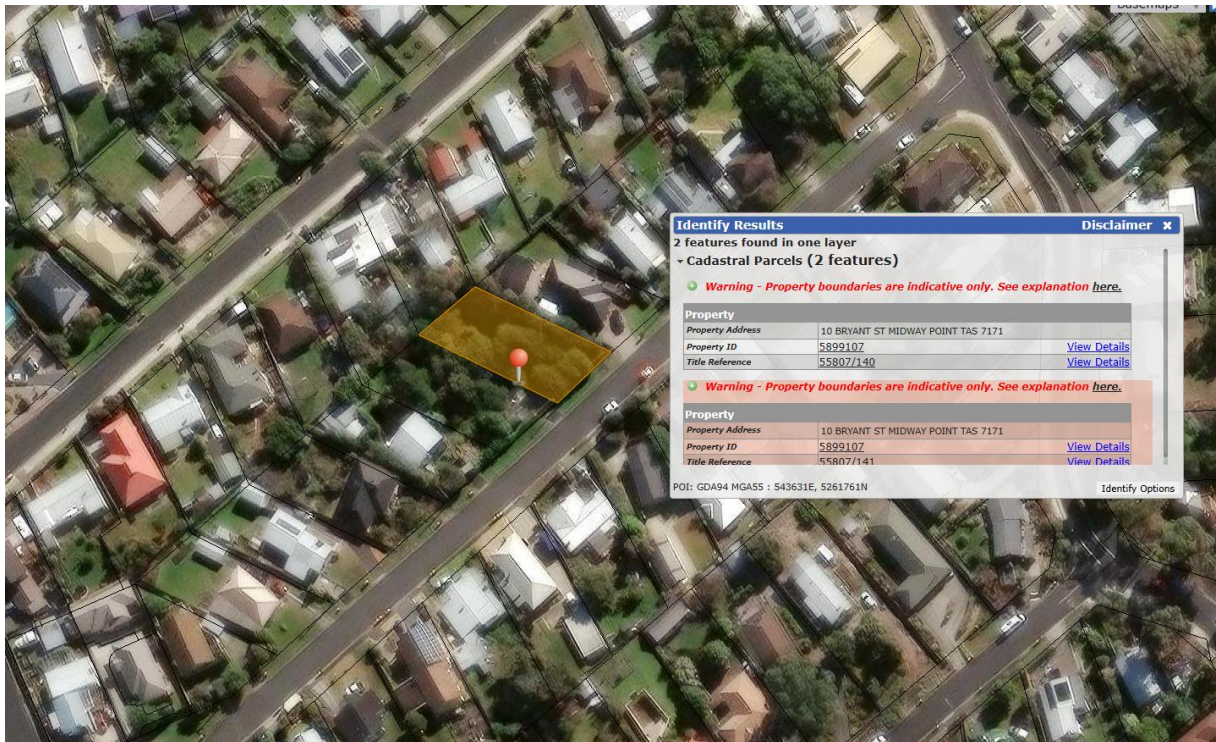


FIGURE 1: EXISTING SITE



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FIGURE 2: PROPOSED SITE



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3. QUANTITY MODEL

3.1 INITIAL LOSS / CONTINUING LOSS (IL-CL) METHOD

The Initial Loss / Continuing Loss (IL-CL) loss method was applied within the software DRAINS to determine the increase in runoff between the pre-development and post-development conditions. The DRAINS model was then used to determine the volume and configuration of on-site detention required to reduce the site runoff below the pre-development conditions.

Rainfall data for the DRAINS model was sourced from the ARR Data Hub website (<https://data.arr-software.org/>) and includes the following:

- Storm losses – Initial and continual
- Pre-burst rainfall depths
- Temporal patterns

3.2 SITE CATCHMENTS

The site catchment areas for the pre-development condition are shown in Figure 3 below. The catchments were based on the lot boundaries detailed in the survey drawing prepared by T.N. Woolford & Associates dated December 2025. A single homogenous catchment for the lot was simulated for the pre-development condition.

For the post-development condition, catchment areas were determined from the architectural site plan prepared by Archink dated April 2026. Catchments were based on the individual roof areas of the four (4) proposed residential dwellings and the individual catchments for both driveway pavements as shown in Figure 4 below.

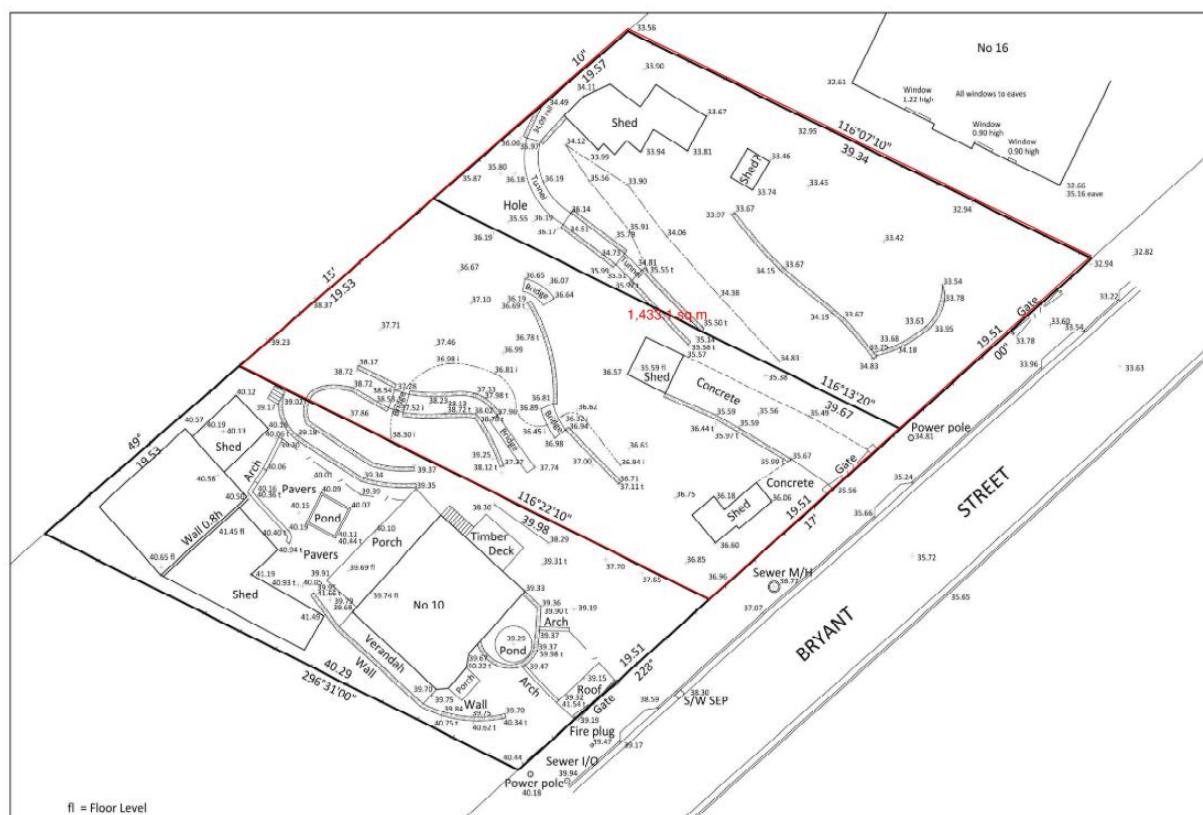


FIGURE 3: PRE-DEVELOPMENT CATCHMENTS

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The proportion of effective impervious area (EIA), remaining impervious area (RIA) and pervious area (PA) defined for the DRAINS model catchments are shown in Table 1. Times of concentration for all catchments were determined within DRAINS using the kinematic wave equation.

TABLE 1: SITE CATCHMENTS BREAKDOWN

3.3 STORM LOSSES

Get in touch hello@vertotas.com.au (03) 6234 8666 vertotas.com.au

Table 2 captures the storm losses assumed in the DRAINS model for both the pre-development and post-development conditions.

TABLE 2: ASSUMED STORM LOSSES (ARR)

Storm Losses	Value
Impervious Area Initial Losses (mm)	1
Post-Impervious Area Continuing Losses (mm/hr)	0
Pervious Area Initial Losses (mm)	27.0
Pervious Area Continuing Losses (mm/hr)	4.0

3.4 MODEL RESULTS

The results from the DRAINS Analysis model (Appendix A) showed that the post-development site runoff for 10 Bryant Street, Midway Point is decreased by 4 L/s over pre-existing runoff quantities for a 5% AEP storm event as shown in Table 3. Refer to Appendix B for box and whisker plots of pre & post development outflows.

The EIA for the post-development condition is equal to 71% of the total catchment area for both lots. This value is less than the pre-development EIA of 75% (assumed in accordance with Sorell Council's Stormwater in New Development Policy). The post-development runoff is therefore lower than the assumed pre-existing quantities and the results from the DRAINS Analysis model indicate that an engineered stormwater detention solution is not required.

TABLE 3: PEAK SITE RUNOFF SUMMARY

Condition	Site Runoff (L/s)	Critical Duration
Pre-development	26	5-min
Post-development	22	5-min



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4. QUALITY MODEL

Verto have collaborated with Atlan and a Urban Stormwater Improvement Conceptualisation (MUSIC) was created to model the site and the effectiveness of various treatment devices to achieve the stormwater quality targets outlined in Sorell Council's Stormwater in New Development Policy:

- 90% reduction in the average load of litter/gross pollutants
- 80% reduction in the average load of total suspended solids (TSS)
- 45% reduction in the average annual load of total phosphorous (TP)
- 45% reduction in the average annual load of total nitrogen (TN)

Proprietary devices by Atlan have been utilized to meet the water quality targets and include:

- 2 x Atlan Filter 550mm in a Vault – Tertiary Treatment (One for each lot).

The proposed devices achieve the quality targets as shown in Figure 5 below.



FIGURE 5: ATLAN MUSIC MODEL

Pursuant to Condition A2.2 of Sorell Council's Stormwater in New Development Policy, the client has opted to make a cash contribution to Council in lieu of installing the two Atlan proprietary treatment devices.



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5. CONCLUSION

This report has demonstrated that the proposed development complies with the stormwater quantity and quality requirements of Sorell Council's Stormwater in New Development Policy.

Note:

- No assessment has been undertaken of Council's stormwater infrastructure and its capacity.
- This report assumes the Council stormwater main has capacity for the pre-development peak discharge.
- It is the responsibility of Council to assess their infrastructure and determine the impact (if any) of altered inflows into their stormwater network.

Please contact me at lgadomski@vertotas.com.au if you require any additional information.

Yours faithfully,



Lachlan Gadomski BEng Civil (Hons), Dip. Project Management
Civil Engineer



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APPENDIX A - DRAINS MODEL

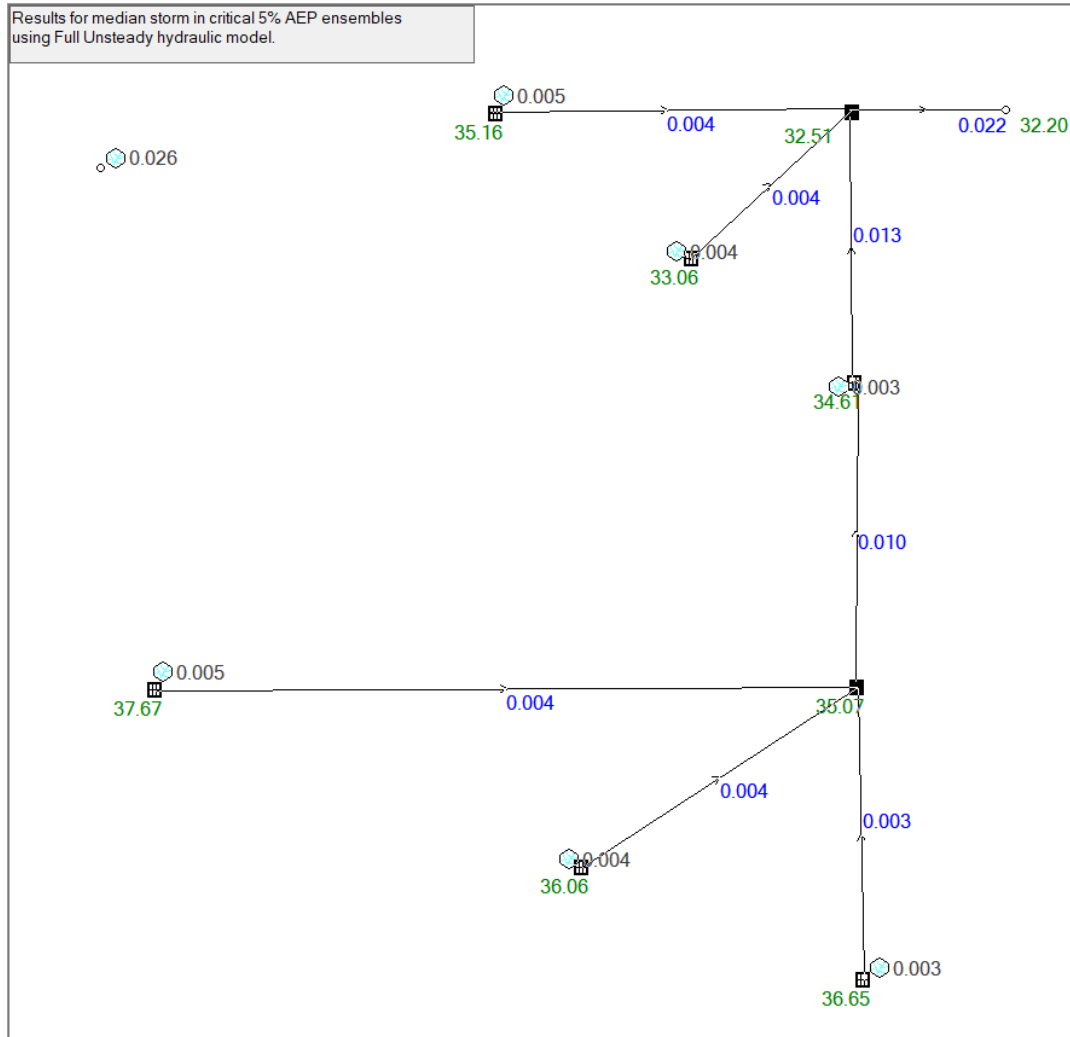


FIGURE 6: DRAINS MODEL - 5% AEP EVENT

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APPENDIX B – BOX AND WHISKER PLOTS

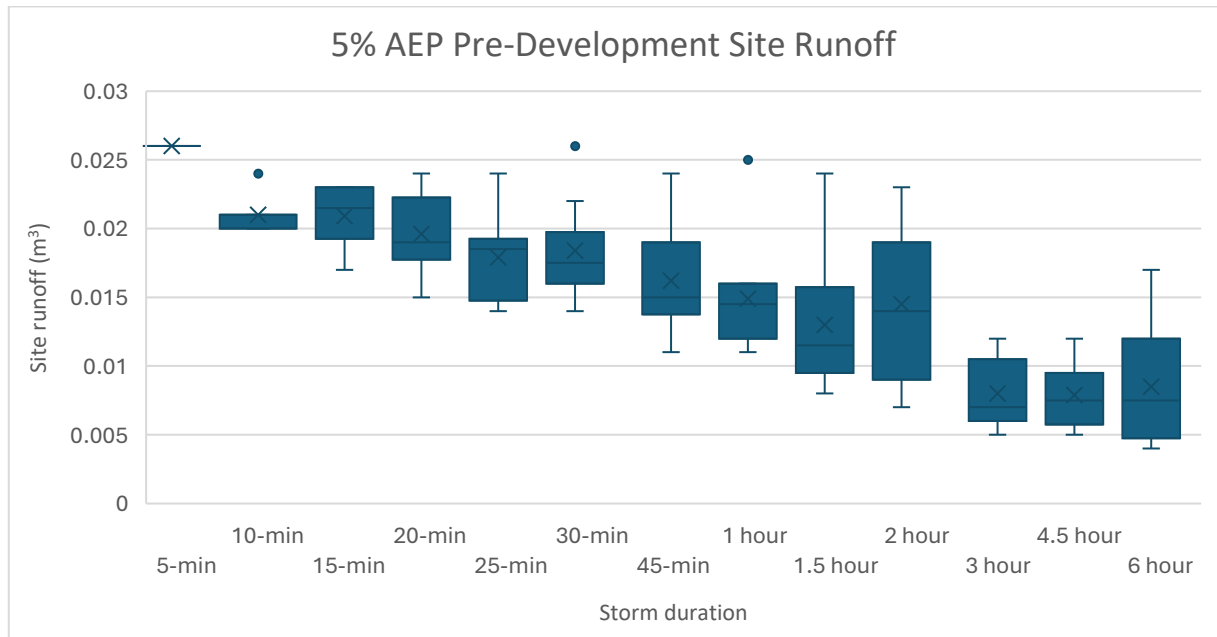


FIGURE 7: PRE-DEVELOPMENT 5% AEP RUNOFF

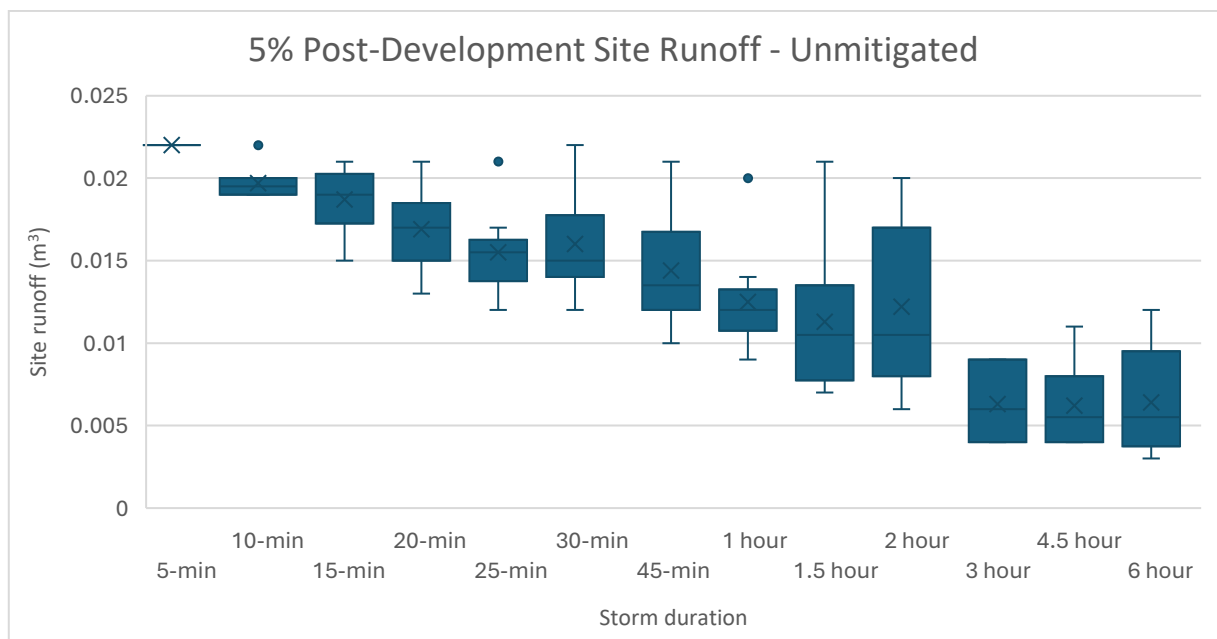


FIGURE 8: POST-DEVELOPMENT 5% AEP RUNOFF UNMITIGATED

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Email: hello@vertotas.com.au

Devonport

33-35 Steele St
Devonport, TAS 7310
PO Box 1898, Launceston TAS 7250
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CIVIL DRAWINGS
NEW TOWNHOUSES
10 BRYANT STREET
MIDWAY POINT

C001	COVER	B	5/05/2026
C401	SERVICES PLAN	B	5/05/2026



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HOBART
DEVONPORT
LAUNCESTON



Launceston Office 22 - 24 Paterson Street Launceston TAS 7250 03 6388 9200 www.vertotas.com.au	APPROVAL DRAWN: CHECKED: DESIGN: CHECKED: VERIFIED:	LG DE LG DE -	REV B A	DESCRIPTION COUNCIL RFI PLANNING APPROVAL
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DATE
5/05/2026 21/04/2026

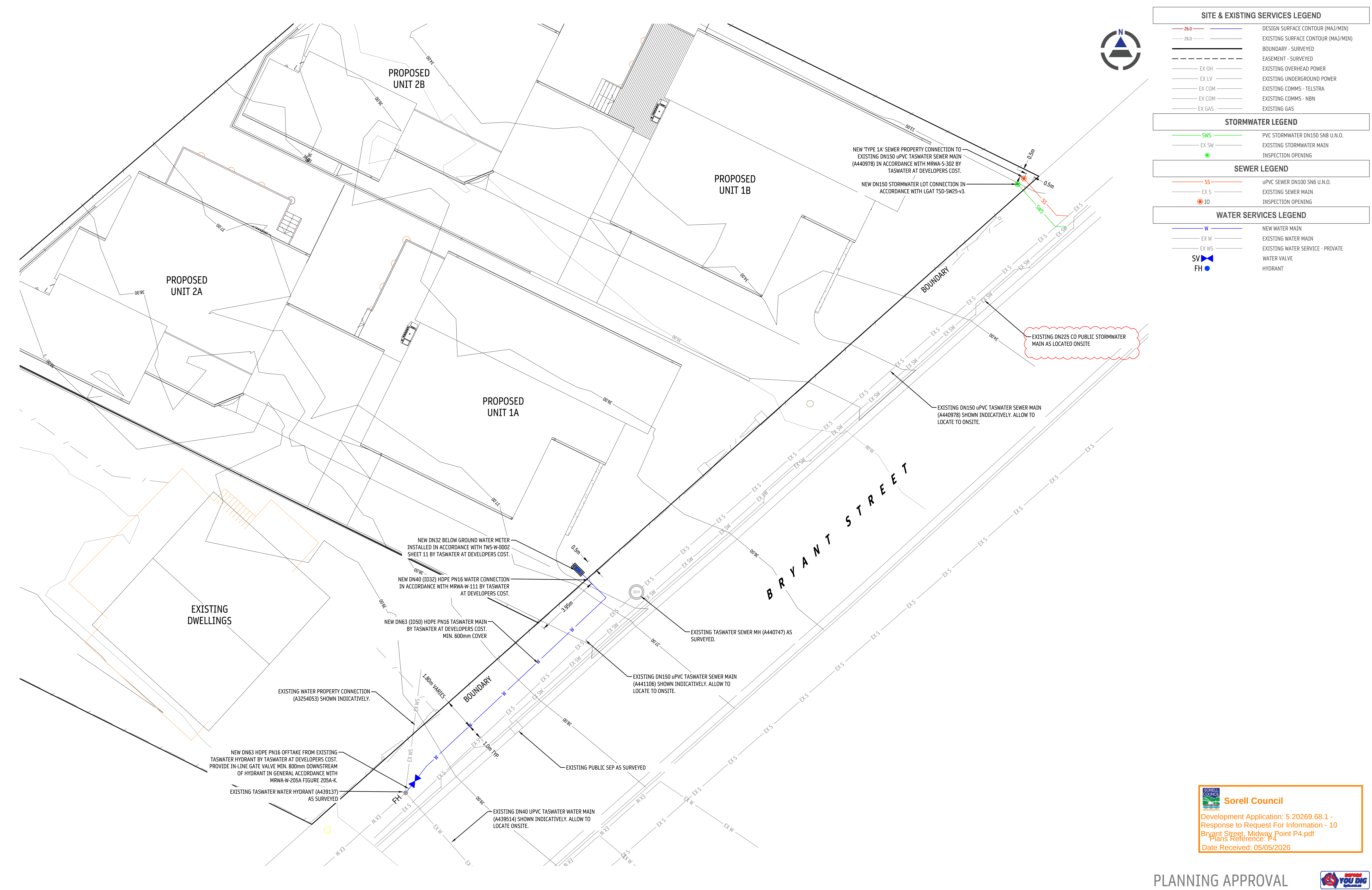
PROJECT:
NEW TOWNHOUSES
10 BRYANT STREET
MIDWAY POINT

SHEET:
COVER

PLANNING APPROVAL

SCALE: -	PROJECT No. (A1) 26E99-137	SHEET No. C001	REV. B
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SITE & EXISTING SERVICES LEGEND		
	26.0	DESIGN SURFACE CONTOUR (MAJ/MIN)
	26.0	EXISTING SURFACE CONTOUR (MAJ/MIN)
		BOUNDARY - SURVEYED
		EASEMENT - SURVEYED
	EX OH	EXISTING OVERHEAD POWER
	EX LV	EXISTING UNDERGROUND POWER
	EX COM	EXISTING COMMS - TELSTRA
	EX COM	EXISTING COMMS - NBN
	EX GAS	EXISTING GAS

STORMWATER LEGEND		
	SWS	PVC STORMWATER DN150 SN8 U.N.O.
	EX SW	EXISTING STORMWATER MAIN
		INSPECTION OPENING

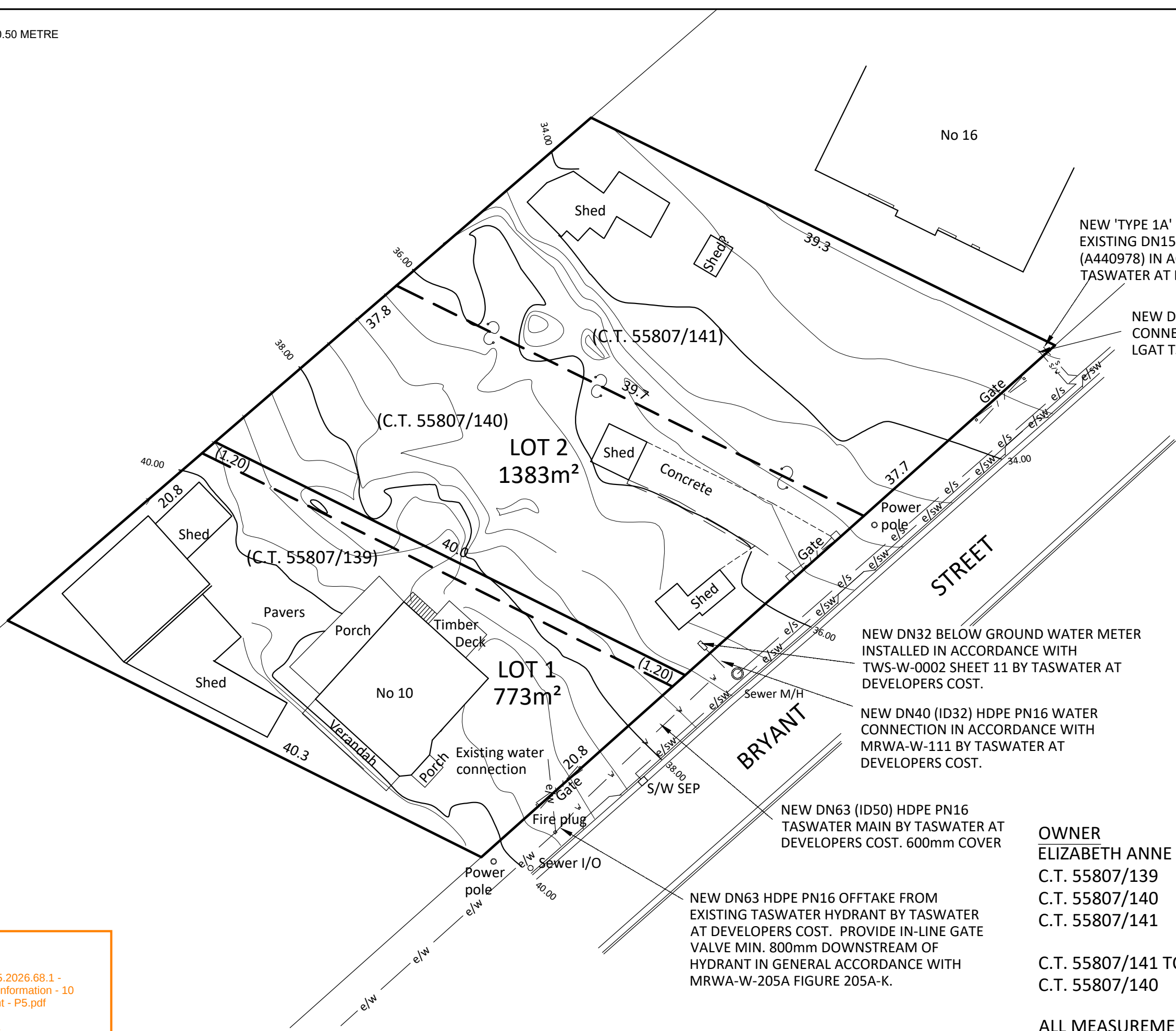
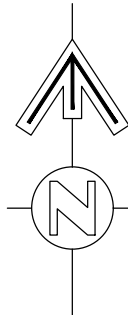
SEWER LEGEND		
	SS	uPVC SEWER DN100 SN6 U.N.O.
	EX S	EXISTING SEWER MAIN
	IO	INSPECTION OPENING

WATER SERVICES LEGEND		
	W	NEW WATER MAIN
	EX W	EXISTING WATER MAIN
	EX WS	EXISTING WATER SERVICE - PRIVATE
	SV	WATER VALVE
	FH	HYDRANT

**Sorell Council**

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NOTES:
1. CONTOUR INTERVAL IS 0.50 METRE



NEW 'TYPE 1A' SEWER PROPERTY CONNECTION TO EXISTING DN150 uPVC TASWATER SEWER MAIN (A440978) IN ACCORDANCE WITH MRWA-S-302 BY TASWATER AT DEVELOPERS COST

NEW DN150 STORMWATER LOT CONNECTION IN ACCORDANCE WITH LGAT TSD-SW25-v3.

NEW DN32 BELOW GROUND WATER METER INSTALLED IN ACCORDANCE WITH TWS-W-0002 SHEET 11 BY TASWATER AT DEVELOPERS COST.

NEW DN40 (ID32) HDPE PN16 WATER CONNECTION IN ACCORDANCE WITH MRWA-W-111 BY TASWATER AT DEVELOPERS COST.

NEW DN63 (ID50) HDPE PN16 TASWATER MAIN BY TASWATER AT DEVELOPERS COST. 600mm COVER

NEW DN63 HDPE PN16 OFFTAKE FROM EXISTING TASWATER HYDRANT BY TASWATER AT DEVELOPERS COST. PROVIDE IN-LINE GATE VALVE MIN. 800mm DOWNSTREAM OF HYDRANT IN GENERAL ACCORDANCE WITH MRWA-W-205A FIGURE 205A-K.

OWNER
ELIZABETH ANNE BECK
C.T. 55807/139
C.T. 55807/140
C.T. 55807/141

C.T. 55807/141 TO BE ADDED TO BALANCE OF C.T. 55807/140

ALL MEASUREMENTS SUBJECT TO FINAL SURVEY

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Plans Reference: P5
Date Received: 17/06/2026

EXISTING REDUNDANT TITLE
BOUNDARIES SHOWN DASHED

THIS DRAWING IS STRICTLY COPYRIGHT AND SHALL NOT BE COPIED, LENT OR USED FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF TONY WOOLFORD	PROPOSED BOUNDARY ALTERATION 10 BRYANT STREET MIDWAY POINT			 T. N. WOOLFORD & ASSOCIATES LAND & ENGINEERING SURVEYORS 72 GRAHAMS RD, MT. RUMNEY m: 0418 248 569 e: tnwoolford@tassie.net.au
	SCALE 1:300 (A3)	DATE: JUNE 2026	DRAWN: IDS/TNW DWG NO. D6062-1	



STREET PERSPECTIVE



STREET ELEVATION

Sheet List				
Sheet Number	Sheet Name	Project Status	Current Revision	Current Revision Date
1 G-01	COVER	DA	R7	28/04/26
2 A-01	SITE CONTEXT PLAN	DA	R7	28/04/26
2 A-01a	SITE PLAN	DA	R7	28/04/26
2 A-01b	SITE SURVEY PLAN	DA	R7	28/04/26
2 A-01c	SITE DEMOLITION PLAN	DA	R7	28/04/26
2 A-01d	SITE DRAINAGE PLAN	DA	R7	28/04/26
2 A-01e	RETAINING WALL ELEVATIONS	DA	R7	28/04/26
2 A-01f	SITE SHADING DIAGRAMS	DA	R7	28/04/26
2 A-01g	TYPICAL DRIVEWAY DETAILS	DA	R7	28/04/26
2 A-02	UNIT 1A - PERSPECTIVES	DA	R7	28/04/26
2 A-02a	UNIT 1A - FLOOR PLAN	DA	R7	28/04/26
2 A-02b	UNIT 1A - ELEVATIONS	DA	R7	28/04/26
2 A-03	UNIT 1B - PERSPECTIVES	DA	R7	28/04/26
2 A-03a	UNIT 1B - FLOOR PLAN	DA	R7	28/04/26
2 A-03b	UNIT 1B - ELEVATIONS	DA	R7	28/04/26
2 A-04	UNIT 2A - PERSPECTIVES	DA	R7	28/04/26
2 A-04a	UNIT 2A - FLOOR PLAN	DA	R7	28/04/26
2 A-04b	UNIT 2A - ELEVATIONS	DA	R7	28/04/26
2 A-05	UNIT 2B - PERSPECTIVES	DA	R7	28/04/26
2 A-05a	UNIT 2B - FLOOR PLAN	DA	R7	28/04/26
2 A-05b	UNIT 2B - ELEVATIONS	DA	R7	28/04/26

General Information

Architect:	Shane Geard	1301 (Tas)
Reg:		740796453
BSP Licence No:		Architect
Classification:		
Address:	10 Bryant St Midway Pt	
Lots:	139/ 140/ 141	
Title Reference:	55807	
Site Area (3 Lots):	2,155m ²	
Floor Area:	Refer to Floor Plans	
Proposed Site Coverage:	895m ² (42%)	
(including existing buildings to remain, excluding decks)		

General Notes
Do not scale plans, use written dimensions only. The owner/builder subcontractor shall verify all dimensions, levels, setbacks and specifications prior to commencing works or ordering materials and shall be responsible for ensuring that all building works conform to the current NCC and Australian standards, building regulations and town planning requirements.
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NEW TOWNHOUSES
10 BRYANT ST, MIDWAY PT, TAS 7171
TASMANIAN DEVELOPMENT GROUP

COVER		1 G-01
Project number	251021	
Drawing Status	DA	
Current Revision	28/04/26 R7	
Scale on A3		1 : 150

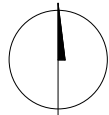


WARNING:
IT IS THE RESPONSIBILITY OF THE
BUILDER TO COMPLETE BYD AND
WORK WITH AUTHORITIES TO
LOCATE ALL UNDERGROUND
SERVICES

General Notes
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NEW TOWNHOUSES
10 BRYANT ST, MIDWAY PT, TAS 7171
TASMANIAN DEVELOPMENT GROUP



SITE CONTEXT PLAN

Project number	251021
Drawing Status	DA
Current Revision	28/04/26 R7

2 A-01
Scale on A3 1 : 250

DA ISSUE

SITE AREA: 2150m²
SITE COVERAGE: 895m²
42%

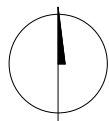


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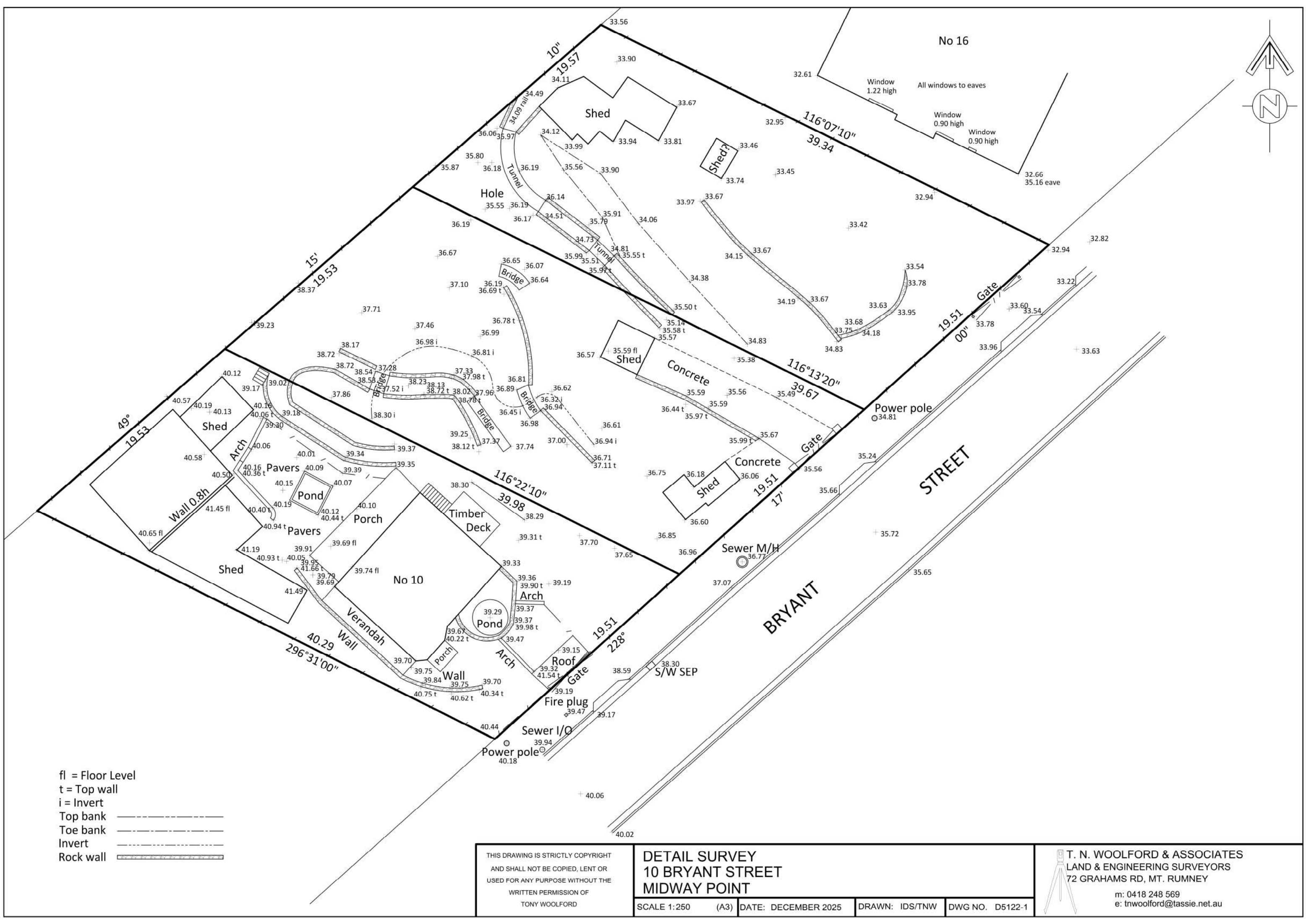


NEW TOWNHOUSES
10 BRYANT ST, MIDWAY PT, TAS 7171
TASMANIAN DEVELOPMENT GROUP



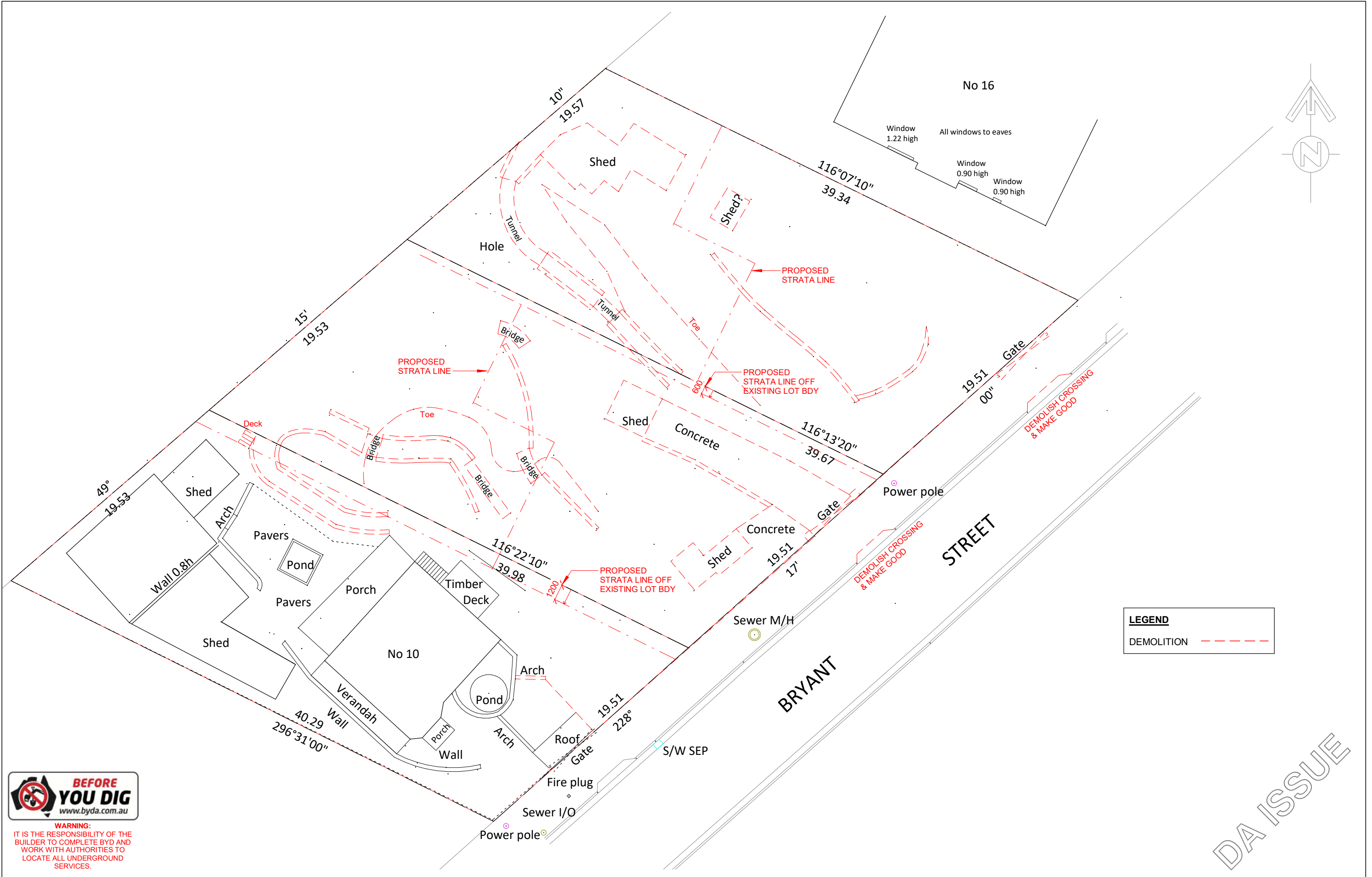
SITE PLAN				2 A-01a	
Project number		251021			
Drawing Status		DA			
Current Revision		28/04/26	R7	Scale on A3	1 : 250

DA ISSUE



Rock wall

 **T. N. WOOLFORD & ASSOCIATES**
LAND & ENGINEERING SURVEYORS
72 GRAHAMS RD. MT. RUMNEY
m: 0418 248 569
e: tnwoolford@tassie.net.au

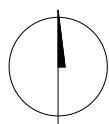


WARNING:
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BUILDER TO COMPLETE BYD AND
WORK WITH AUTHORITIES TO
LOCATE ALL UNDERGROUND
SERVICES.

General Notes
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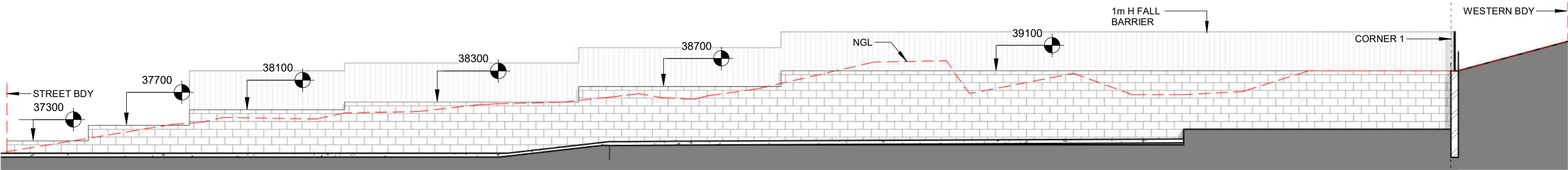


SITE DEMOLITION PLAN				2 A-01c
Project number		251021		
Drawing Status		DA		
Current Revision		28/04/26	R7	Scale on A3 1 : 250

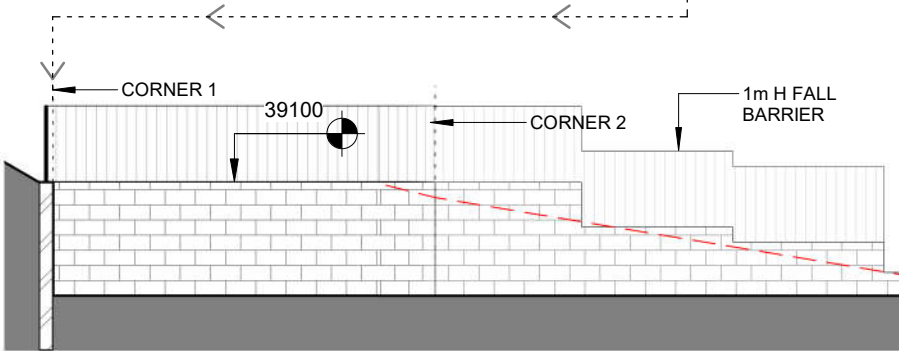


Construction and materials in accordance with current NCC requirements and all relevant Australian Standards

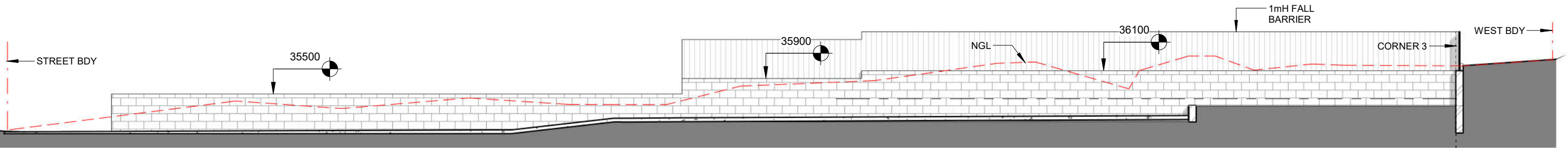
Cladding materials and fixings to be in accordance with the ABCB Housing Provisions for Corrosion Environment = C2



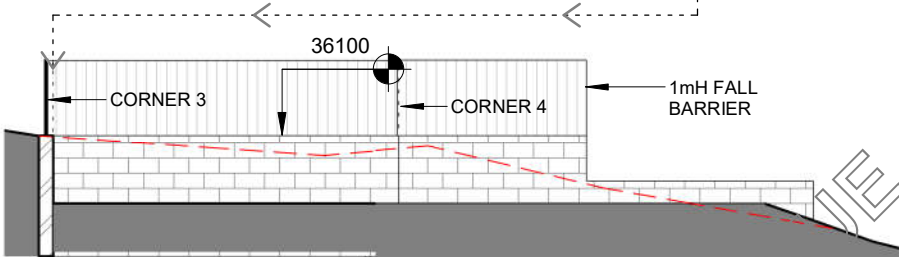
RETAINING WALL A ELEVATION
RETAINING WALL ALONG SOUTHERN
EDGE OF DRIVEWAY TO UNITS 1A & 2A



RETAINING WALL A ELEVATION
RETAINING WALL ALONG WESTERN
BOUNDARY ADJACENT TO UNIT 2A



RETAINING WALL B ELEVATION
RETAINING WALL ALONG SOUTHERN
EDGE OF DRIVEWAY TO UNITS 1B & 2B



RETAINING WALL B ELEVATION
RETAINING WALL ALONG WESTERN
BOUNDARY ADJACENT TO UNIT 2B

NOTE
ALL RETAINING WALLS SHALL HAVE FALL BARRIERS WHERE
FALLS GREATER THAN 1m TO COMPLY WITH NCC VII PART
H5 & ABCB HOUSING PROVISIONS PART 11.3



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10 BRYANT ST, MIDWAY PT, TAS 7171
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RETAINING WALL ELEVATIONS

Project number	251021
Drawing Status	DA
Current Revision	28/04/26 R7

2 A-01e

Scale on A3 1 : 100



1 Winter Solstice 21 June 0900
1 : 500



2 Winter Solstice 21 June 1200
1 : 500



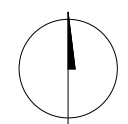
3 Winter Solstice 21 June 1500
1 : 500

DA ISSUE

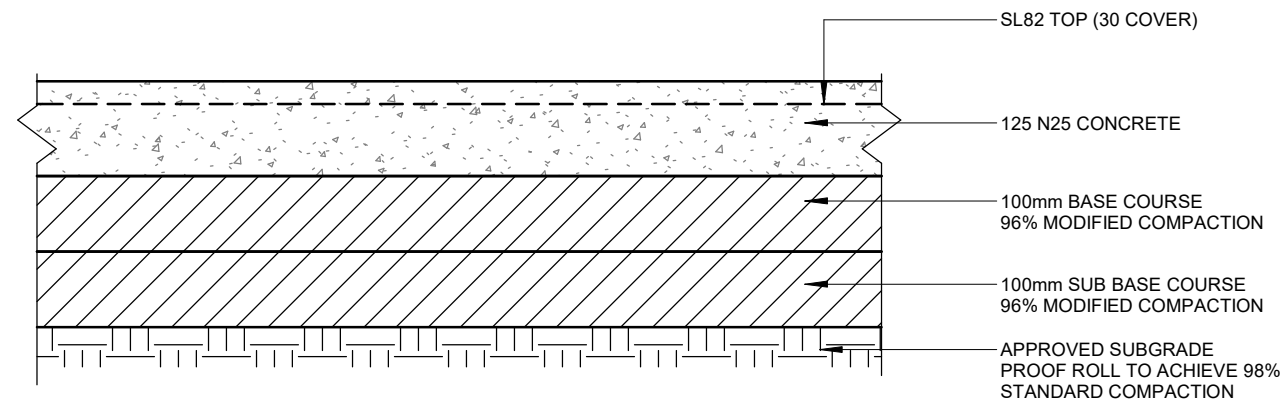
General Notes
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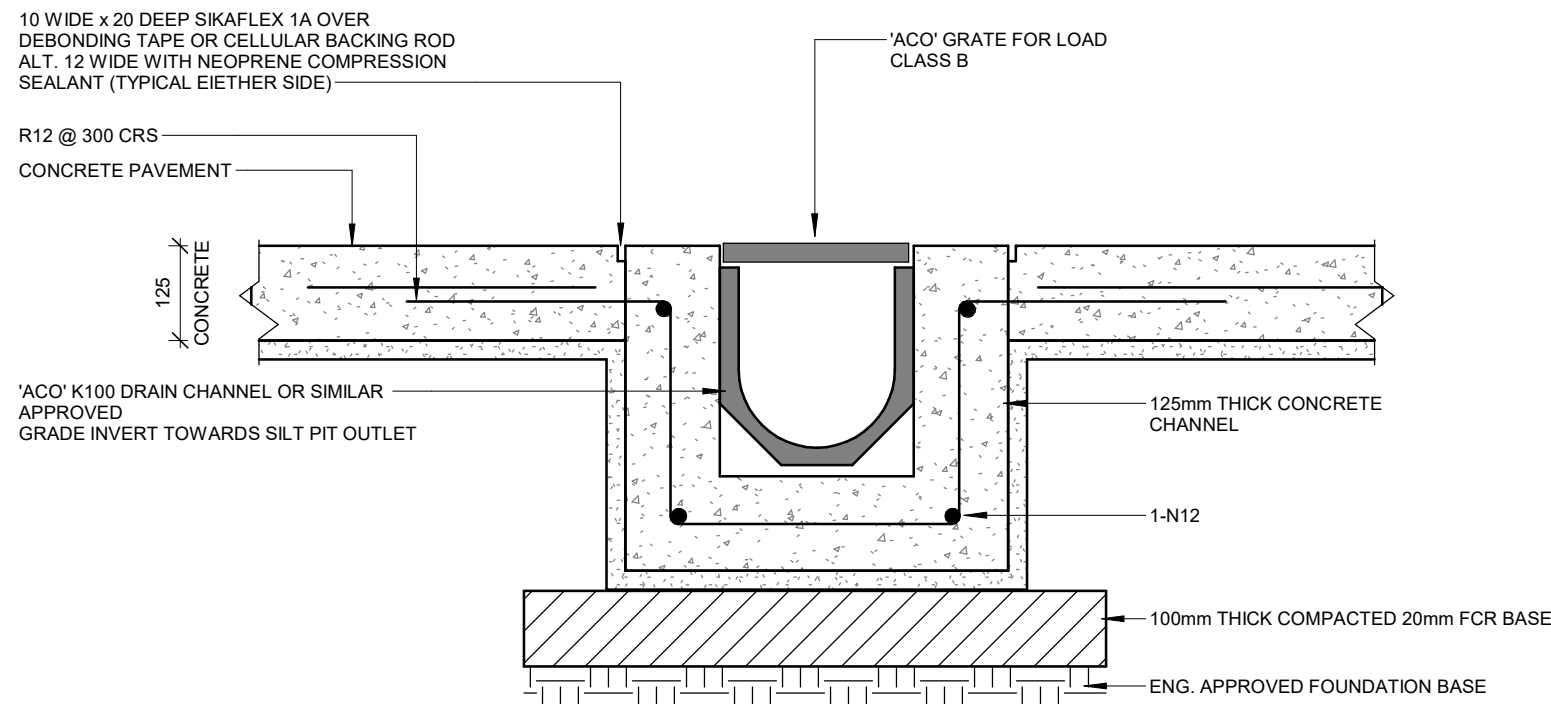
NEW TOWNHOUSES
10 BRYANT ST, MIDWAY PT, TAS 7171
TASMANIAN DEVELOPMENT GROUP



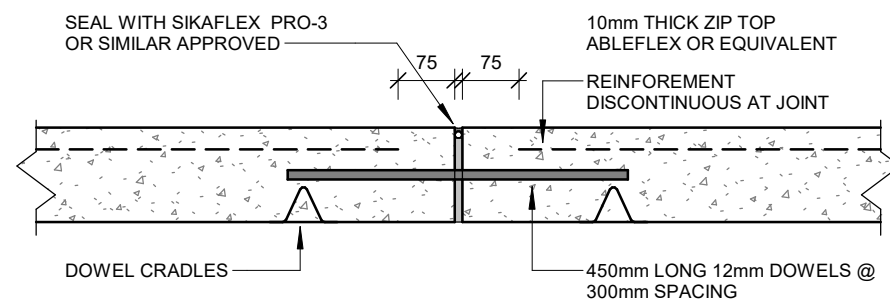
SITE SHADING DIAGRAMS			2 A-01f	
Project number	251021			
Drawing Status	DA			
Current Revision	28/04/26	R7	Scale on A3	1 : 500



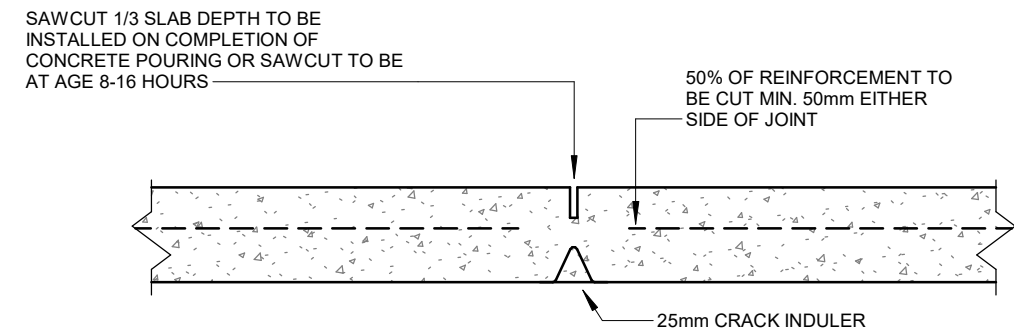
**TYPICAL DRIVEWAY
CONCRETE DETAIL**



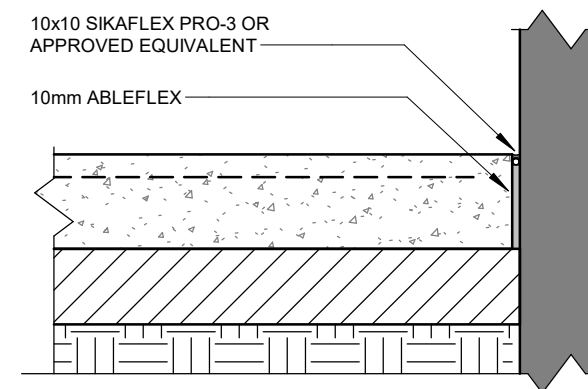
**GRATED TRENCH DRAIN IN
CONCRETE DRIVEWAY**



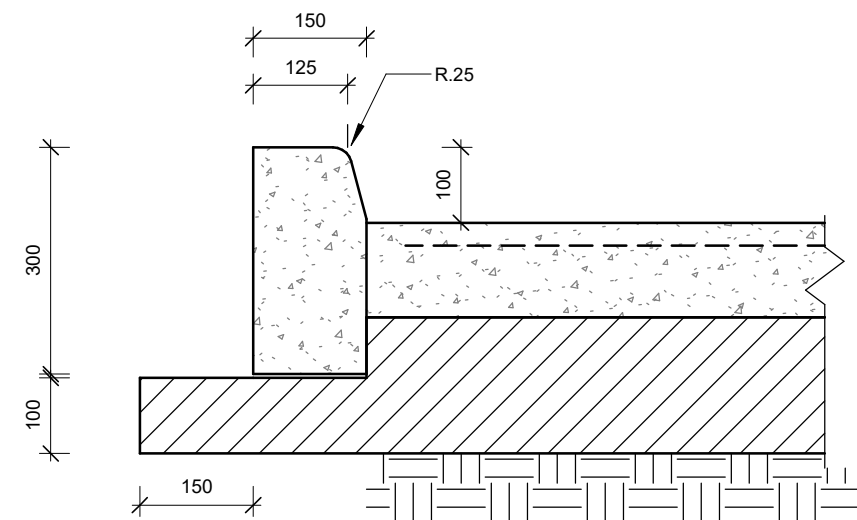
**EXPANSION JOINT
TO BE INSTALLED AT 18m
MAX CENTRES**



**CONTROL JOINT
INSTALL AT 4m MAX CENTRES**



ISOLATION JOINT



TYPICAL DRIVEWAY KERB



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TYPICAL DRIVEWAY DETAILS

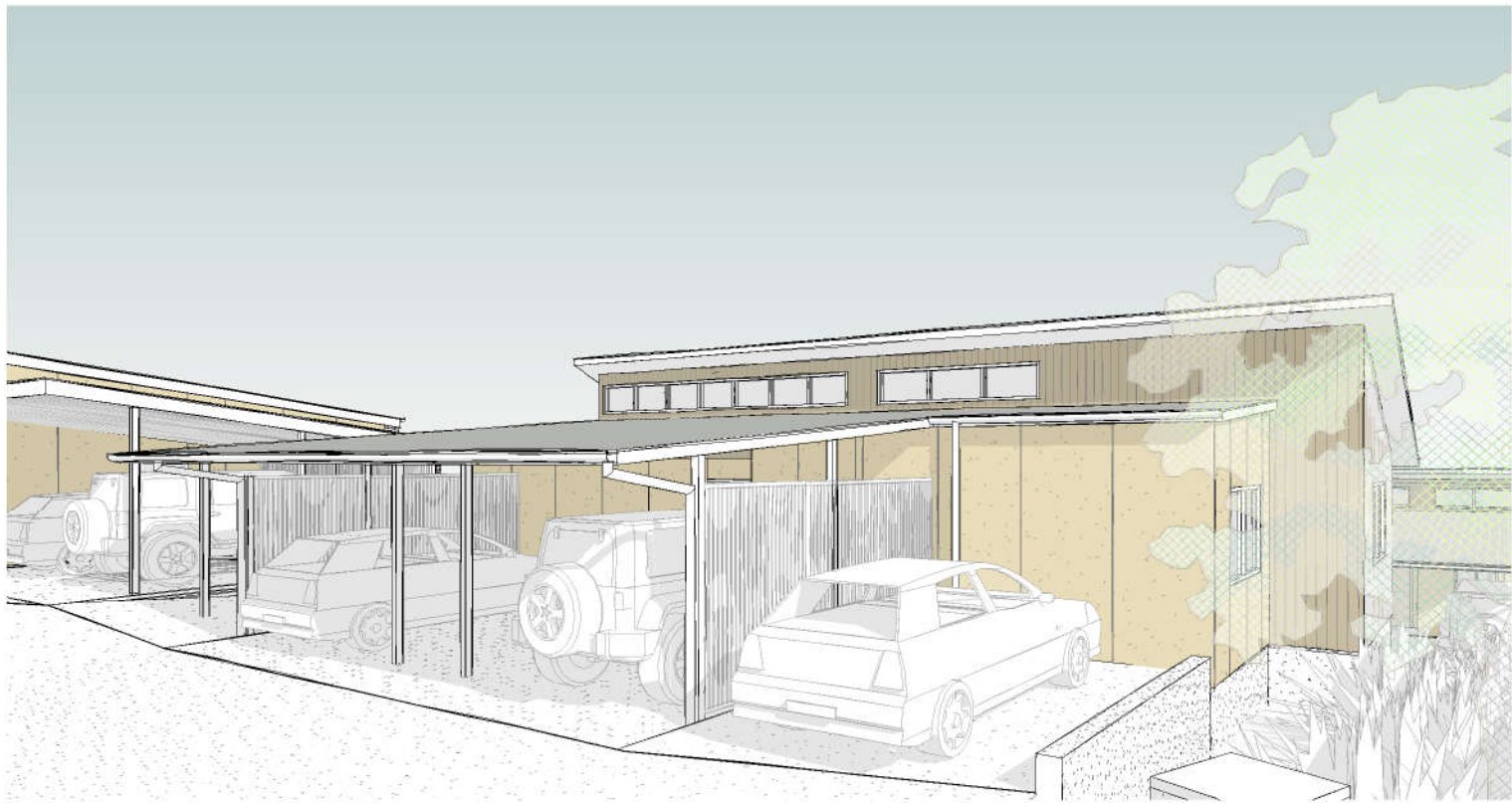
Project number	251021
Drawing Status	DA
Current Revision	28/04/26 R7

2 A-01g

Scale on A3 1 : 10

DA ISSUE

28/04/2026 8:50:51 AM



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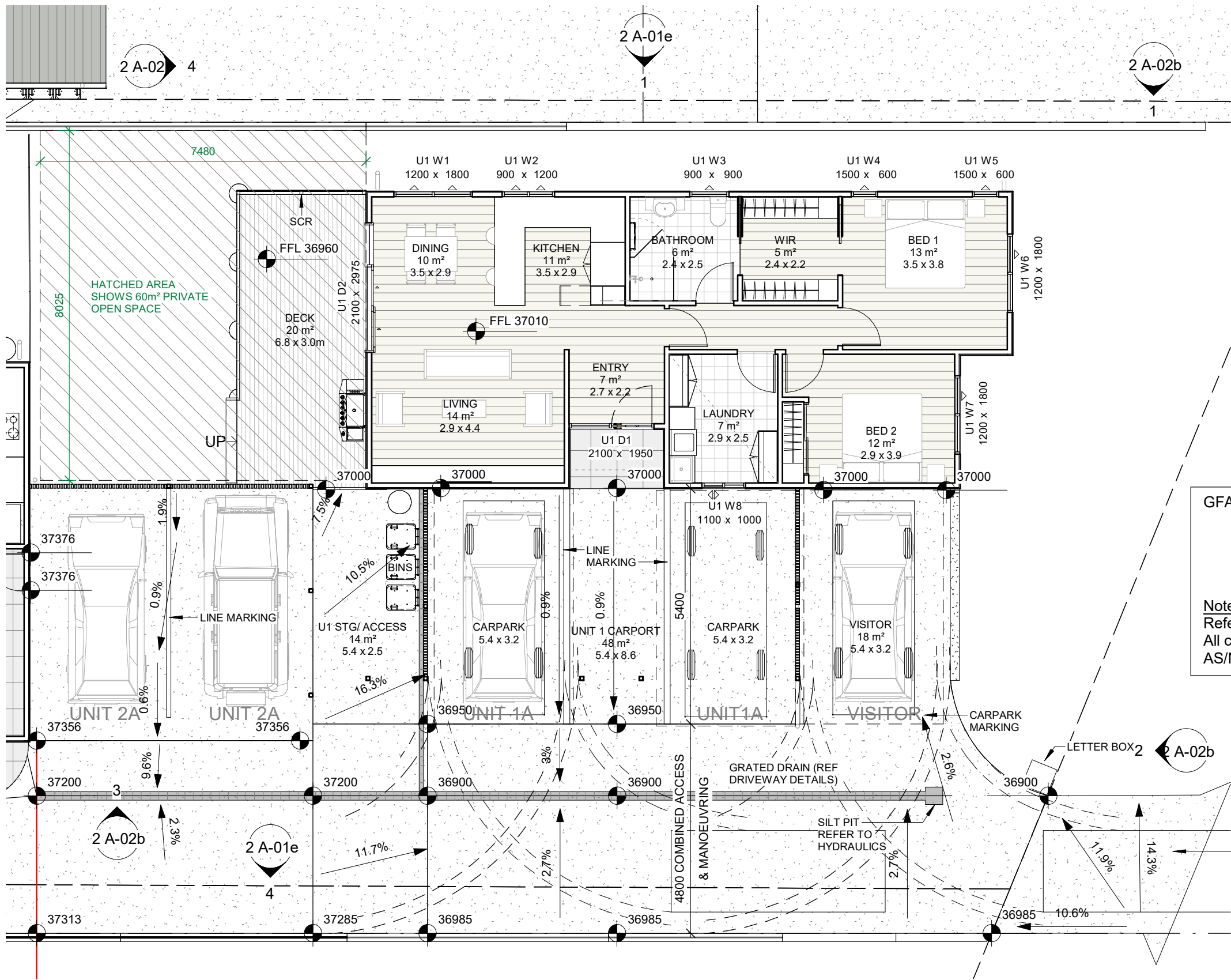
NEW TOWNHOUSES
 10 BRYANT ST, MIDWAY PT, TAS 7171
 TASMANIAN DEVELOPMENT GROUP

UNIT 1A - PERSPECTIVES

Project number	251021
Drawing Status	DA
Current Revision	28/04/26 R7

2 A-02

Scale on A3

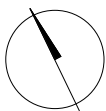


GFA:	Unit 1A:	
	House	94m ²
	Deck	20m ²
	Carport/ Visitor CP/ Entry	50m ²
	Bins/ Stg	14m ²
Note:		
Refer to Unit 1B plans for dimensions		
All car park line marking shall comply with AS/NZS 2890.1		

General Notes
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UNIT 1A - FLOOR PLAN

Project number	251021
Drawing Status	DA
Current Revision	28/04/26 R7

2 A-02a

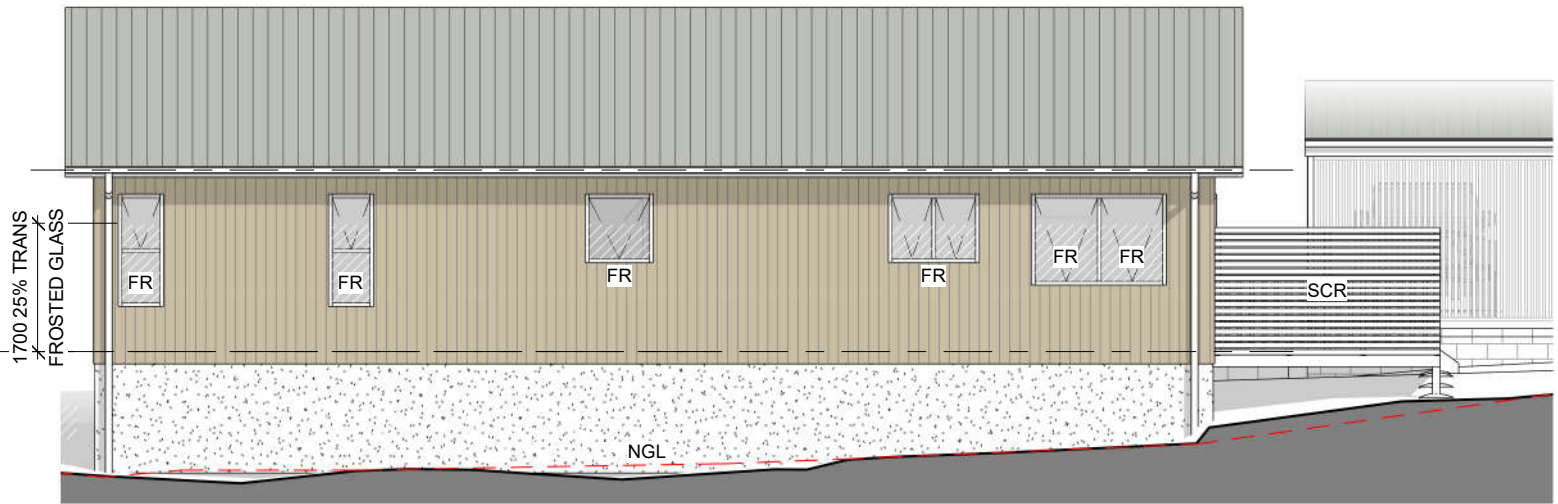
Scale on A3 1 : 100

DA ISSUE

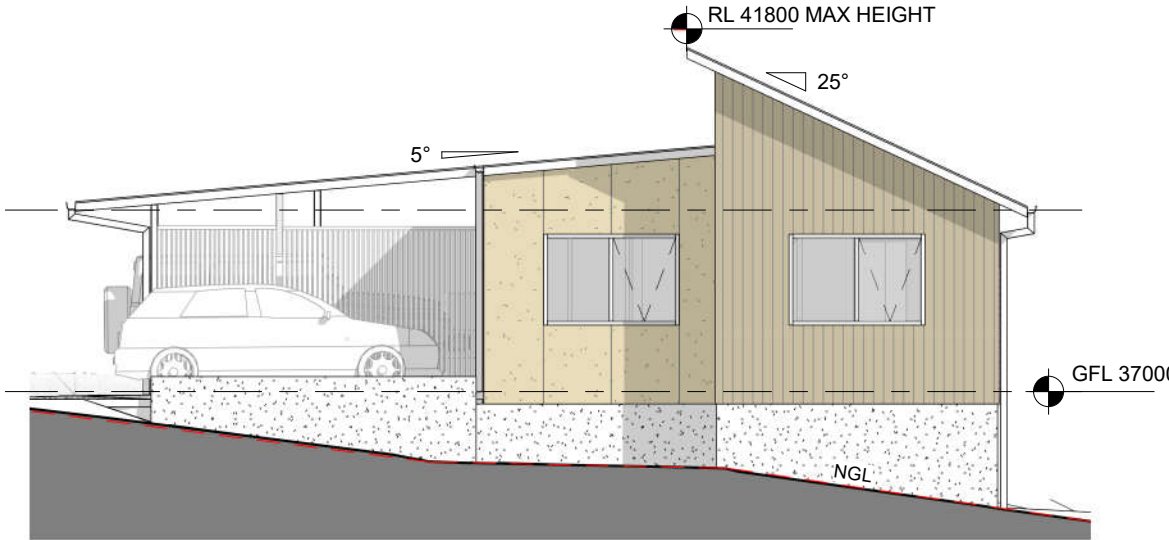
Construction and materials in accordance with current NCC requirements and all relevant Australian Standards

Cladding materials and fixings to be in accordance with the ABCB Housing Provisions for Corrosion Environment = C2

8.5m ABOVE LOWEST NGL



1 UNIT 1A - NORTH ELEVATION
1 : 100



2 UNIT 1A - EAST ELEVATION
1 : 100



3 UNIT 1A - SOUTH ELEVATION
1 : 100



4 UNIT 1A - WEST ELEVATION
1 : 100

EXTERNAL FINISHES

WALL CLADDING: JAMES HARDIE AXON 133 GROOVED CLADDING

INDICATIVE WALL & ROOF COLOURS (FROM COLORBOND RANGE):

PAPERBARK

SHALE GREY

CLASSIC CREAM

BLUEGUM

DUNE

SHALE GREY

WALL CLADDING TO CARPORT AREAS: JAMES HARDIE BRUSHED CONCRETE CLADDING

SCREENS TO CARPORT AREAS: VERTICAL TIMBER SLATS WITH PAINT FINISH

SCREENS TO DECKS: 1.7m HIGH, 25% MAX OPENINGS TO TIMBER SCREENS TO COMPLY WITH TPS & NCC FOR NON-CLIMBABILITY

SUBFLOOR CLADDING: SMOOTH FIBRE CEMENT IN LIGHT COLOUR/ OFF WHITE

ROOF CLADDING: COLORBOND TRIMDEK

WINDOW FRAMES: PC ALUMINIUM

WINDOW & EXTERIOR DOOR FRAME TRIMS: JAMES HARDIE AXENT 45x38.

GLAZING: DOUBLE GLAZED, ARGON FILLED

FR: GLAZING 25% MAX TRANSPARANCY, FROSTED WHERE SHOWN TO COMPLY WITH TPS *Clause 8.4.6 A1*

ROOF FLASHINGS, GUTTERS, FLASHINGS TO MATCH ROOF COLOUR

ROOF FASCIA, BARGE BOARDS: H3 PAINTED TIMBER TO MATCH ROOF COLOUR

DOWNPIPES: PVC WITH PAINT FINISH TO MATCH WALL COLOUR

SOFFIT LININGS: SMOOTH FC WITH OFF-WHITE PAINT FINISH

INDICATIVE COLOUR PALETTE	
Paperbark	
Classic Cream	
Dune	
Surfmist	
Bluegum	
Shale Grey	

General Notes
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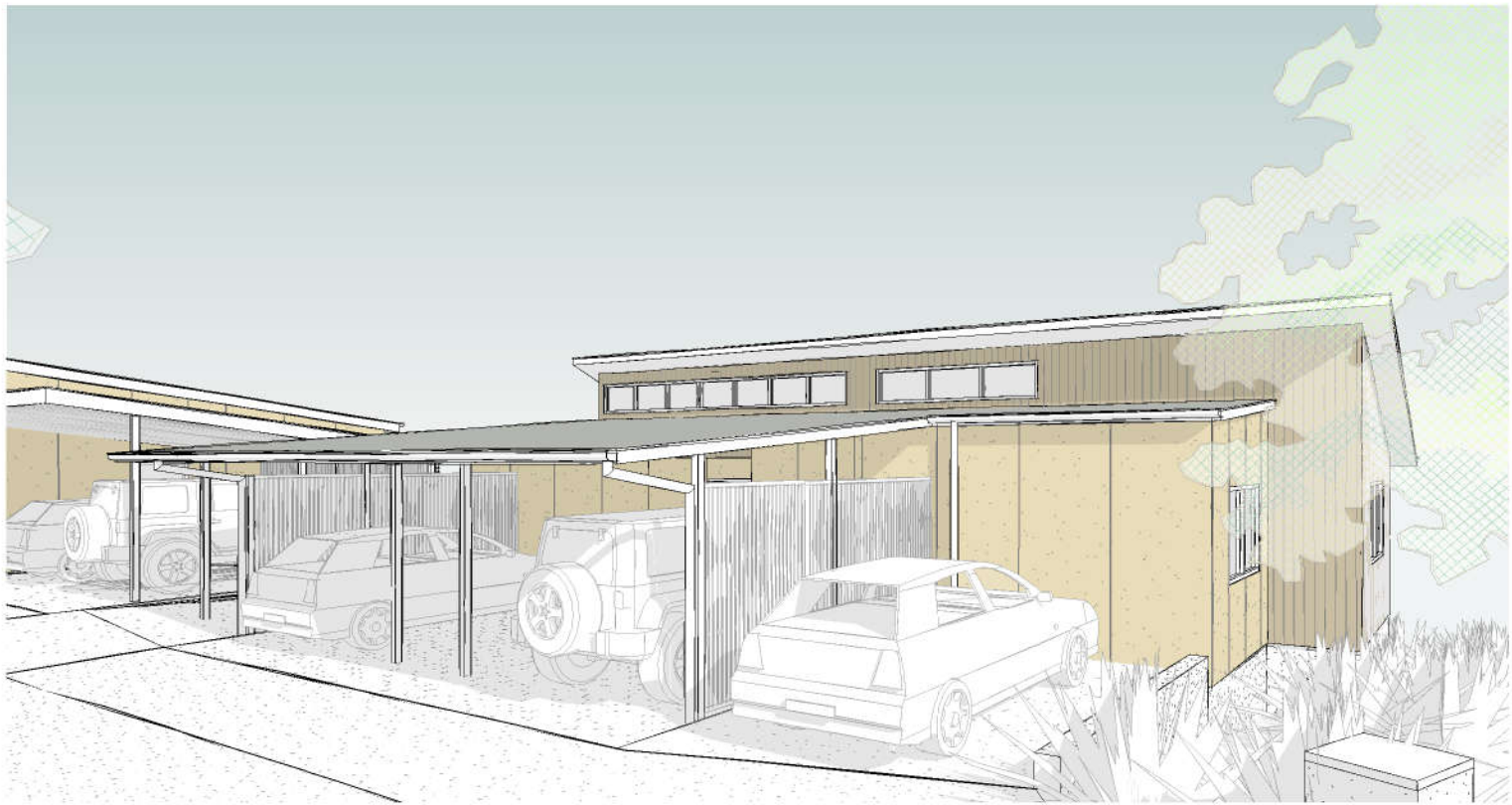
UNIT 1A - ELEVATIONS

Project number	251021
Drawing Status	DA
Current Revision	28/04/26 R7

2 A-02b

Scale on A3 1 : 100

DA ISSUE



General Notes
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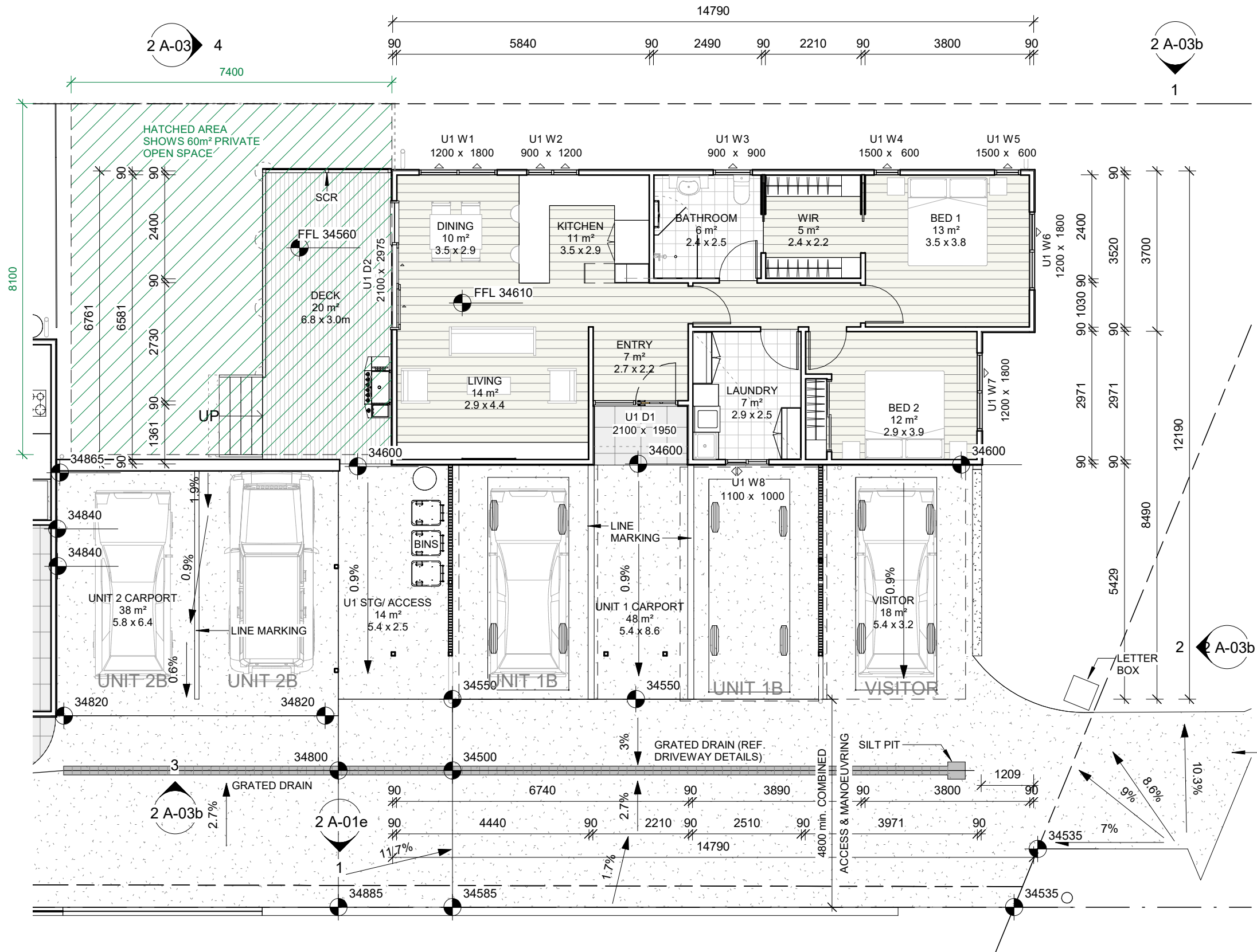
NEW TOWNHOUSES
10 BRYANT ST, MIDWAY PT, TAS 7171
TASMANIAN DEVELOPMENT GROUP

UNIT 1B - PERSPECTIVES

Project number	251021
Drawing Status	DA
Current Revision	28/04/26 R7

2 A-03

Scale on A3



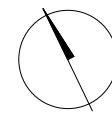
GFA:	Unit 1B:	
	House	94m ²
	Deck	20m ²
	Carport/ Visitor CP/ Entry	50m ²
	Bins/ Stg	14m ²

Note:
All car park line marking shall comply with AS/NZS 2890.1

General Notes
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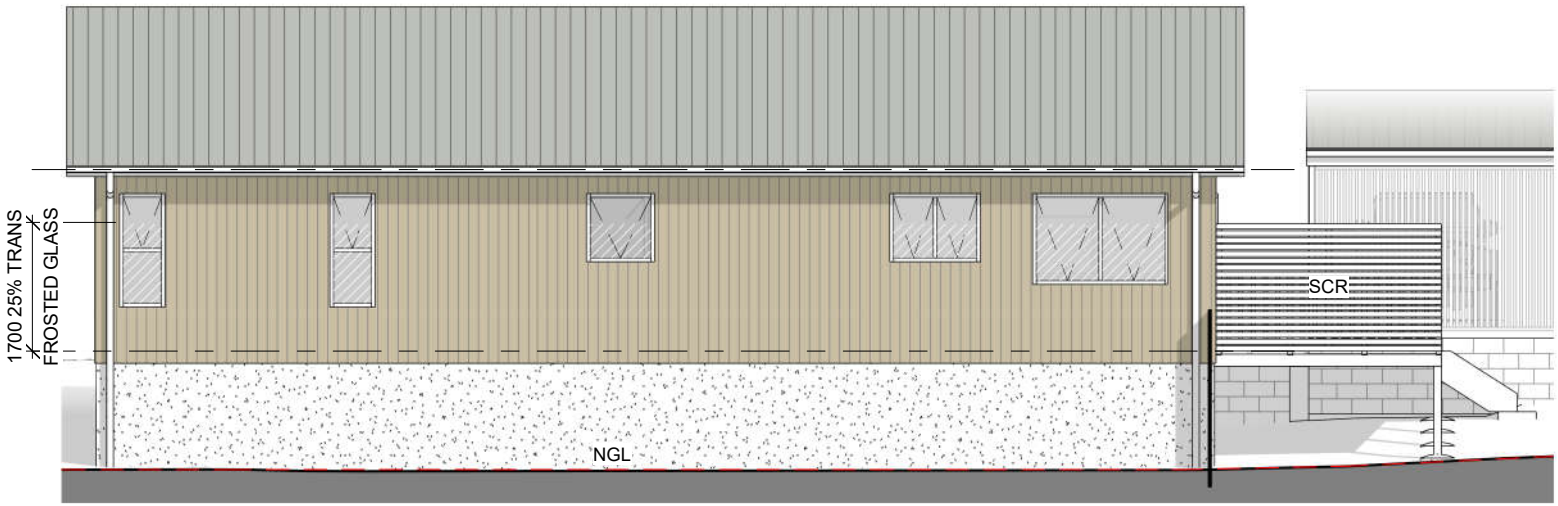
NEW TOWNHOUSES
10 BRYANT ST, MIDWAY PT, TAS 7171
TASMANIAN DEVELOPMENT GROUP



UNIT 1B - FLOOR PLAN			2 A-03a
Project number	251021		
Drawing Status	DA		
Current Revision	28/04/26	R7	
Scale on A3			1 : 100

DA ISSUE

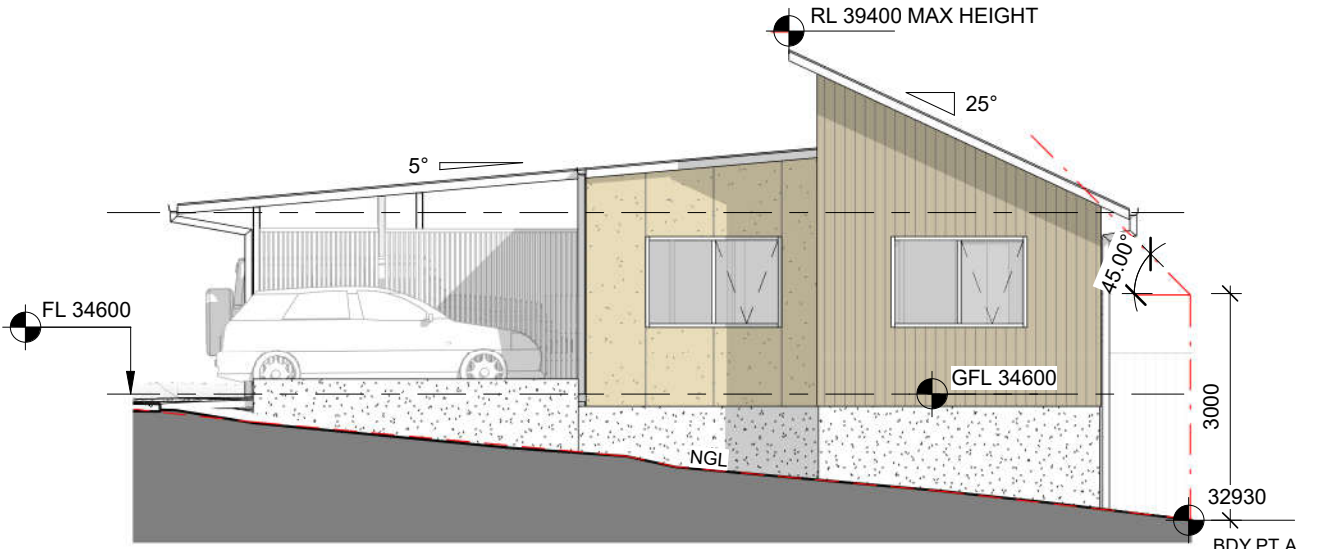
8.5m ABOVE NGL AT LOWEST POINT OF BUILDING



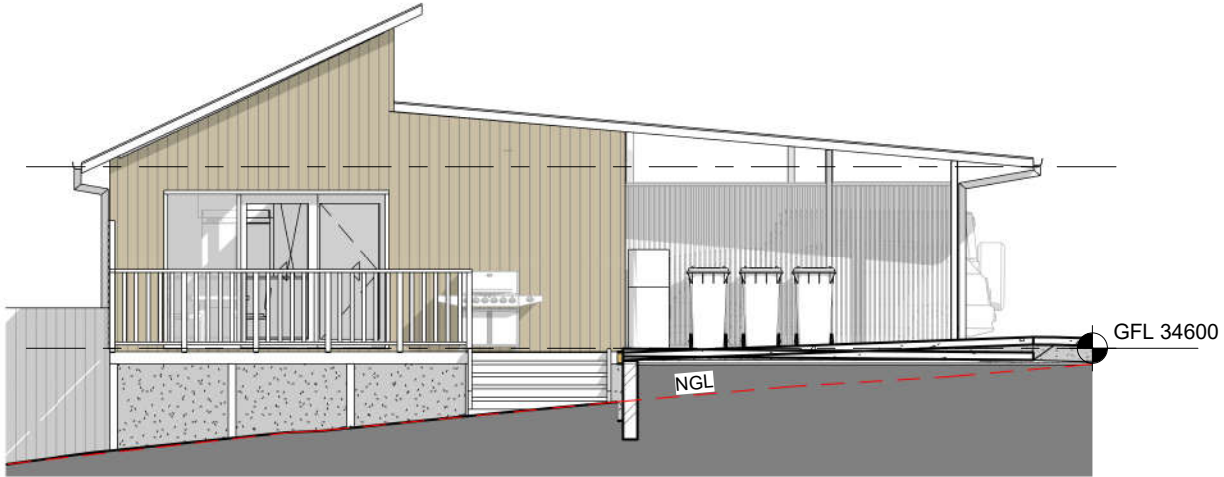
1 UNIT 1B - NORTH ELEVATION
1 : 100



3 UNIT 1B - SOUTH ELEVATION
1 : 100



2 UNIT 1B - EAST ELEVATION
1 : 100



4 UNIT 1B - WEST ELEVATION
1 : 100

EXTERNAL FINISHES

WALL CLADDING: JAMES HARDIE AXON 133 GROOVED CLADDING
INDICATIVE WALL & ROOF COLOURS (FROM COLORBOND RANGE):

PAPERBARK
SHALE GREY
CLASSIC CREAM
BLUEGUM
DUNE
SHALE GREY

WALL CLADDING TO CARPORT AREAS: JAMES HARDIE BRUSHED CONCRETE CLADDING

SCREENS TO CARPORT AREAS: VERTICAL TIMBER SLATS WITH PAINT FINISH

SCREENS TO DECKS: 1.7m HIGH, 25% MAX OPENINGS TO TIMBER SCREENS TO COMPLY WITH TPS & NCC FOR NON-CLIMBABILITY

SUBFLOOR CLADDING: SMOOTH FIBRE CEMENT IN LIGHT COLOUR/ OFF WHITE

ROOF CLADDING: COLORBOND TRIMDEK

WINDOW FRAMES: PC ALUMINIUM

WINDOW & EXTERIOR DOOR FRAME TRIMS: JAMES HARDIE AXENT 45x38.

GLAZING: DOUBLE GLAZED, ARGON FILLED

FR: GLAZING 25% MAX TRANSPARANCY, FROSTED WHERE SHOWN TO COMPLY WITH TPS *Clause 8.4.6 A1*

ROOF FLASHINGS, GUTTERS, FLASHINGS TO MATCH ROOF COLOUR

ROOF FASCIA, BARGE BOARDS: H3 PAINTED TIMBER TO MATCH ROOF COLOUR

DOWNPIPES: PVC WITH PAINT FINISH TO MATCH WALL COLOUR

SOFFIT LININGS: SMOOTH FC WITH OFF-WHITE PAINT FINISH

INDICATIVE COLOUR PALETTE	
Paperbark	
Classic Cream	
Dune	
Surfmist	
Bluegum	
Shale Grey	

General Notes
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UNIT 1B - ELEVATIONS

Project number	251021
Drawing Status	DA
Current Revision	28/04/26 R7

2 A-03b

Scale on A3 1 : 100

DA ISSUE



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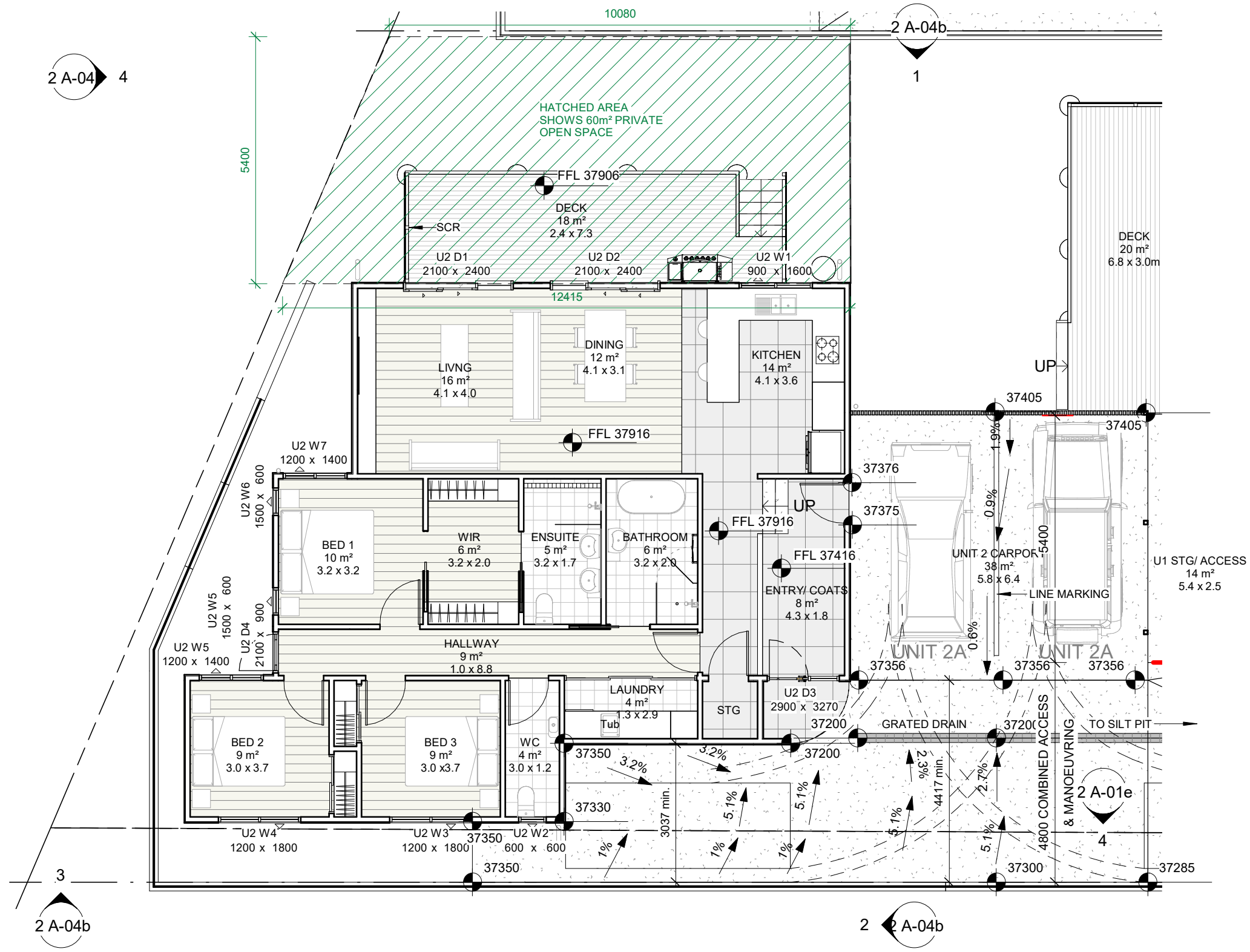


NEW TOWNHOUSES
10 BRYANT ST, MIDWAY PT, TAS 7171
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UNIT 2A - PERSPECTIVES

Project number	251021
Drawing Status	DA
Current Revision	28/04/26 R7

2 A-04
Scale on A3

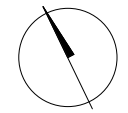


GFA:	Unit 2A:	
	House	133m²
	Deck	18m²
	Carport	38m²
Note:		
Refer to Unit 2B for dimensions		
All car park line marking shall comply with AS/NZS 2890.1		

General Notes
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UNIT 2A - FLOOR PLAN			2 A-04a	
Project number	251021			
Drawing Status	DA			
Current Revision	28/04/26	R7	Scale on A3	1 : 100

DA ISSUE

Construction and materials in accordance with current NCC requirements and all relevant Australian Standards

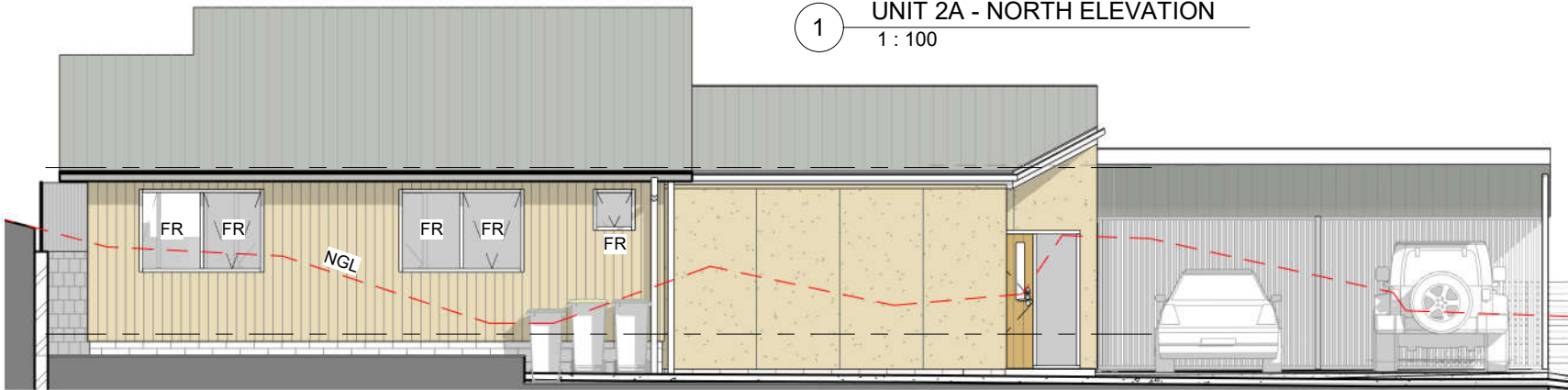
Cladding materials and fixings to be in accordance with the ABCB Housing Provisions for Corrosion Environment = C2



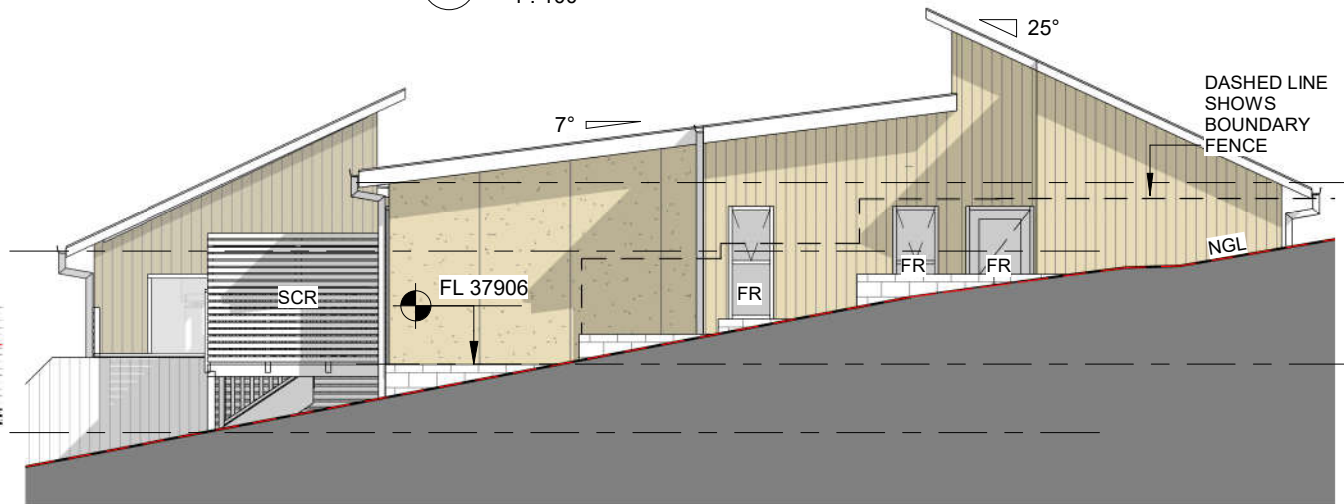
1 UNIT 2A - NORTH ELEVATION
1 : 100



2 UNIT 2A - EAST ELEVATION
1 : 100



3 UNIT 2A - SOUTH ELEVATION
1 : 100



4 UNIT 2A - WEST ELEVATION
1 : 100

EXTERNAL FINISHES
WALL CLADDING: JAMES HARDIE AXON 133 GROOVED CLADDING
INDICATIVE WALL & ROOF COLOURS (FROM COLORBOND RANGE):

PAPERBARK
SHALE GREY
CLASSIC CREAM
BLUEGUM
DUNE
SHALE GREY

WALL CLADDING TO CARPORT AREAS: JAMES HARDIE BRUSHED CONCRETE CLADDING

SCREENS TO CARPORT AREAS: VERTICAL TIMBER SLATS WITH PAINT FINISH

SCREENS TO DECKS: 1.7m HIGH, 25% MAX OPENINGS TO TIMBER SCREENS TO COMPLY WITH TPS & NCC FOR NON-CLIMBABILITY

SUBFLOOR CLADDING: SMOOTH FIBRE CEMENT IN LIGHT COLOUR/ OFF WHITE

ROOF CLADDING: COLORBOND TRIMDEK

WINDOW FRAMES: PC ALUMINIUM

WINDOW & EXTERIOR DOOR FRAME TRIMS: JAMES HARDIE AXENT 45x38.

GLAZING: DOUBLE GLAZED, ARGON FILLED

FR: GLAZING 25% MAX TRANSPARANCY, FROSTED WHERE SHOWN TO COMPLY WITH TPS *Clause 8.4.6 A1*

ROOF FLASHINGS, GUTTERS, FLASHINGS TO MATCH ROOF COLOUR

ROOF FASCIA, BARGE BOARDS: H3 PAINTED TIMBER TO MATCH ROOF COLOUR

DOWNPipes: PVC WITH PAINT FINISH TO MATCH WALL COLOUR

SOFFIT LININGS: SMOOTH FC WITH OFF-WHITE PAINT FINISH

INDICATIVE COLOUR PALETTE	
Paperbark	
Classic Cream	
Dune	
Surfmist	
Bluegum	
Shale Grey	

General Notes
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TASMANIAN DEVELOPMENT GROUP

UNIT 2A - ELEVATIONS

Project number	251021
Drawing Status	DA
Current Revision	28/04/26 R7

2 A-04b

Scale on A3 1 : 100

DA ISSUE



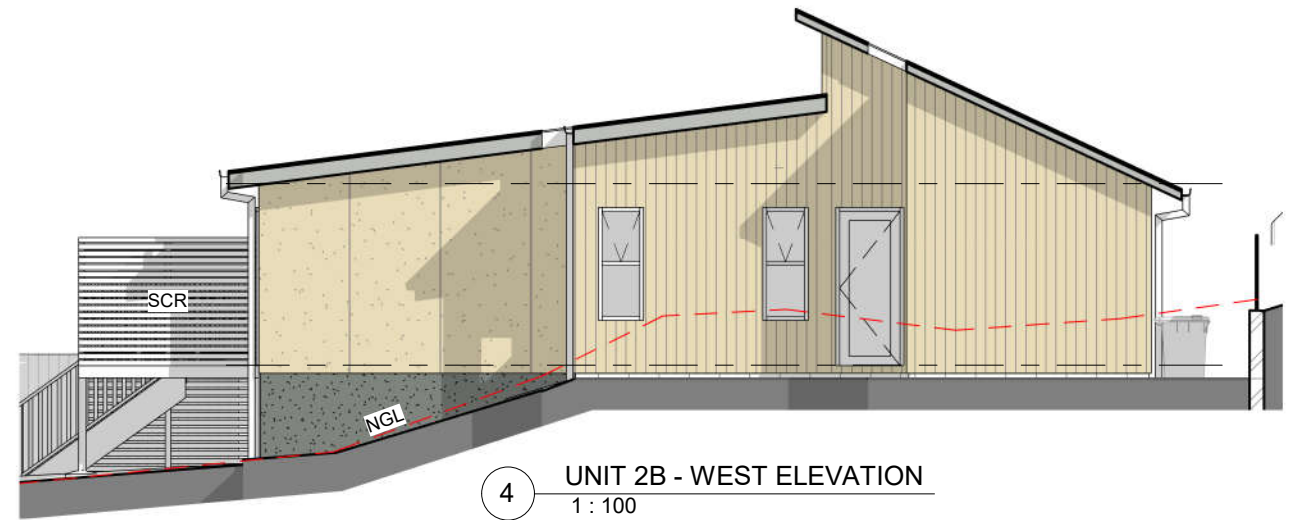
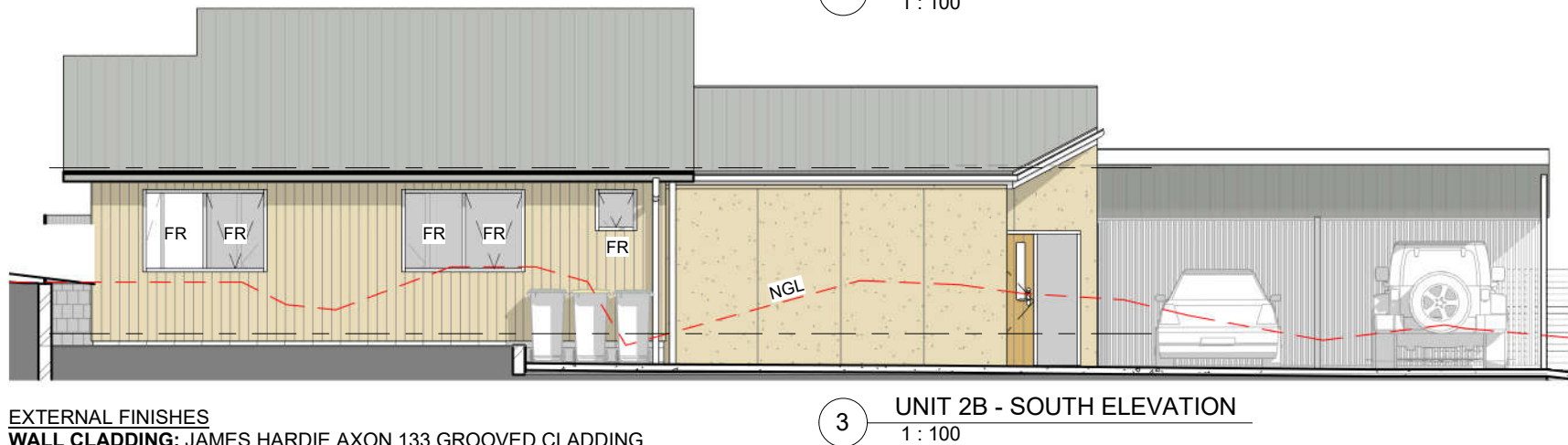
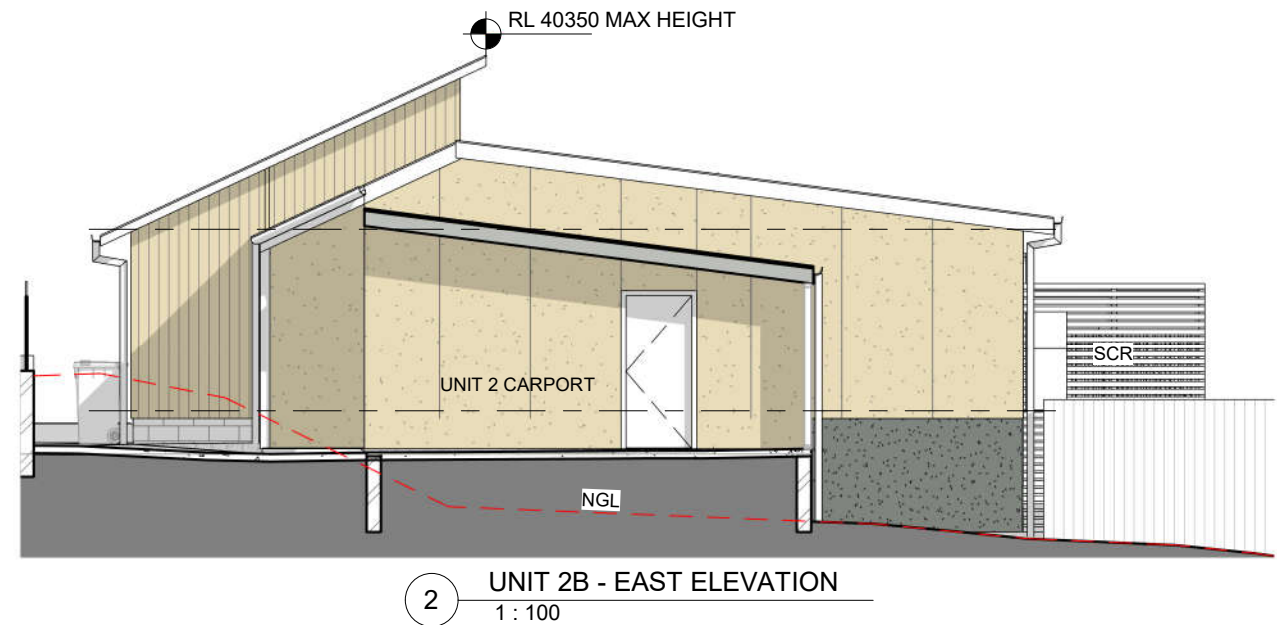
General Notes
 Do not scale plans, use written dimensions only. The owner/builder subcontractor shall verify all dimensions, levels, setbacks and specifications prior to commencing works or ordering materials and shall be responsible for ensuring that all building works conform to the current NCC and Australian standards, building regulations and town planning requirements.
 Report any discrepancies to this office.
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 Email: shane@archink.au



NEW TOWNHOUSES
 10 BRYANT ST, MIDWAY PT, TAS 7171
 TASMANIAN DEVELOPMENT GROUP

UNIT 2B - PERSPECTIVES		
Project number	251021	
Drawing Status	DA	
Current Revision	28/04/26	R7

2 A-05	
Scale on A3	



EXTERNAL FINISHES
WALL CLADDING: JAMES HARDIE AXON 133 GROOVED CLADDING
INDICATIVE WALL & ROOF COLOURS (FROM COLORBOND RANGE):
PAPERBARK
SHALE GREY
CLASSIC CREAM
BLUEGUM
DUNE
SHALE GREY
WALL CLADDING TO CARPORT AREAS: JAMES HARDIE BRUSHED CONCRETE CLADDING
SCREENS TO CARPORT AREAS: VERTICAL TIMBER SLATS WITH PAINT FINISH
SCREENS TO DECKS: 1.7m HIGH, 25% MAX OPENINGS TO TIMBER SCREENS TO COMPLY WITH TPS & NCC FOR NON-CLIMBABILITY
SUBFLOOR CLADDING: SMOOTH FIBRE CEMENT IN LIGHT COLOUR/ OFF WHITE

ROOF CLADDING: COLORBOND TRIMDEK

WINDOW FRAMES: PC ALUMINIUM

WINDOW & EXTERIOR DOOR FRAME TRIMS: JAMES HARDIE AXENT 45x38.

GLAZING: DOUBLE GLAZED, ARGON FILLED
FR: GLAZING 25% MAX TRANSPARANCY, FROSTED WHERE SHOWN TO COMPLY WITH TPS *Clause 8.4.6 A1*

ROOF FLASHINGS, GUTTERS, FLASHINGS TO MATCH ROOF COLOUR
ROOF FASCIA, BARGE BOARDS: H3 PAINTED TIMBER TO MATCH ROOF COLOUR
DOWNPIPES: PVC WITH PAINT FINISH TO MATCH WALL COLOUR
SOFFIT LININGS: SMOOTH FC WITH OFF-WHITE PAINT FINISH

INDICATIVE COLOUR PALETTE	
Paperbark	
Classic Cream	
Dune	
Surfmist	
Bluegum	
Shale Grey	

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NEW TOWNHOUSES
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UNIT 2B - ELEVATIONS

Project number	251021
Drawing Status	DA
Current Revision	28/04/26 R7

2 A-05b

Scale on A3 1 : 100

DA ISSUE