

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:

14 LYTHAM CRESCENT, MIDWAY POINT

PROPOSED DEVELOPMENT:

DWELLING

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 27th July 2026**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received no later than **Monday 27th July 2026**.

APPLICATION NO: 5.2026-205.1
DATE: 10 JULY 2026



Disclaimer

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

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Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use: NEW DWELLING
	Development: NEW RESIDENTIAL DWELLING
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal:	\$ 350,000.00

Is all, or some the work already constructed:	No: ☒ Yes: ☐
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Location of proposed works:	Street address: (LOT 153) LYTHAM CRESCENT
	Suburb: MIDWAY POINT Postcode: 7171
	Certificate of Title(s) Volume: 189889 Folio: 153

Current Use of Site	VACANT LAND
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Current Owner/s:	Name(s) JAC ESTATES PTY LTD
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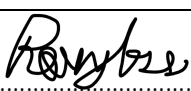
Is the Property on the Tasmanian Heritage Register?	No: ☒ Yes: ☐	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: ☒ Yes: ☐	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: ☒ Yes: ☐	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: ☒ Yes: ☐	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: ☒ Yes: ☐	<i>If yes, please complete the Council or Crown land section on page 3</i>
If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form https://www.sorell.tas.gov.au/services/engineering/		



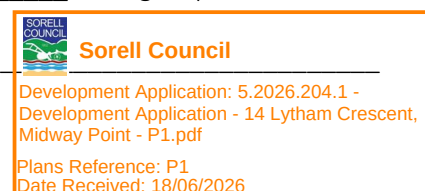
Sorell Council

Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026

Declarations and acknowledgements	
- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land. - I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours. - I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies. - I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application. - I/we declare that the information in this application is true and correct. <i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i>	
I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.	
Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent.	
Applicant Signature:	 Signature: Date: 18/6/26

Crown or General Manager Land Owner Consent	
If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>). Please note: - If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au - If the application involves Crown land you will also need a letter of consent. - Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.	
I _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application for _____	
Signature of General Manager, Minister or Delegate: Signature: Date:	



SEARCH OF TORRENS TITLE

VOLUME 189889	FOLIO 153
EDITION 1	DATE OF ISSUE 16-Jan-2026

SEARCH DATE : 14-May-2026

SEARCH TIME : 02.06 pm

DESCRIPTION OF LAND

Parish of SORELL Land District of PEMBROKE

Lot 153 on Sealed Plan [189889](#)

Derivation : Part of Lot 306, 120 Acres Gtd. to John Lord

Prior CT [189520/1000](#)SCHEDULE 1

[M871097](#) TRANSFER to JAC ESTATES PTY LTD Registered
17-Feb-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP189889](#) COVENANTS in Schedule of Easements[SP189889](#) FENCING COVENANT in Schedule of Easements

[SP183934](#), [SP184510](#), [SP184768](#), [SP184962](#), [SP185905](#), [SP186229](#),
[SP186700](#), [SP187500](#), [SP188745](#), [SP189273](#), [SP189367](#) &
[SP189520](#) COVENANTS in Schedule of Easements

[SP14888](#), [SP184510](#), [SP184768](#), [SP184962](#), [SP185905](#), [SP186229](#),
[SP186700](#), [SP187500](#), [SP188745](#), [SP189273](#), [SP189367](#) &
[SP189520](#) FENCING COVENANT in Schedule of Easements

[SP183934](#) FENCING PROVISION in Schedule of Easements

[SP14888](#) COUNCIL NOTIFICATION under Section 468(12) of the
Local Government Act 1962

[M871097](#) FENCING CONDITION in TransferUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**Sorell Council**

Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

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UNREGISTERED DEALINGS REPORT

SEARCH DATE : 18-June-2026

SEARCH TIME : 03:10 pm

CT: 189889/153

N265722 PRIORITY NOTICE reserving priority for 90 days
TRANSFER JAC Estates Pty Ltd to Kiranjeet Kaur
Dhaliwal and Inderjeet Singh Dhaliwal
REST/COV Kiranjeet Kaur Dhaliwal and Inderjeet Singh
Dhaliwal and JAC Estates Pty Ltd
MORTGAGE Kiranjeet Kaur Dhaliwal and Inderjeet Singh
Dhaliwal to Westpac Banking Corporation Lodged by
CLAXTON LEGAL on 18-June-2026 BP: N265722

**Sorell Council**

Development Application: 5.2026.204.1 -
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SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 189889

PAGE 1 OF 6 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Taswater

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'G' 4.00 WIDE (SP 185905) & DRAINAGE EASEMENT 'G' 4.00 WIDE (SP 185905)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'H' VARIABLE WIDTH (SP 185905)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'I' VARIABLE WIDTH (SP 185905)" as shown on the plan ("the Easement Land").

Lots 132, 75 & 1000 are SUBJECT TO a Pipeline & Services Easement gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successor and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 184768) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 184768)" as shown on the plan ("the Easement Land").

Lots 123 & 1000 are SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'C' VARIABLE WIDTH (SP 185905) & DRAINAGE EASEMENT 'C' VARIABLE WIDTH (SP 185905)" as shown on the plan ("the Easement Land").

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REF: 189520/1000 SOLICITOR & REFERENCE: Butler McIntyre & Butler (JS:251287)	PLAN SEALED BY: SORELL COUNCIL DATE: 23.12.25 SA 2020/00006 - 1 REF NO. Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

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John Baker *Paul Mc*

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 6 PAGES	Registered Number SP 189889
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189520/1000	

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'C' 3.50 WIDE (SP 184510) & DRAINAGE EASEMENT 'C' 3.50 WIDE (SP 184510)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'E' 3.00 WIDE (SP 185905) & DRAINAGE EASEMENT 'E' 3.00 WIDE (SP 185905)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'E' VARIABLE WIDTH (SP 184962) & DRAINAGE EASEMENT 'E' VARIABLE WIDTH (SP 184962)" as shown on the plan ("the Easement Land").

Lots 46 & 1000 are SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'E' 3.50 WIDE (SP184510) & DRAINAGE EASEMENT 'E' 3.50 WIDE (SP184510)" as shown on the plan ("the Easement Land").

Lots 30 & 49 are SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 184510) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 184510)" as shown on the plan ("the Easement Land").

Lots 123 & 1000 are SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'B' 3.50 WIDE (SP 185905) & DRAINAGE EASEMENT 'B' 3.50 WIDE (SP 185905)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP185905) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP185905)" as shown on the plan ("the Easement Land").

Lots 155 & 1000 are SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP186229) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP186229)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 187500) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP187500)" as shown on the plan ("the Easement Land").

Director 

Director..... 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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 **Sorell Council**
Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
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Plans Reference: P1
Date Received: 18/06/2026

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 6 PAGES	Registered Number SP 189889
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189520/1000	

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 3.50 WIDE & DRAINAGE EASEMENT 3.50 WIDE" as shown on the plan ("the Easement Land").

Drainage

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'G' 4.00 WIDE (SP 185905) & DRAINAGE EASEMENT 'G' 4.00 WIDE (SP 185905)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "DRAINAGE EASEMENT 'H' VARIABLE WIDTH (SP 185905)" as shown on the plan.

Lots 155 & 1000 are SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 186229) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 186229)" as shown on the plan.

Lots 30 & 49 are SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP184510) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP184510)" as shown on the plan.

Lots 75, 132 & 1000 are SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP184768) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP184768)" as shown on the plan.

Lots 123 & 1000 are SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'C' VARIABLE WIDTH (SP 185905) & DRAINAGE EASEMENT 'C' VARIABLE WIDTH (SP 185905)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'C' 3.50 WIDE (SP 184510) & DRAINAGE EASEMENT 'C' 3.50 WIDE (SP 184510)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'E' 3.00 WIDE (SP 185905) & DRAINAGE EASEMENT 'E' 3.00 WIDE (SP 185905)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "DRAINAGE EASEMENT 'F' 3.00 WIDE (SP 185905)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'E' VARIABLE WIDTH (SP 184962) & DRAINAGE EASEMENT 'E' VARIABLE WIDTH (SP 184962)" as shown on the plan.

Director

Director

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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 **Sorell Council**
Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf
Plans Reference: P1
Date Received: 18/06/2026

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 6 PAGES	Registered Number SP 189889
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189520/1000	

Lots 46 & 1000 are SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'E' 3.50 WIDE (SP184510) & DRAINAGE EASEMENT 'E' 3.50 WIDE (SP184510)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 185905) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 185905)" as shown on the plan.

Lots 123 & 1000 are SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'B' 3.50 WIDE (SP 185905) & DRAINAGE EASEMENT 'B' 3.50 WIDE (SP 185905)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 187500) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 187500)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 3.50 WIDE & DRAINAGE EASEMENT 3.50 WIDE" as shown on the plan.

Pipeline

Lot 1000 is SUBJECT TO an easement in favour of Metropolitan Water Board over the area marked "PIPELINE EASEMENT 10.06 WIDE (563/6D)" shown on the plan and fully set forth in sealed plan 14888.

Lot 1000 is SUBJECT TO an easement for pipeline rights in favour of Sorell Council over the area marked "PIPELINE EASEMENT 10.06 WIDE (563/6D)" shown on the plan and fully set forth in transfer B912948.

Embankment

Lot 1000 is SUBJECT TO an Embankment Easement, as defined in SP185905, in gross in favour of the Sorell Council over the land marked "EMBANKMENT EASEMENT "B" (SP 185905)" as shown on the plan.

Lot 1000 is SUBJECT TO an Embankment Easement, as defined in SP184768, in gross in favour of the Sorell Council over the land marked "EMBANKMENT EASEMENT "B" VARIABLE WIDTH (SP184768)" as shown on the plan.

FENCING COVENANT

In respect to the lots on the plan, the owners of each lot on the plan covenants with the vendor (JAC ESTATES PTY LTD) that the vendor shall not be required to fence.

Director

Director

**Sorell Council**

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 6 PAGES	Registered Number SP1 8 9 8 8 9
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189520/1000	

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

"Right of Drainage" means a right of drainage as defined within Schedule 8 of the Conveyancing and Law of Property Act 1884 (Tas).

EXECUTED by **JAC ESTATES PTY LTD (ACN 638 495 182)** pursuant to section 127(1) of the Corporations Act 2001 (Cth) by:


Director Signature


Director Signature

PETER KITZ
Director Full Name (print)

DEAN MURRAY COCKER
Director Full Name

	Sorell Council Development Application: 5.2026.204.1 - Development Application - 14 Lytham Crescent, Midway Point - P1.pdf Plans Reference: P1 Date Received: 18/06/2026
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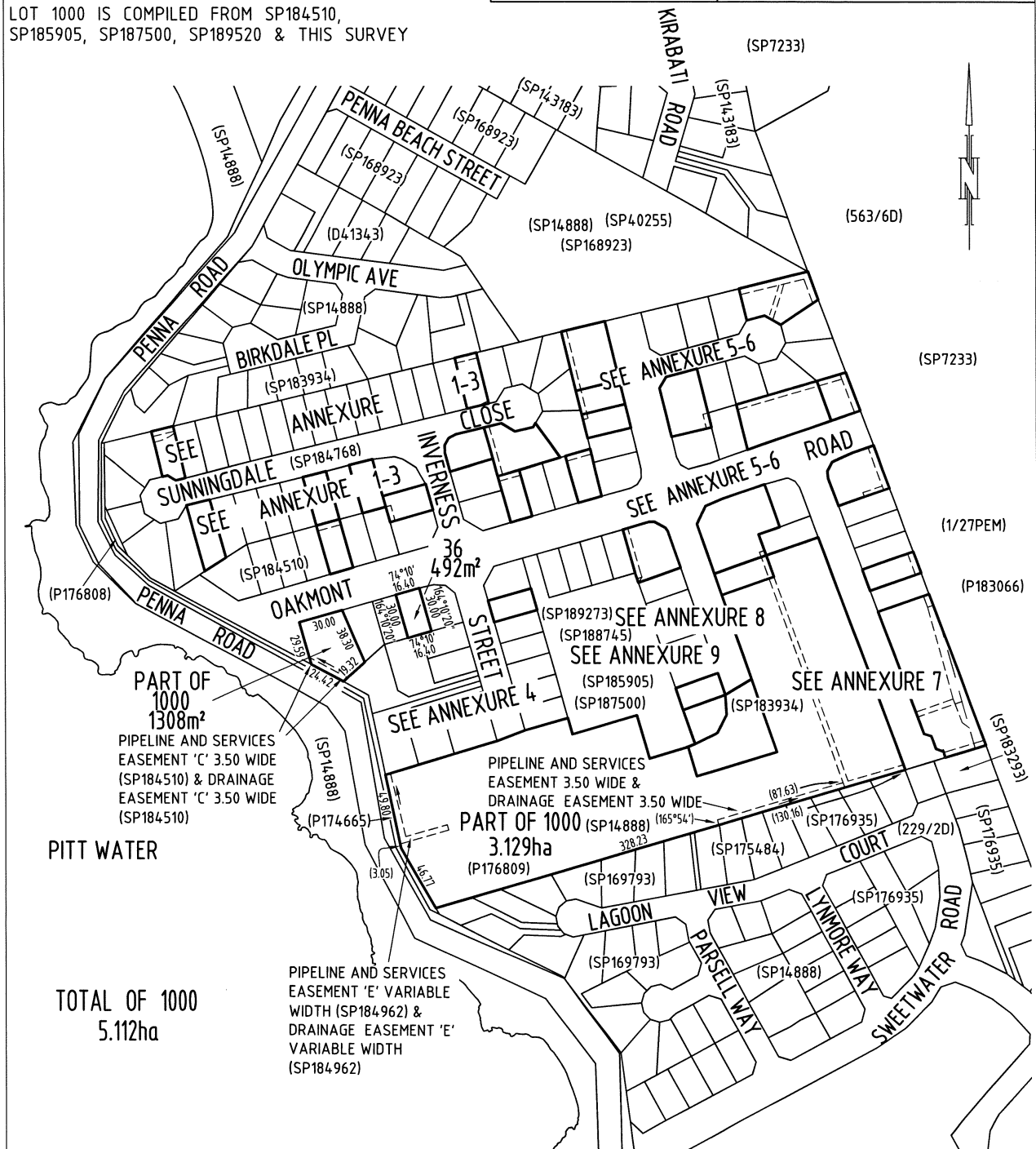
OWNER: JAC ESTATES PTY LTD	PLAN OF SURVEY BY SURVEYOR:  M. M. STRATTON of 127 BATHURST STREET, HOBART LOCATION: PEMBROKE-SORELL	REGISTERED NUMBER SP189889
FOLIO REFERENCE: 189520/1000		APPROVED EFFECTIVE FROM 16 JAN 2026
GRANTEE: PART OF LOT 306, 120 ACRES GTD TO JOHN LORD	SCALE 1: 2500	LENGTHS IN METRES SURVEYORS REF 55456MS-1 Recorder of Titles

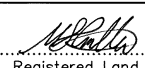
INDEX PLAN

LOT 1000 IS COMPILED FROM SP184510, SP185905, SP187500, SP189520 & THIS SURVEY

PRIORITY FINAL PLAN

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



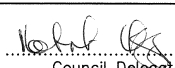

Registered Land Surveyor
2/12/2025
Date



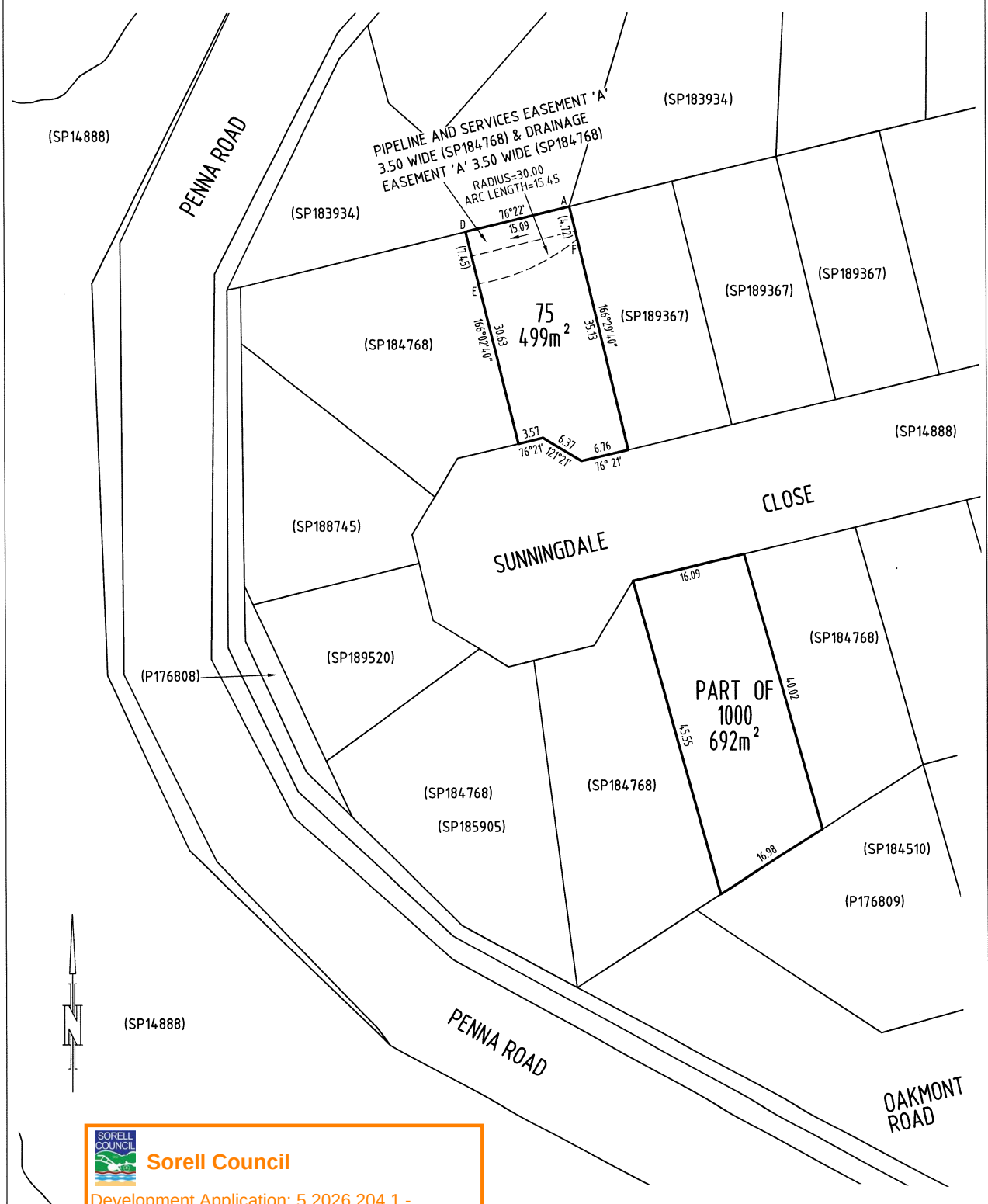
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Council Delegate
23.12.25
Date

PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 9 SHEETS	OWNER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189520/1000 SCALE 1:500 LENGTH IN METRES SURVEYORS REF: 55456MS-1	Registered Number SP 189889
SIGNED FOR IDENTIFICATION PURPOSES  <u>23.12.25</u> Council Delegate Date	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.  <u>2/12/2025</u> Registered Land Surveyor Date	APPROVED EFFECTIVE FROM <u>16 JAN 2026</u>  Recorder of Titles



Sorell Council

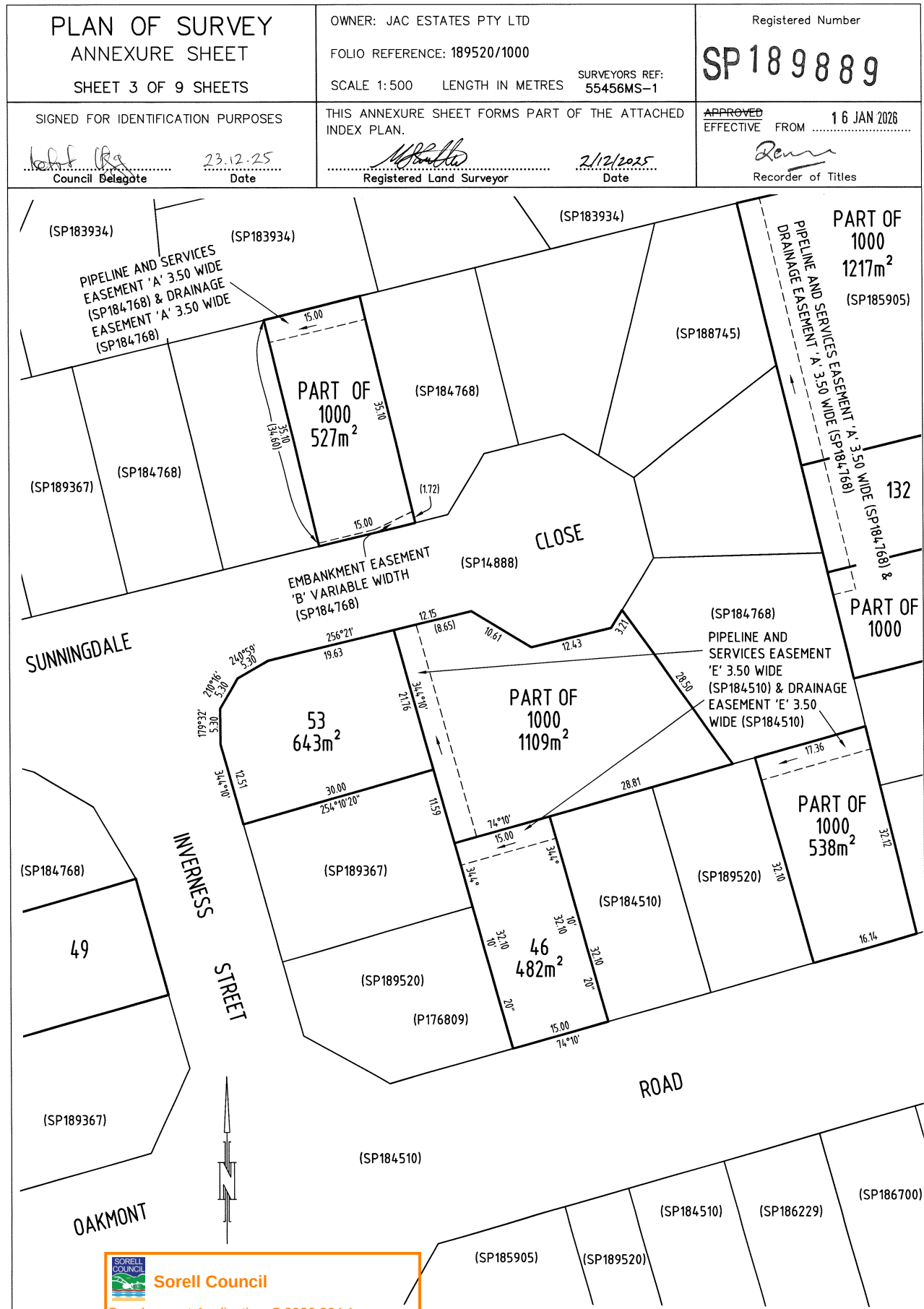
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Plans Reference: P1
Date Received: 18/06/2026



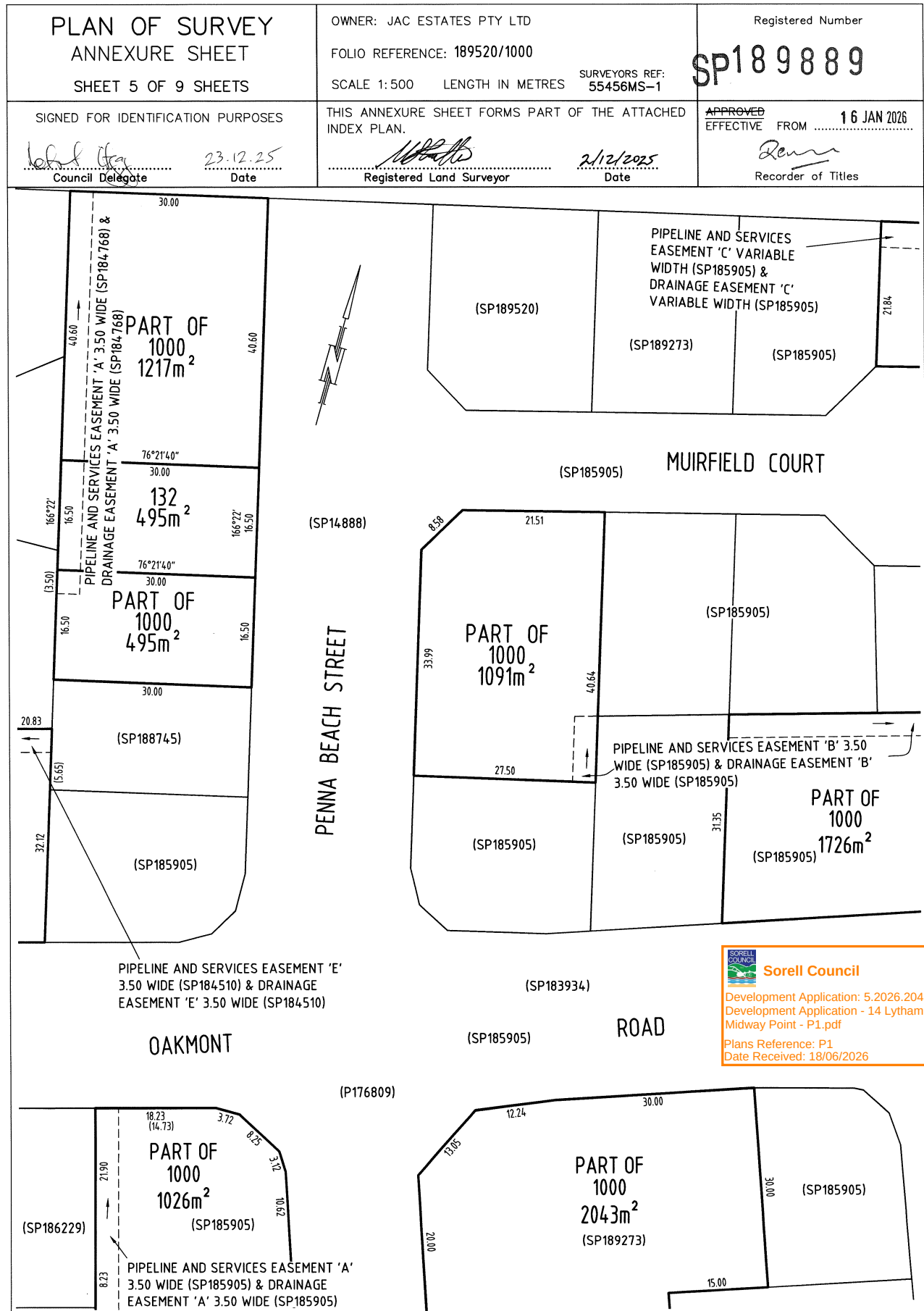
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Development Application: 5.2026.204.1
 Development Application - 14 Lytham Crescent,
 Midway Point - P1.pdf
 Plans Reference: P1
 Date Received: 18/06/2026

PLAN OF SURVEY ANNEXURE SHEET SHEET 4 OF 9 SHEETS	OWNER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189520/1000 SCALE 1:500 LENGTH IN METRES SURVEYORS REF: 55456MS-1	Registered Number SP 189889
	SIGNED FOR IDENTIFICATION PURPOSES  23.12.25 Council Delegate Date	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.  2/12/2025 Registered Land Surveyor Date

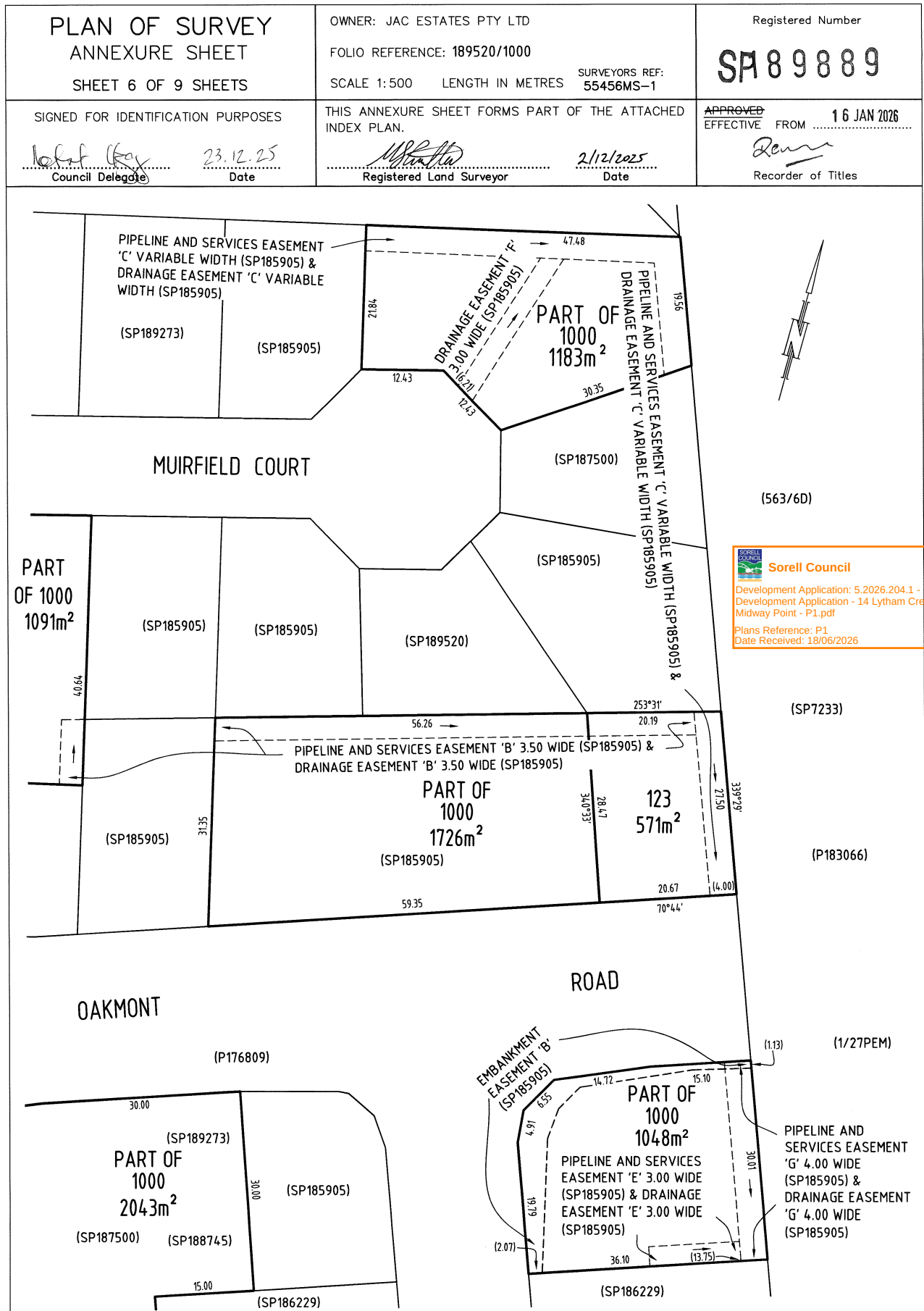


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 Development Application: 5.2026.204.1 -
 Development Application - 14 Lytham Crescent,
 Midway Point - P1.pdf
 Plans Reference: P1
 Date Received: 18/06/2026

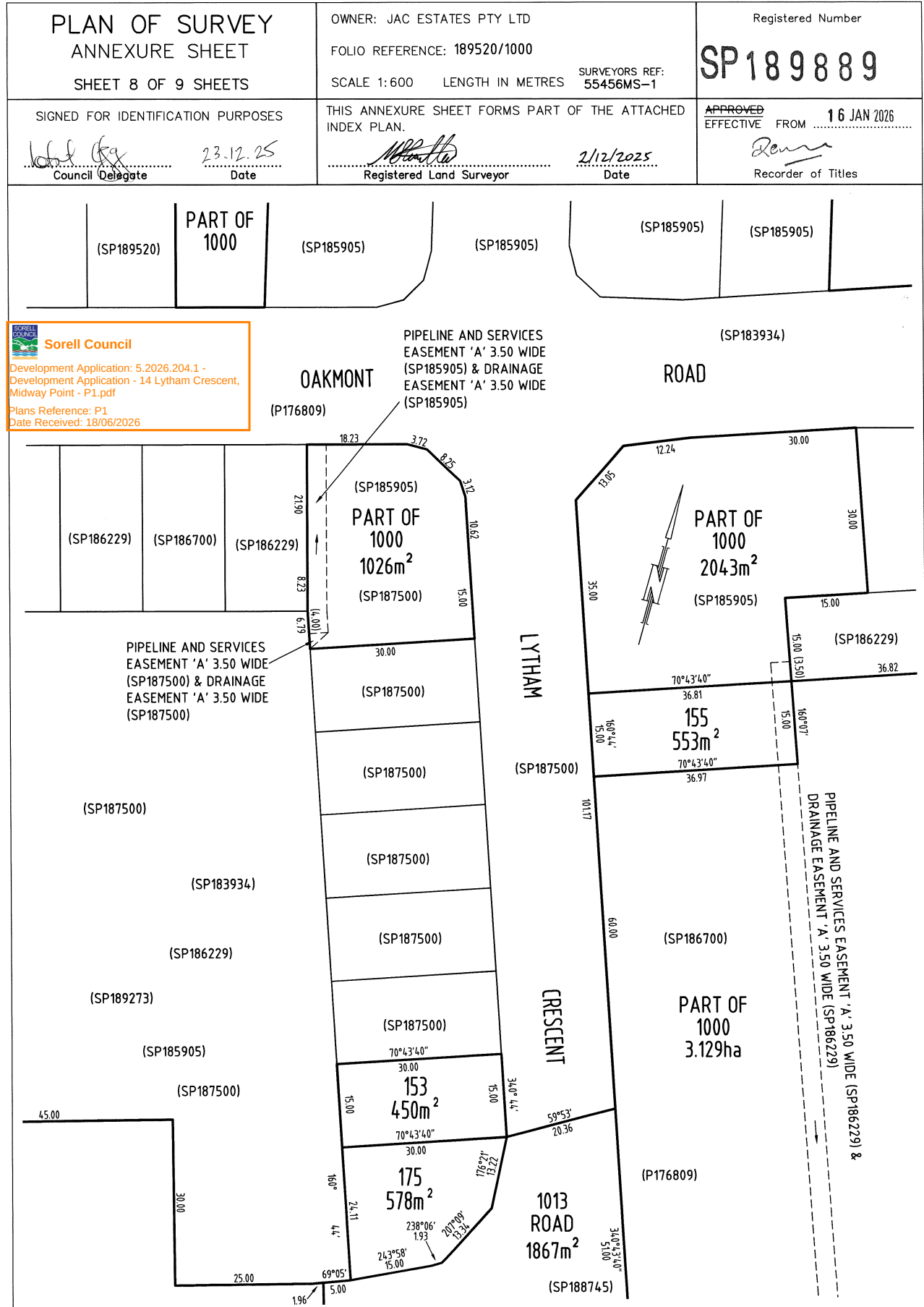


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Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf
Plans Reference: P1
Date Received: 18/06/2026



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DISPERSIVE SOIL ASSESSMENT

JOB NUMBER

J13164

ADDRESS

Lot 153 Lytham Crescent

Midway Point

CLIENT

SJM Property Developments (Aus) Pty Ltd



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Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026

GEO- ENVIRONMENTAL SOLUTIONS

29 Kirksway Place, Battery Point, Tasmania. 7004. T|62231839 E| office@geosolutions.net.au
www.geosolutions.net.au



Investigation Details

Client:	SJM Property Developments (Aus) Pty Ltd
Site Address:	Lot 153 Lytham Crescent, Midway Point
Date of Inspection:	19/05/2026
Proposed Works:	New house
Investigation Method:	Geoprobe 540UD - Direct Push
Inspected by:	C. Cooper

Site Details

Certificate of Title (CT):	189889/153
Title Area:	Approx. 451.6 m ²
Applicable Planning Overlays:	Bushfire-prone areas, Priority Vegetation , Airport obstacle limitation area
Slope & Aspect:	5° SE facing slope
Vegetation:	Grass & Weeds

Background Information

Geology Map:	MRT
Geological Unit:	Quaternary Sediments
Climate:	Annual rainfall 400mm
Water Connection:	Mains
Sewer Connection:	Serviced-Mains
Testing and Classification:	AS2870:2011, AS1726:2017 & AS4055:2021



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Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026



Investigation

Boreholes were completed at selected locations across the site to characterise the subsurface conditions and assess the distribution and variability of soil materials. Borehole locations are shown on the site plan, and the interpreted soil profile conditions are summarised below. In-situ testing was undertaken at the time of investigation to provide an indication of the bearing capacity of the materials encountered.

Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.10	0.00-0.20	SM	Silty SAND: trace of clay, grey, brown, slightly moist, medium dense
0.10-0.50	0.20-0.70	SM	Silty SAND: grey, slightly moist, medium dense
0.50-1.00		CI	Silty CLAY: medium plasticity, dark brown, slightly moist, stiff
1.00-1.90	0.70-2.00+	CL	Sandy CLAY: medium plasticity, yellow, brown, slightly moist, stiff
1.90-2.50		CL	Sandy CLAY: medium plasticity, pale yellow, orange, slightly moist, stiff, refusal on rock/boulder.



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Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026



Site Notes

The soil on site has formed from Quaternary sediments. The subsoil was tested for dispersion using the Emerson Test and was found to be dispersive Class 2(3) -obvious milkiness, >50% of the aggregate affected.

Dispersive Soil Assessment

The dispersive soil assessment of the property considers the proposed construction area.

Potential for dispersive soils

The site has been identified as an area subject to tunnel erosion hazard according to 'Dispersive Soils and Their Management: Technical Reference Manual'. This is due to the soils present on site that developed from Quaternary sediments that contain considerable fine sand/silt content and medium plastic clays. Quaternary sediments in the local area is known to produce soils with an excess of sodium on the soil exchange complex, which can cause soil dispersion. Under some circumstances the presence of dispersive soils can also lead to significant erosion, and in particular tunnel erosion. Based upon field survey of the property, no visible tunnel or gully erosion was identified. However, a soil sampling program was undertaken to identify the presence of dispersive soils in the proposed development areas.

Soil sampling and testing

Samples were taken at the site for assessment of dispersion. An Emerson (1968) Dispersion test was conducted to determine if these samples were dispersive.

The soil samples taken from site were found to be dispersive Class 2(3) -obvious milkiness, >50% of the aggregate affected.



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Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026

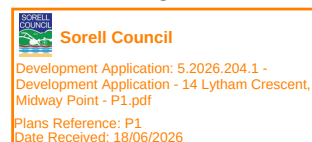


Management Recommendations

A number of site and soil management measures are recommended for development on the site.

The proposed site cut/fill and driveway areas must be managed by:

- Applying a geo-fabric, jute mesh or similar material to the exposed batters of any cutting on site and revegetating the slope
- Applying a surface layer of at least 50mm of suitable crushed rock/gravel to the driveway surface (and any proposed house pad), with adequate compaction to ensure a relatively impervious surface to maintain site surface stability
- Vegetation on any fill batters must be established and maintained, if any bare area of soil on the batter develops then it must be top-dressed with suitable topsoil and additional vegetation planted



The risk of erosion and tunnel erosion associated with construction must be minimized by:

- Any new water, power, or other service trenches within the property must ensure recommendations for dispersive soils are followed:
 - o Where possible trenches to be placed shallow in topsoil and mounded over to achieve the required cover depth
 - o If buried the trench must be backfilled in layers of no more than 200mm with clay with 5% by weight gypsum added (the clay must be sufficiently moist to allow good compaction).
 - o The trench must be finished with at least 150mm depth of non-dispersive suitable topsoil and finished to a level at least 75mm above natural ground to allow for possible settlement
- Vegetation cover must be maintained wherever possible on the property
- Foundations may be placed into the natural soil; however, care must be taken to ensure all exposed soil in the foundation area is compacted and 1Kg/m² of gypsum is applied. Excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil with natural soil and gypsum
- All stormwater runoff from the dwelling to be directed to mains connection (all the drains are to be adequately treated with gypsum)
- Drainage of any site cut must not employ conventional rock drain construction; it must adhere to recommendations for dispersive soils (unless founded entirely in rock)



- All excavation works on site should be monitored for signs of soil dispersion and remedial action taken as required – any excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil

Conclusions

There is a low risk associated with dispersive soil and potential erosion on the site provided the recommendations in this report are adhered to. Efforts should be made to cover all exposed soils on cut/fill batters with topsoil and seeded with well suited pasture species to avoid rainwater, runoff, surface water flows from intercepting exposed subsoils.

A number of site management recommendations have been made in this report and further information can also be found in the publication “Dispersive soils and their management – Technical manual” (DPIWE Tas 2009)

It is recommended that during construction that GES be notified of any variation to the soil conditions as outlined in this report.

Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD
Environmental and Engineering Soil Scientist

**Sorell Council**

Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf
Plans Reference: P1
Date Received: 18/06/2026



APPENDIX A – Soil test results

Laboratory Test Results

Sample Submitted By: C Cooper

Date Submitted: 19/05/2026

Sample Identification: 2 samples – Lot 153 Lytham Crescent, Midway Point

Soil to be tested: Emerson soil dispersion test

Result:

Sample	Texture	Emerson class	Description
Sample 1	clay	Class 2 (3)	Some dispersion >50% affected
Sample 2	clay	Class 2 (3)	Some dispersion >50% affected

Notes: Some dispersion with obvious milkiness affecting >50% of the aggregate.

Sample Tested by: C Cooper

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Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026



APPENDIX B – Disclaimer

This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for use of any part of this report in any other context or for any other purpose by a third party.





GES

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SITE CLASSIFICATION REPORT

JOB NUMBER

J13164

ADDRESS

*Lot 153 Lytham Crescent
Midway Point*

CLIENT

SJM Property Developments (Aus) Pty Ltd



Sorell Council

Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026

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29 Kirksway Place, Battery Point, Tasmania. 7004. T|62231839 E| office@geosolutions.net.au
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Investigation Details

Client:	SJM Property Developments (Aus) Pty Ltd
Site Address:	Lot 153 Lytham Crescent, Midway Point
Date of Inspection:	19/05/2026
Proposed Works:	New house
Investigation Method:	Geoprobe 540UD - Direct Push
Inspected by:	C. Cooper

Site Details

Certificate of Title (CT):	189889/153
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Applicable Planning Overlays:	Bushfire-prone areas, Priority Vegetation , Airport obstacle limitation area
Slope & Aspect:	5° SE facing slope
Vegetation:	Grass & Weeds

Background Information

Geology Map:	MRT
Geological Unit:	Quaternary Sediments
Climate:	Annual rainfall 400mm
Water Connection:	Mains
Sewer Connection:	Serviced-Mains
Testing and Classification:	AS2870:2011, AS1726:2017 & AS4055:2021



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Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026



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Boreholes were completed at selected locations across the site to characterise the subsurface conditions and assess the distribution and variability of soil materials. Borehole locations are shown on the site plan, and the interpreted soil profile conditions are summarised below. In-situ testing was undertaken at the time of investigation to provide an indication of the bearing capacity of the materials encountered.

Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
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0.10-0.50	0.20-0.70	SM	Silty SAND: grey, slightly moist, medium dense
0.50-1.00		CI	Silty CLAY: medium plasticity, dark brown, slightly moist, stiff
1.00-1.90	0.70-2.00+	CL	Sandy CLAY: medium plasticity, yellow, brown, slightly moist, stiff
1.90-2.50		CL	Sandy CLAY: medium plasticity, pale yellow, orange, slightly moist, stiff, refusal on rock/boulder.



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Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1

Date Received: 18/06/2026



Site Notes

Soils on the site are developing from quaternary sediments, the clay fraction is likely to show moderate ground surface movement with moisture fluctuations.

Site Classification

The site has been assessed and classified in accordance with AS2870:2011 *“Residential Slabs and Footings”*.

The site has been classified as:

Class M

y_s range: **20-40mm**

Notes: that is a moderately reactive clay.

Wind Loading Classification

According to *“AS4055:2021 - Wind Loads for Housing”* the house site is classified below:

Wind Classification:	N3
Region:	A
Terrain Category:	1.0
Shielding Classification:	PS
Topographic Classification:	T1
Wind Classification:	N3
Design Wind Gust Speed – m/s ($V_{h,u}$):	50



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Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026



Construction Notes & Recommendations

The site has been classified as **Class M** - Moderately reactive clay or silt site, which may experience moderate ground movement from moisture changes.

Foundation Considerations:

It is recommended that all footings be founded in the natural material with bearing capacities >100kPa.

Earthworks Recommendations

All earthworks on site must comply with AS3798:2007, and I further recommend that consideration be given to drainage and sediment control on site during and after construction. Care should also be taken to ensure there is adequate drainage in the construction area to avoid the potential for weak bearing and foundation settlement associated with excessive soil moisture.

It is also recommended that during construction that GES or the design engineer be notified of any major variation to the foundation conditions as outlined in this report.



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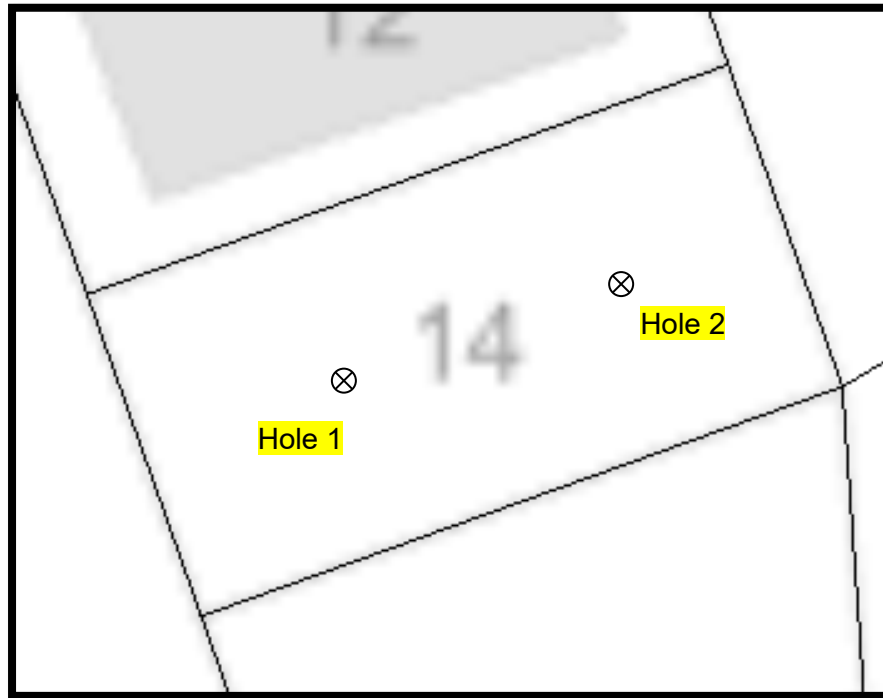
Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026



APPENDIX A –Site Plan

Site Plan



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Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026



APPENDIX B –Field Test Results

Dynamic Cone Penetration (DCP)
(ref: Australian Standard AS 1289.6.3.2 - 1997)

DCP Location BH1

Depth (mm)	DCP	DCP	Allowable Bearing Capacity
	(Blows/100mm)	(mm/Blow)	(kPa)
200-300	2	50.0	69
300-400	2	50.0	69
400-500	3	33.3	104
500-600	4	25.0	139
600-700	4	25.0	139
700-800	6	16.7	208
800-900	8	12.5	278
900-1000	8	12.5	278
1000-1100	6	16.7	208
1100-1200	6	16.7	208
1200-1300	7	14.3	243
1300-1400	8	12.5	278
1400-1500	9	11.1	313
1500-1600	9	11.1	313
1600-1700	8	12.5	278
1700-1800	9	11.1	313
1800-1900	11	9.1	382
1900-2000	11	9.1	382
2000-2100	13	7.7	451
2100-2200	15	6.7	521
2200-2300	20	5.0	694



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Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026



APPENDIX C – Site Photos



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Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026



APPENDIX D - Explanatory Notes

1 Scope of Works

The methods of description and classification of soils used in this report are based largely on Australian Standard 1726 – Geotechnical Site Investigations (AS1726:2017), with reference to Australian Standard 1289 – Methods for testing soils for engineering purposes (AS1289), for eventual Site Classification according to Australian Standard 2870 (AS2870:2011) – Residential Slabs and Footings.

1.1 Site Classification AS2870:2011

Site classification with reference to the above Australian Standards are based on site reactivity.

Class	Foundation Conditions	Characteristic Surface Movement
A	Most sand and rock sites with little or no ground movement from moisture changes.	0mm
S	Slightly reactive clay sites, which may experience only slight ground movement from moisture changes.	0 – 20mm
M	Moderately reactive clay or silt sites, which may experience moderate ground movement from moisture changes.	20 – 40mm
H-1	Highly reactive clay sites, which may experience high ground movement from moisture changes.	40 – 60mm
H-2	Highly reactive clay sites, which may experience very high ground movement from moisture changes.	60 – 75mm
E	Extremely reactive sites, which may experience extreme ground movement from moisture changes.	>75mm

Note: Soils where foundation performance may be significantly affected by factors other than reactive soil movement are classified as Class P.

A site is classified as *Class P* when:

- The bearing capacity of the soil profile in the foundation zone is generally less than 100kpa
- If excessive foundation settlement may occur due to loading on the foundation.
- The site contains uncontrolled fill greater than 0.8m in depth for sandy sites and 0.4m in depth for other soil materials.
- The site is subject to mine subsistence, landslip, collapse activity or coastal erosion.
- The site is underlain by highly dispersive soils with significant potential for erosion
- If the site is subject to abnormal moisture conditions which can affect foundation performance



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Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026



1.2 Soil Characterisation

This information explains the terms of phrase used within the soil description area of the report.

It includes terminology for cohesive and non-cohesive soils and includes information on how the Unified Soil Classification Scheme (USCS) codes are determined.

NON-COHESIVE – SAND & GRAVEL		
Consistency Description	Field Test	Relative Density (%)
Very loose (VL)	Easily penetrated with 13 mm reinforcing rod pushed by hand.	0 - 15
Loose (L)	Easily penetrated with 13 mm reinforcing rod pushed by hand. Can be excavated with a spade; 50 mm wooden peg can be easily driven.	15 - 35
Medium dense (MD)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, - hard shovelling.	35 - 65
Dense (D)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, requires pick for excavation: 50 mm wooden peg hard to drive.	65 - 85
Very dense (VD)	Penetrated only 25 - 50 mm with 13 mm reinforcing rod driven with 2 kg hammer.	>85

COHESIVE - SILT & CLAY		
Consistency Description	Field Test	Indicative undrained shear strength kPa
Very soft	Easily penetrated >40 mm by thumb. Exudes between thumb and fingers when squeezed in hand.	<12
Soft	Easily penetrated 10 mm by thumb. Moulded by light finger pressure	>12 and <25
Firm	Impression by thumb with moderate effort. Moulded by strong finger pressure	>25 and <50
Stiff	Slight impression by thumb cannot be moulded with finger.	>50 and <100
Very Stiff	Very tough. Readily indented by thumbnail.	>100 and <200
Hard	Brittle. Indented with difficulty by thumbnail.	>200

SOIL MOISTURE			
NON COHESIVE – COARSE GRAINED (SAND & GRAVEL)		COHESIVE – FINE GRAINED (SILT & CLAY)	
Term	Moisture Condition	Moisture Condition	
Dry (D)	Non-cohesive and free flowing	Moist, dry of plastic limit	w<PL
Moist (M)	Soil feels cool, darkened in colour Soil tends to stick together	Moist, near of plastic limit	w≈PL
Wet (W)	Soil feels cool, darkened in colour Soil tends to stick together, free water forms when handling	Moist, wet of plastic limit	w>PL
		Wet, near liquid limit	w≈LL
		Wet, wet of liquid limit	w>LL



Sorell Council

Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026



1.3 USCS Material Descriptions

Soils for engineering purposes are the unconsolidated materials above bedrock, they can be residual, alluvial, colluvial or aeolian in origin.

Major Divisions		Particle size mm	USCS Group Symbol	Typical Names	Laboratory Classification				
COARSE GRAINED SOILS (more than half of material less than 63 mm is larger than 0.075 mm)	BOULDERS	_____200			% < 0.075 mm (2)	Plasticity of fine fraction	$C_u = \frac{D_{60}}{D_{10}}$	$C_c = \frac{(D_{30})^2}{(D_{10})(D_{60})}$	NOTES
	COBBLES	_____63							
	GRAVELS (more than half of coarse fraction is larger than 2.36 mm)	coarse _____20	GW	Well graded gravels and gravel-sand mixtures, little or no fines	0-5	—	>4	Between 1 and 3	(1) Identify fines by the method given for fine-grained soils.
		medium _____6	GP	Poorly graded gravels and gravel-sand mixtures, little or no fines, uniform gravels	0-5	—	Fails to comply with above		
		fine _____2.36	GM	Silty gravels, gravel-sand-silt mixtures (1)	12-50	Below 'A' line or PI<4	—	—	
			GC	Clayey gravels, gravel-sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—	—	(2) Borderline classifications occur when the percentage of fines (fraction smaller than 0.075 mm size) is greater than 5% and less than 12%. Borderline classifications require the use of SP-SM, GW-GC.
	SANDS (more than half of coarse fraction is smaller than 2.36 mm)	coarse _____0.6	SW	Well graded sands and gravelly sands, little or no fines	0-5	—	>6	Between 1 and 3	
		medium _____0.2	SP	Poorly graded sands and gravelly sands, little or no fines	0-5	—	Fails to comply with above		
		fine 0.075	SM	Silty sands, sand silt mixtures (1)	12-50	Below 'A' line or PI<4	—	—	
			SC	Clayey sands, sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—	—	
FINE GRAINED SOILS (more than half of material less than 63 mm is smaller than 0.075 mm)	SILTS & CLAYS (Liquid Limit ≤50%)	ML	Inorganic silts, very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity	Plasticity Chart For classification of fine grained soils and fine fraction of coarse grained soils. Plastic Index (%) Liquid Limit (%)					
		CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays						
		OL	Organic silts and clays of low plasticity						
	SILTS & CLAYS (Liquid Limit >50%)	MH	Inorganic silts, micaceous or diatomaceous fine sands or silts, elastic silts						
		CH	Inorganic clays of high plasticity, fat clays						
		OH	Organic silts and clays of high plasticity						
	HIGHLY ORGANIC SOILS	PT	Peat and other highly organic soils						



Sorell Council

Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026



Grain size analysis is performed by two processes depending on particle size. Sand silt and clay particles are assessed using a standardised hydrometer test, and coarse sand and larger is assessed through sieving by USCS certified sieves. For more detail see the following section.

Soil Classification	Particle Size
Clay	Less than 0.002mm
Silt	0.002 – 0.06mm
Fine/Medium Sand	0.06 – 2.0mm
Coarse Sand	2.0mm – 4.75mm
Gravel	4.75mm – 60.00mm

1.4 Bearing Capacities and DCP testing.

DCP and PSP weighted penetrometer tests – Dynamic Cone Penetrometer (DCP) and Perth Sand Penetrometer (PSP) tests are carried out by driving a rod into the ground with a falling weight hammer and measuring the blows for successive 100mm increments of penetration. Normally, there is a depth limitation of 1.2m but this may be extended in certain conditions by the use of extension rods. The methods for the two tests are quite similar.

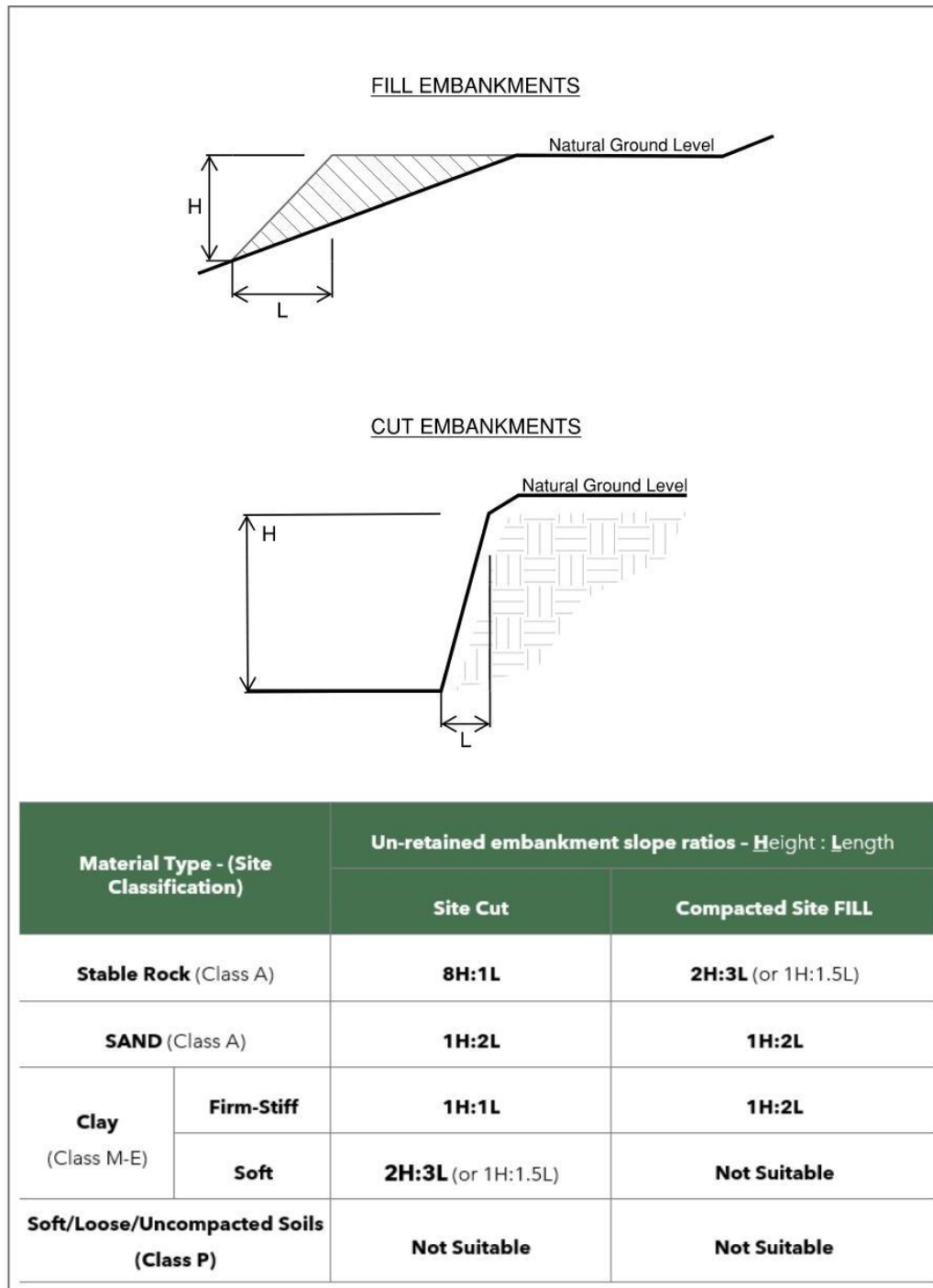
- Dynamic Cone Penetrometer – a 16mm rod with a 20mm diameter cone end is driven with a 9kg hammer dropping 510mm (AS 1289, Test 6.3.2).
- Perth Sand Penetrometer – a 16mm diameter flat-ended rod is driven with a 9kg hammer, dropping 600mm (AS 1289 Test 6.3.3). This test was developed for testing the density of sands and is mainly used in granular soils and filling.

It should be noted that the DCP/PSP derived allowable bearing capacities have been estimated from empirical correlations typically for a minimum 1.0m wide strip footing using a factor of safety of 2.0 without taking into account any embedment, specific load spread dimensions, impact of groundwater and any settlement exceeding 25mm.

Site Anomalies – During construction GES will need to be notified of any major variation to the foundation conditions as outlined in this report.



1.5 Batter Angles for Embankments (Guide Only)



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Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026



APPENDIX E - Glossary of Terms

Bearing Capacity – Maximum bearing pressure that can be sustained by the foundation from the proposed footing system under service loads which should avoid failure or excessive settlement.

Clay – (Mineral particles less than 0.002mm in diameter). Fine grained cohesive soil with plastic properties when wet. Also includes sandy clays, silty clays, and gravelly clays.

Dynamic Cone Penetrometer (DCP) – Field equipment used to determine underlying soil strength and therefore bearing capacity (kPa) by measuring the penetration of the device into the soil after each hammer blow.

Dispersive soil – A soil that has the ability to pass rapidly into suspension in water.

Footing – Construction which transfers the load from the building to the foundation.

Foundation – Ground which supports the building

Landslip – Foundation condition on a sloping site where downhill foundation movement or failure is a design consideration.

Qualified Engineer – A professional engineer with academic qualifications in geotechnical or structural engineering who also has extensive experience in the design of the footing systems for houses or similar structures.

Reactive Site – Site consisting of clay soil which swells on wetting and shrinks on drying by an amount that can damage buildings on light strip footings or unstiffened slabs. Includes sites classified as S, M, H-1, H-2 & E in accordance with AS2870-2011.

Sand – (Mineral particles greater than 0.02mm in diameter). Granular non-cohesive, non-plastic soil that may contain fines including silt or clay up to 15%.

Services – Means all underground services to the site including but not limited to power, telephone, sewerage, water & storm water.

Silt – (Mineral particles 0.002 – 0.02mm in diameter). Fine grained non-cohesive soil, non-plastic when wet. Often confers a silky smoothness of field texture, regularly includes clay and sand to form clayey silts, sandy silts and gravelly silts.

Site – The site title, as denoted by address, lot number, or Certificate of Title (CT) number, or Property Identification Number (PID).

Surface Movement (y_s) – Design movement (mm) at the surface of a reactive site caused by moisture changes.



Sorell Council

Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026



APPENDIX F - Disclaimer

This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for use of any part of this report in any other context or for any other purpose by a third party.



Sorell Council

Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1

Date Received: 18/06/2026

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: SJM Property Developments (Aus) Pty Ltd

Owner /Agent

1/37 Ascot Drive

Address

Huntingfield

7055

Suburb/postcode

Qualified person details:

Qualified person: John-Paul Cumming

Address: 29 Kirksway Place

Phone No: 03 6223 1839

Battery Point

7004

Fax No:

Licence No: AO999

Email address: jcumming@geosolutions.net.au

Qualifications and Insurance details: Certified Professional Soil Scientist (CPSS stage 2)

(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: AS2870-2011 Foundation Classification

(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: Lot 153 Lytham Crescent

Lot No:

Midway Point

7171

Certificate of title No: 189889/153

The assessable item related to this certificate:

Classification of foundation Conditions according to AS2870-2011



(description of the assessable item being certified)

Assessable item includes –

- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: Foundation Classification

(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work ☒

or

a building, temporary structure or plumbing installation: ☐

In issuing this certificate the following matters are relevant –

Documents:	The attached soil report for the address detailed above in 'details of work'
Relevant calculations:	Reference the above report.
References:	AS2870:2011 residential slabs and footings AS1726:2017 Geotechnical site investigations CSIRO Building technology file – 18.

Substance of Certificate: (what it is that is being certified)

Site Classification consistent with AS2870-2011.

Scope and/or Limitations

The classification applies to the site as inspected and does not account for future alteration to foundation conditions as a result of earth works, drainage condition changes or variations in site maintenance.

I, John-Paul Cumming certify the matters described in this certificate.

Qualified person:

Signed:

Certificate No:

Date:

J13164

25/05/2026



A handwritten signature in black ink, appearing to be "John Paul Cumming".

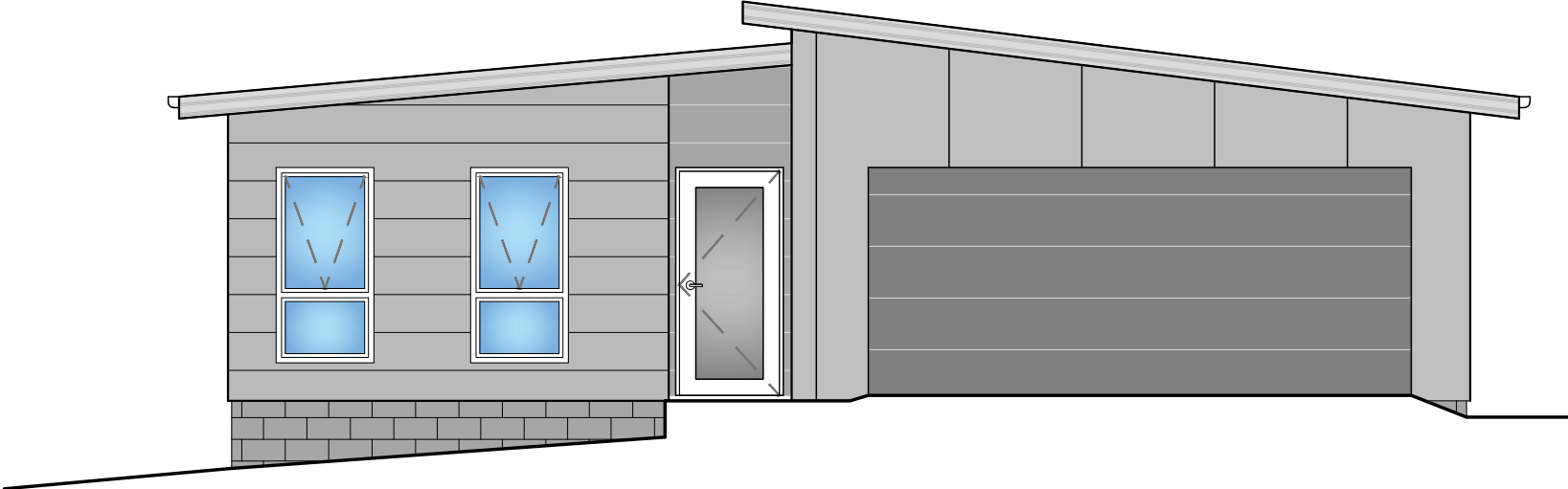


Sorell Council

Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026

PROPOSED NEW RESIDENCE AT 153 LYTHAM CRES, MIDWAY POINT.



ARTIST IMPRESSION ONLY

DRAWINGS SCHEDULE

PAGE NUMBER:	DRAWING:
01	COVER PAGE
02	SITE PLAN
03	FLOOR PLAN
04	ELEVATIONS
05	ELEVATIONS
06	DRAIANGE PLAN
07	SITE DRAINAGE PLAN
08	DOOR & WINDOW SCHEDULE

PROJECT INFORMATION

TITLE REFERENCE:	189889/ 153
PROPERTY ID:	9893744
SITE AREA:	450m ²
WIND SPEED:	N3
SOIL CLASSIFICATION:	M
CLIMATE ZONE:	7
ALPINE AREA:	NO
CORROSIVE ENVIRONMENT:	N/A
BAL-RATING:	TBC

**Sorell Council**

Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026

GENERAL NOTES:

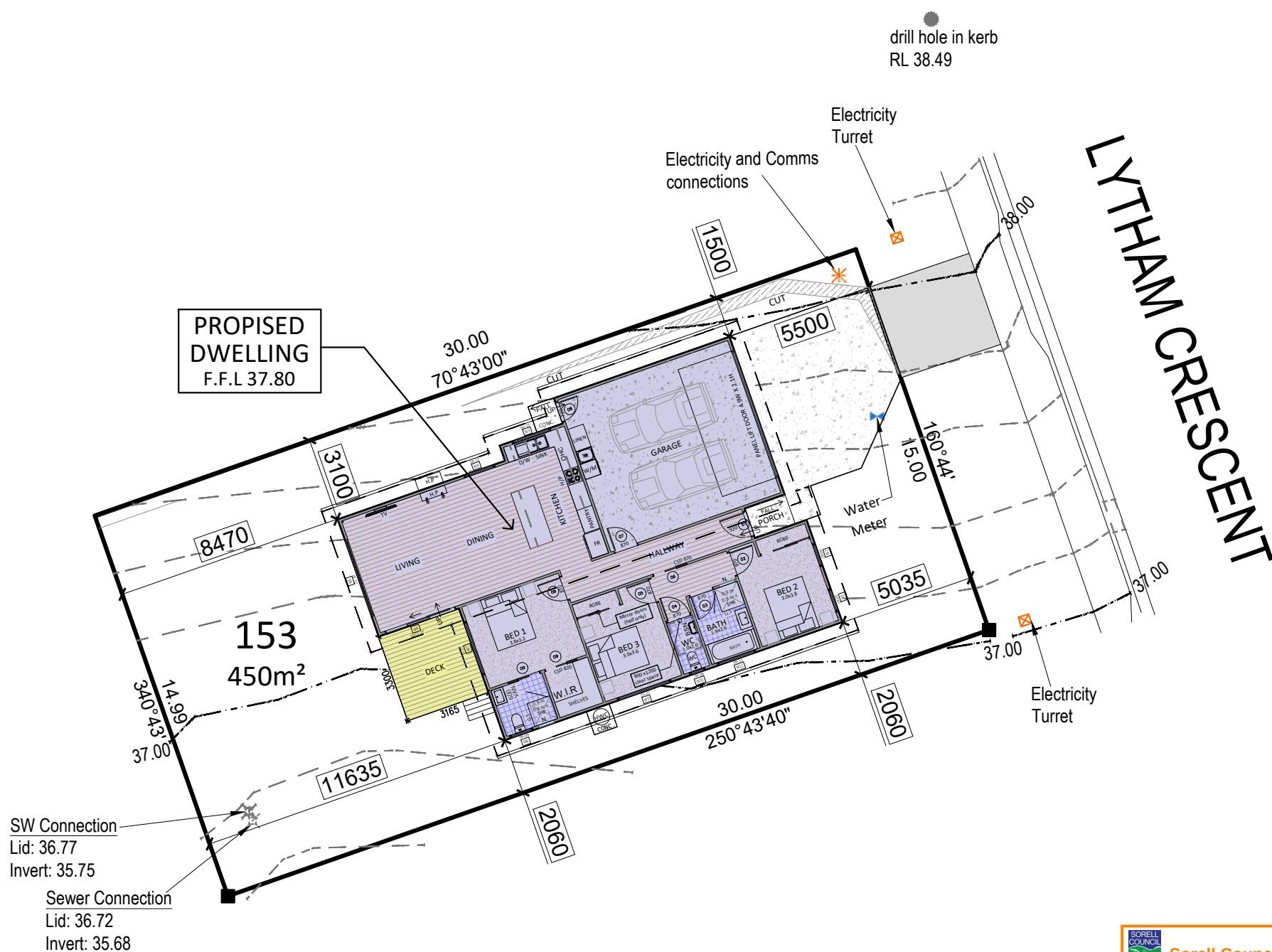
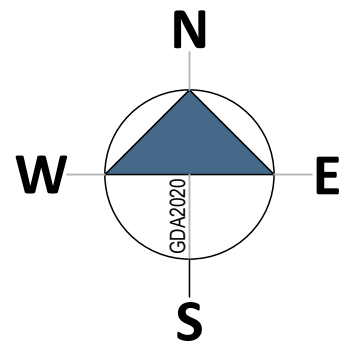
- Check & verify all dimensions & levels on site
- Written dimensions to take preference over scaled
- All work to be strictly in accordance with NCC 2022, all codes & local authority by-laws
- All dimensions indicated are frame to frame and do not allow for wall linings.



Drawing:	Cover Page
Stage:	PLANNING
Client:	SJM Property Developments
Project:	153 Lytham Cres, Midway Point.

Drawn by:	M.K
Accreditation:	Sam Morse 942366295
Date:	26.05.2026
Scale:	1:100

Revision:	-
Email:	admin@sjmpd.com.au
Job Number:	871H
Sheet:	



- LOT BOUNDARY
- GRATED PIT
- BITUMEN EDGE
- KERB INVERT
- KERB BACK
- FOOTPATH
- FENCE
- TITLE PEG
- NAIL
- NATURAL SURFACE
- STORMWATER HOUSE CONNECTION
- CABLE HYDRO UNDERGROUND
- CABLE COMMS UNDERGROUND
- SEWER HOUSE CONNECTION
- METER WATER

Sorell Council
Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf
Plans Reference: P1
Date Received: 18/06/2026

Contour Interval
0.200 m
DATUM Horz: GDA2020
Vert: AHD

SITE COVERAGE: 37.11%

GENERAL NOTES:

- Check & verify all dimensions and levels on site.
- Written dimensions take precedence over scaled measurements.
- Work must comply with NCC 2022 and all Australian Standards.
- Dimensions shown are frame-to-frame unless noted otherwise.
- Allow for wall linings.
- Confirm all floor areas.
- Plumbing work must comply with AS 3500 (2022) and be approved by a council inspector.
- Builder/plumber must ensure proper fall to site connection points per AS 3500 before construction.
- Drawings must be read alongside engineer's structural drawings.
- All windows and glazing must comply with AS 1288 & AS 2047.
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- Builder is responsible for complying with all planning conditions.
- Confirm approved (stamped) drawings and permits before starting construction.
- Construction must comply with AS 3959 and BAL (Bushfire Attack Level) assessment report.
- Drawings must be viewed or printed in colour.

SURVEYOR NOTES:

While all reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during the field survey.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by existing title dimensions and occupation (where available) only and not by field survey, and as a result are considered approximate only. This plan should not be used for building to boundary, or to prescribed set-backs, without further survey.

Prior to any demolition, excavation, final design or construction on this site, a full site inspection should be completed by the relevant engineers.

All survey data is 3D. The level (z-value) of any specific feature can be interrogated with a suitable CAD package. Spot heights of all features, including pipe inverts, are included in the model space but are not displayed on the PDF. Spot heights are organised into appropriate layers, and can be displayed as required.

DATUM - Vertical : AHD per SPM9655 with reputed AHD level of 26.373 from SURCOM on 16/05/26

At the time of this survey, CT.189889/153 was owned by JAC ESTATES PTY LTD
Date of Survey : 15/05/26

GENERAL NOTES:

- Check & verify all dimensions & levels on site
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SJM
property
developments

Drawing: Site Plan
Stage: PLANNING
Client: SJM Property Developments
Project: **153 Lytham Cres,
Midway Point.**

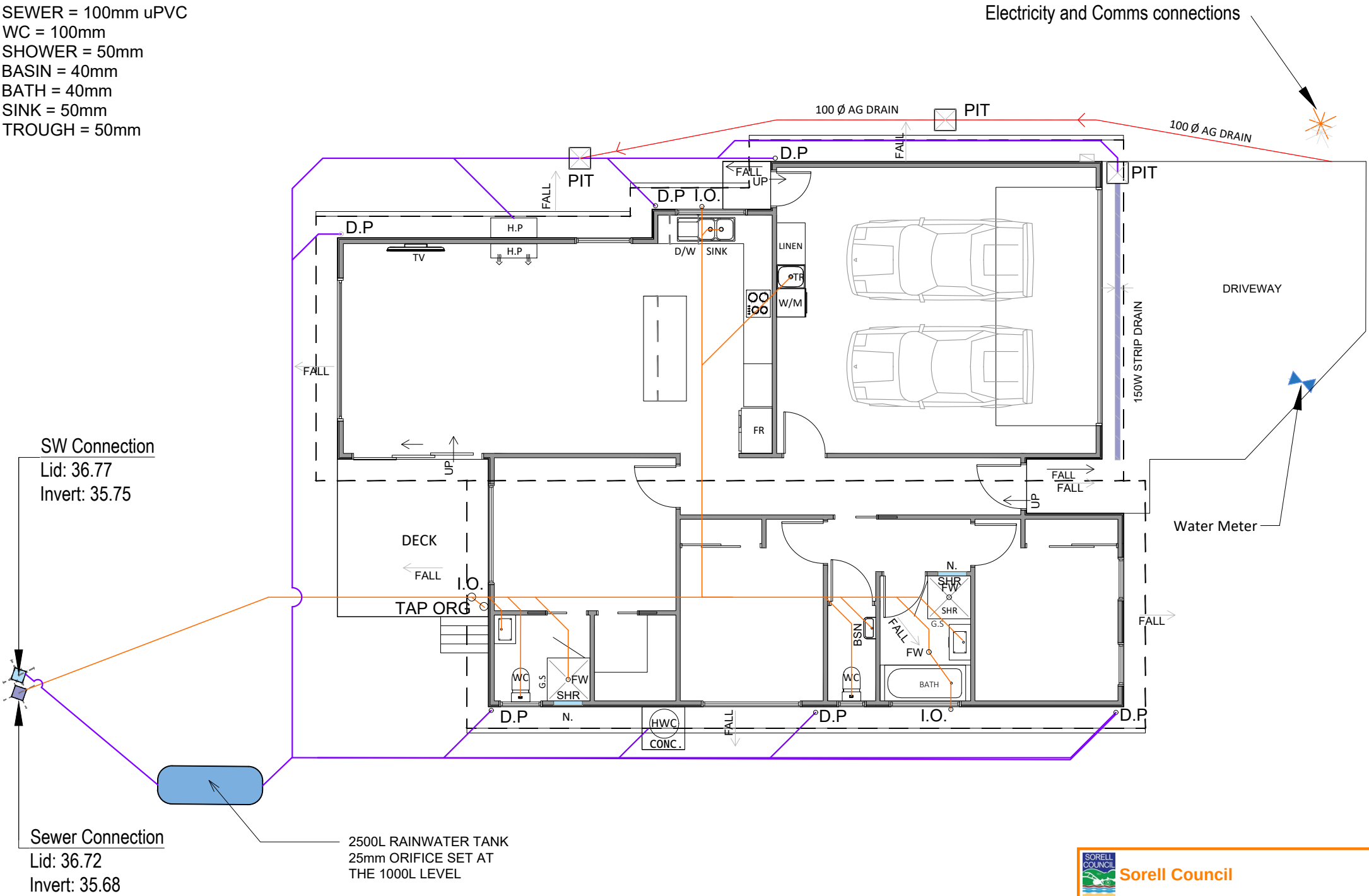
Drawn by: M.K
Accreditation: Sam Morse
942366295
Date: 26.05.2026
Scale: 1:200

Revision: -
Email: admin@sjmpd.com.au
Job Number: 871H
Sheet:

02

LEGEND OF DIAMETERS

STORMWATER = 100mm uPVC
DP = 90mm
VENT = 50mm
ORG = OVERFLOW RELIEF GULLY
SEWER = 100mm uPVC
WC = 100mm
SHOWER = 50mm
BASIN = 40mm
BATH = 40mm
SINK = 50mm
TROUGH = 50mm



LEGEND

- GP 450X 450 SURFACE DRAINAGE PIT
- SEWER LINE
- STORMWATER LINE
- 100Ø AG DRAIN

PLUMBING NOTES:

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

NOTE:

ALL TASWATER WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03-2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02-2014-3.1 MRWA VERSION 2 AND TASWATERS SUPPLEMENTS TO THESE CODES

SEWER AND WATER SERVICES:

- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
- WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST

PITS: ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
ORGS: OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
S/W: STORMWATER PIPES TO BE SIZED PER ASNZS 3500.2021 PART 3 DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2

CONNECT STORMWATER TO COUNCIL STORMWATER LOT CONNECTION

NEW DN32 (I.D. 25) HDPE (PE100) SDR11 PN16 WATER CONNECTION AND INSTALLATION FOR 2x ID20mm WATER METERS ON A MANIFOLD AS PER TASWATER STANDARD DRAWING (TWS-W-0002) SHEET 9 BY TASWATER AT DEVELOPERS COST. RE-USE EXISTING METER

 **Sorell Council**
Development Application: 5.2026.205.1 - Response to Request For Information - 14
Lytham Crescent, Midway Point P2.pdf
Plans Reference: P2
Date received: 2/07/2026

- GENERAL NOTES:
- Check & verify all dimensions & levels on site.
 - Written dimensions to take preference over scaled.
 - All work to be strictly in accordance with NCC 2022, all codes & local authority by-laws
 - All dimensions indicated are frame to frame and do not allow for wall linings.

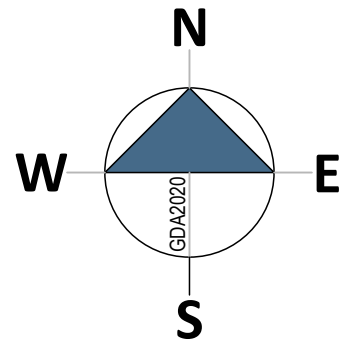
Revision: A - 02.07.2026
2500 L - Rainwater Tank added .



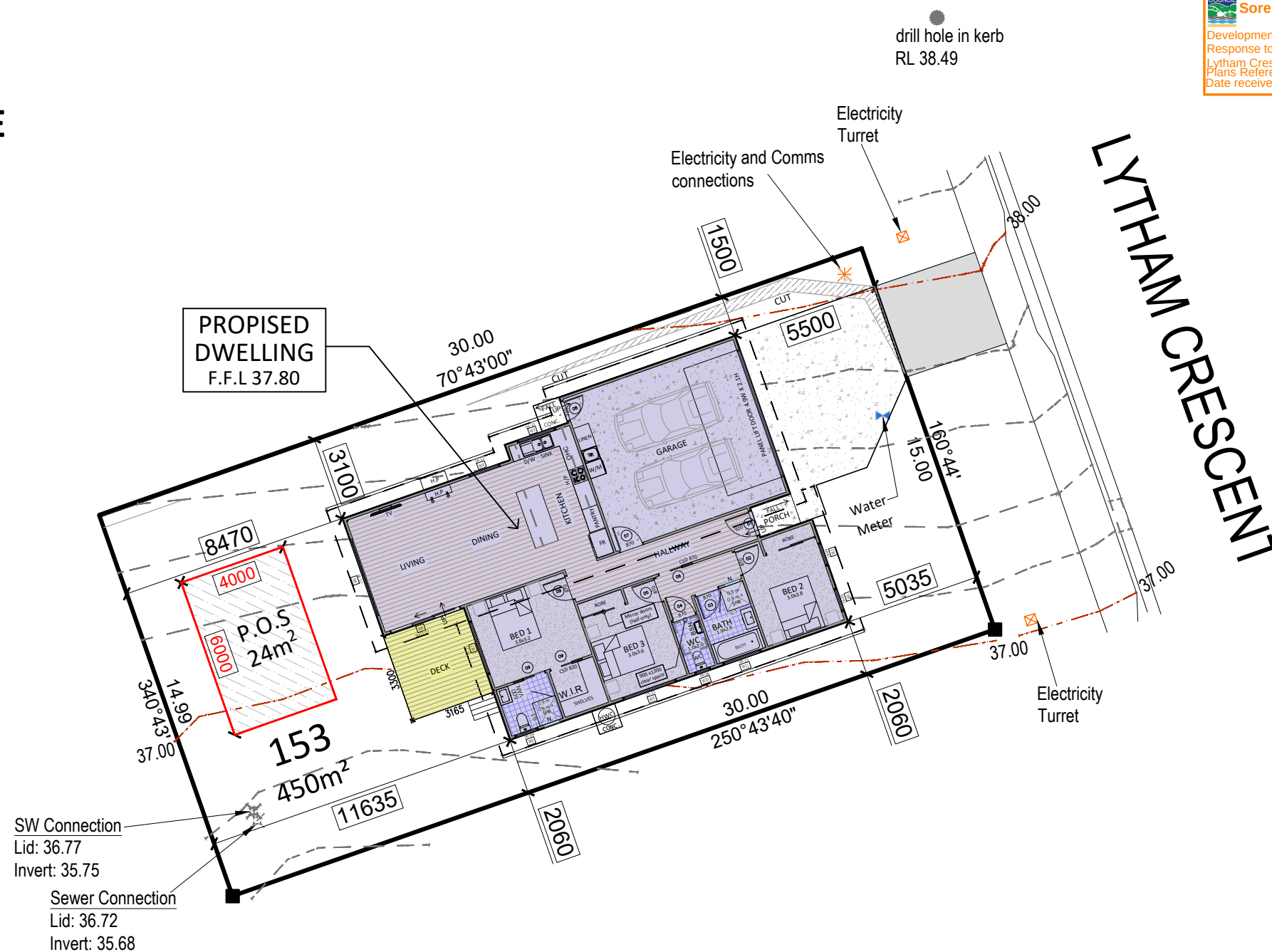
Drawing: Drainge Plan
Stage: PLANNING
Client: SJM Property Developments
Project: 153 Lytham Cres, Midway Point.

Drawn by: M.K
Accreditation: Sam Morse 942366295
Date: 26.05.2026
Scale: 1:100

Revision: A
Email: admin@sjmpd.com.au
Job Number: 871H
Sheet: 06



Sorell Council
Development Application: 5.2026.205.1 -
Response to Request For Information - 14
Lytham Crescent, Midway Point P2.pdf
Plans Reference: P2
Date received: 2/07/2026



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SURVEYOR NOTES:

While all reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during the field survey.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by existing title dimensions and occupation (where available) only and not by field survey, and as a result are considered approximate only. This plan should not be used for building to boundary. or to prescribed set-backs, without further survey.

Prior to any demolition, excavation, final design or construction on this site, a full site inspection should be completed by the relevant engineers.

All survey data is 3D. The level (z-value) of any specific feature can be interrogated with a suitable CAD package. Spot heights of all features, including pipe inverts, are included in the model space but are not displayed on the PDF. Spot heights are organised into appropriate layers, and can be displayed as required.

DATUM - Vertical : AHD per SPM9655 with reputed AHD level of 26.373 from SURCOM on 16/05/26

At the time of this survey, CT.189889/153 was owned by JAC ESTATES PTY LTD
Date of Survey : 15/05/26

- LOT BOUNDARY
- - - GRATED PIT
- BITUMEN EDGE
- KERB INVERT
- KERB BACK
- FOOTPATH
- FENCE
- TITLE PEG
- NAIL
- + - NATURAL SURFACE
- ✕ STORMWATER HOUSE CONNECTION
- ✱ CABLE HYDRO UNDERGROUND
- ✱ CABLE COMMS UNDERGROUND
- ✕ SEWER HOUSE CONNECTION
- ◇ METER WATER

Contour Interval
0.200 m
DATUM Horz: GDA2020
Vert: AHD

SITE COVERAGE: 37.11%

GENERAL NOTES:

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Revision: A - 02.07.2026

24m2 private open space added.

SJM
property
developments

Drawing: **Site Plan**
Stage: **PLANNING**
Client: **SJM Property Developments**
Project: **153 Lytham Cres,
Midway Point.**

Drawn by: **M.K**
Accreditation: **Sam Morse
942366295**
Date: **26.05.2026**
Scale: **1:200**

Revision: **A**
Email: **admin@sjmpd.com.au**
Job Number: **871H**
Sheet:

02

FLYSCREENS FOR ALL WINDOWS

NOTE:
CLADDING AND DO NOT INCLUDE LIGHT WEIGHT USED DIMENSIONS ARE TO FRAME ONLY WHERE LIGHT WEIGHT CLADDING IS.

DECKS AND OUTDOOR AREAS ARE CALCULATED BUILDING AND GARAGE, UNLESS OTHERWISE STATED. FLOOR AREAS INCLUDE TO EXTERNAL FACE OF SEPARATELY.

NON SLIP STAIRS
260 GOING
180 RISER PROVISIONS PART 11.2 TO COMPLY ABCB HOUSING

LEGEND

- OHC OVERHEAD CUPBOARDS
- N. 600 x 300 SHR NICHE
- HWC HOT WATER CYLINDER
- G.S. GLASS SCREEN
- S/D SLIDING DOOR
- CSD CAVITY SLIDING DOOR

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Drawing: Elevations

Stage: PLANNING

Client: SJM Property Developments

Project: 153 Lytham Cres,
Midway Point.

Drawn by: M.K

Accreditation: Sam Morse
942366295

Date: 26.05.2026

Scale: 1:100

Revision: -

Email: admin@sjmpd.com.au

Job Number: 871H

Sheet:

03

TOTAL AREA

House Area: 154m²
Porch Area: 1.8m²
Con. Landing: 1.0m²
Deck Area: 10.5m²

FLOOR PLAN

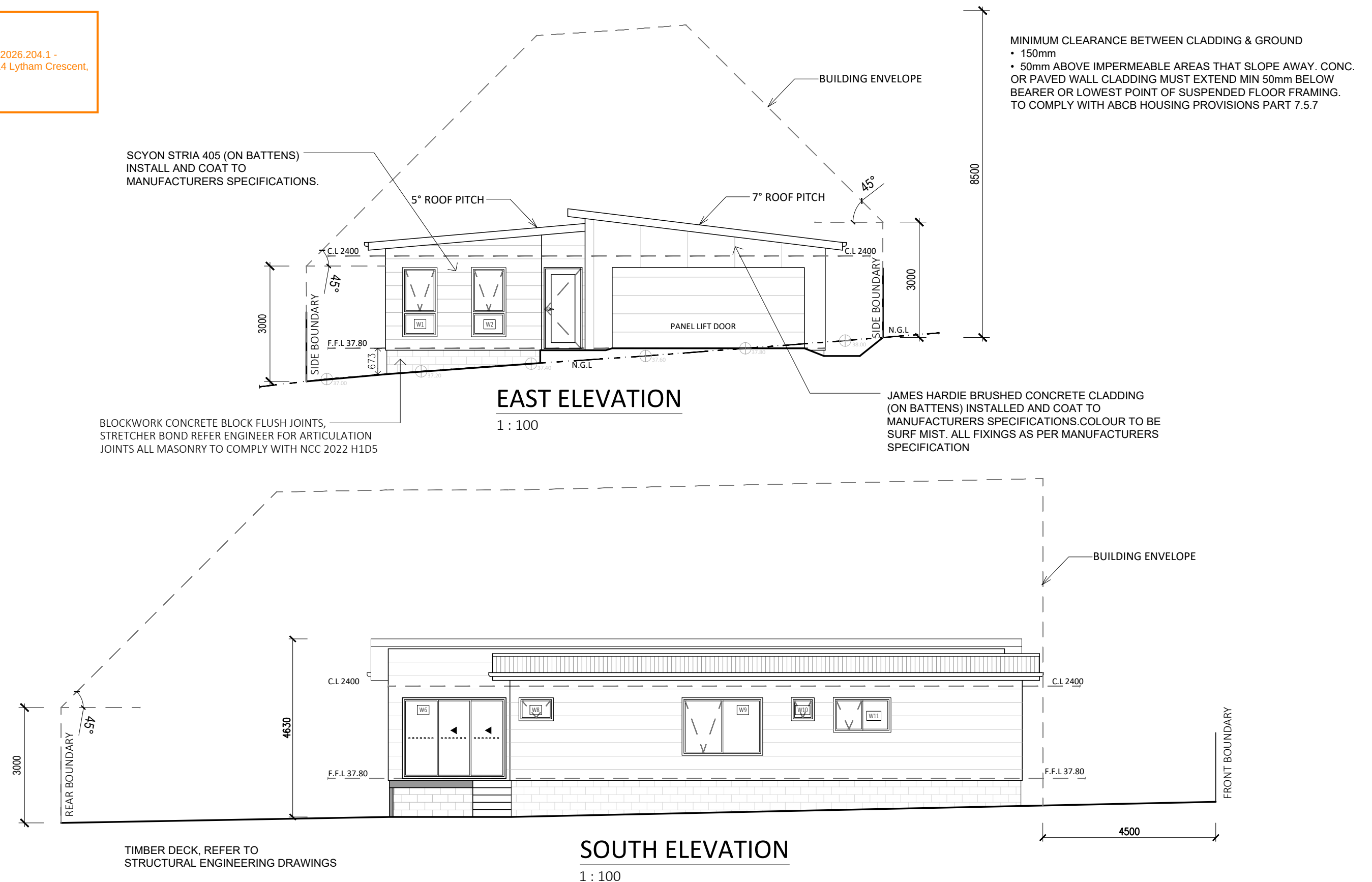
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Sorell Council

Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026



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Drawing:	Elevations
Stage:	PLANNING
Client:	SJM Property Developments
Project:	153 Lytham Cres, Midway Point.

Drawn by:	M.K
Accreditation:	Sam Morse 942366295
Date:	26.05.2026
Scale:	1:100

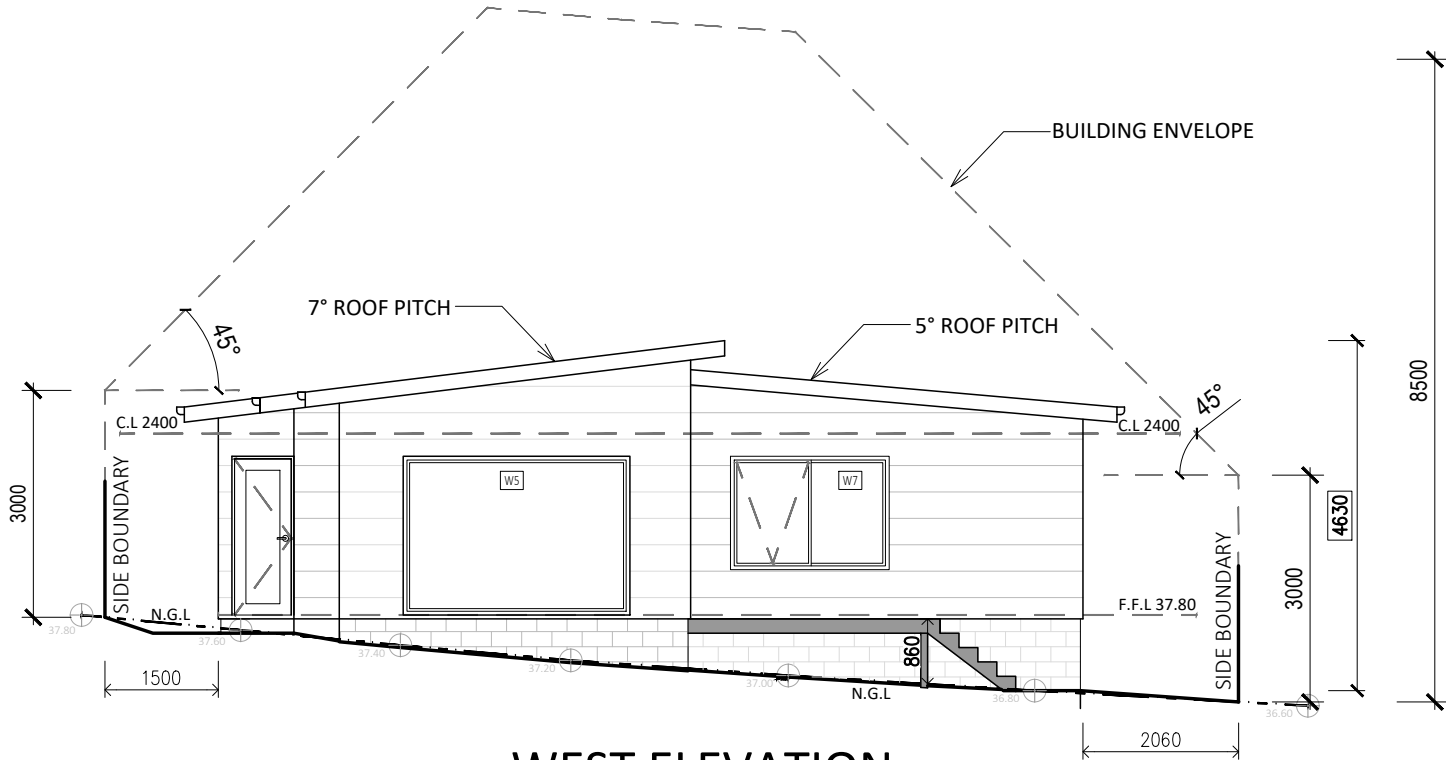
Revision:	-
Email:	admin@sjmpd.com.au
Job Number:	871H
Sheet:	

04



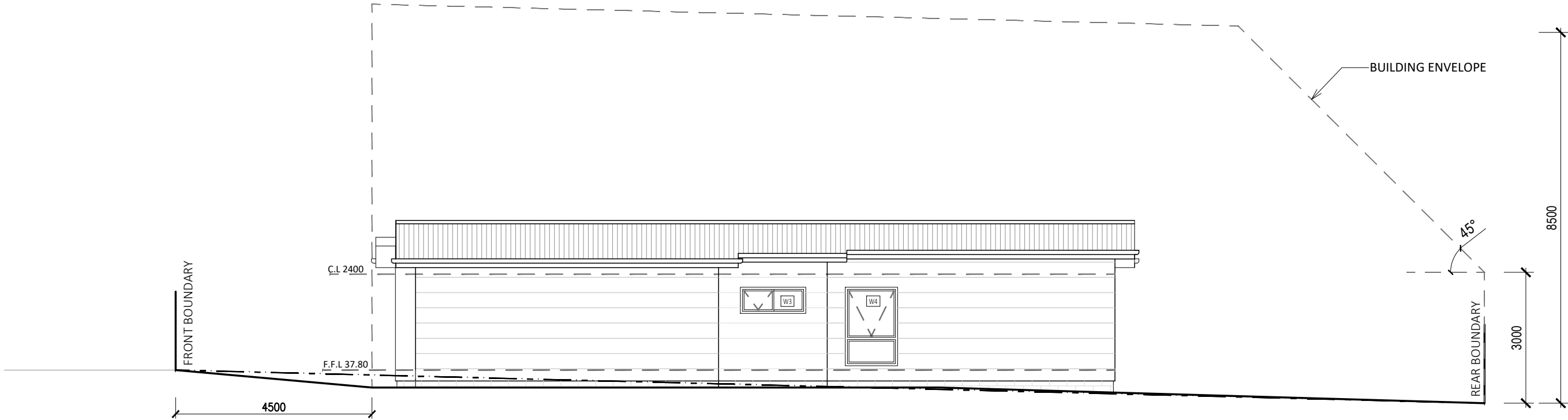
Sorell Council

Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf
Plans Reference: P1
Date Received: 18/06/2026



WEST ELEVATION

1 : 100



NORTH ELEVATION

1 : 100

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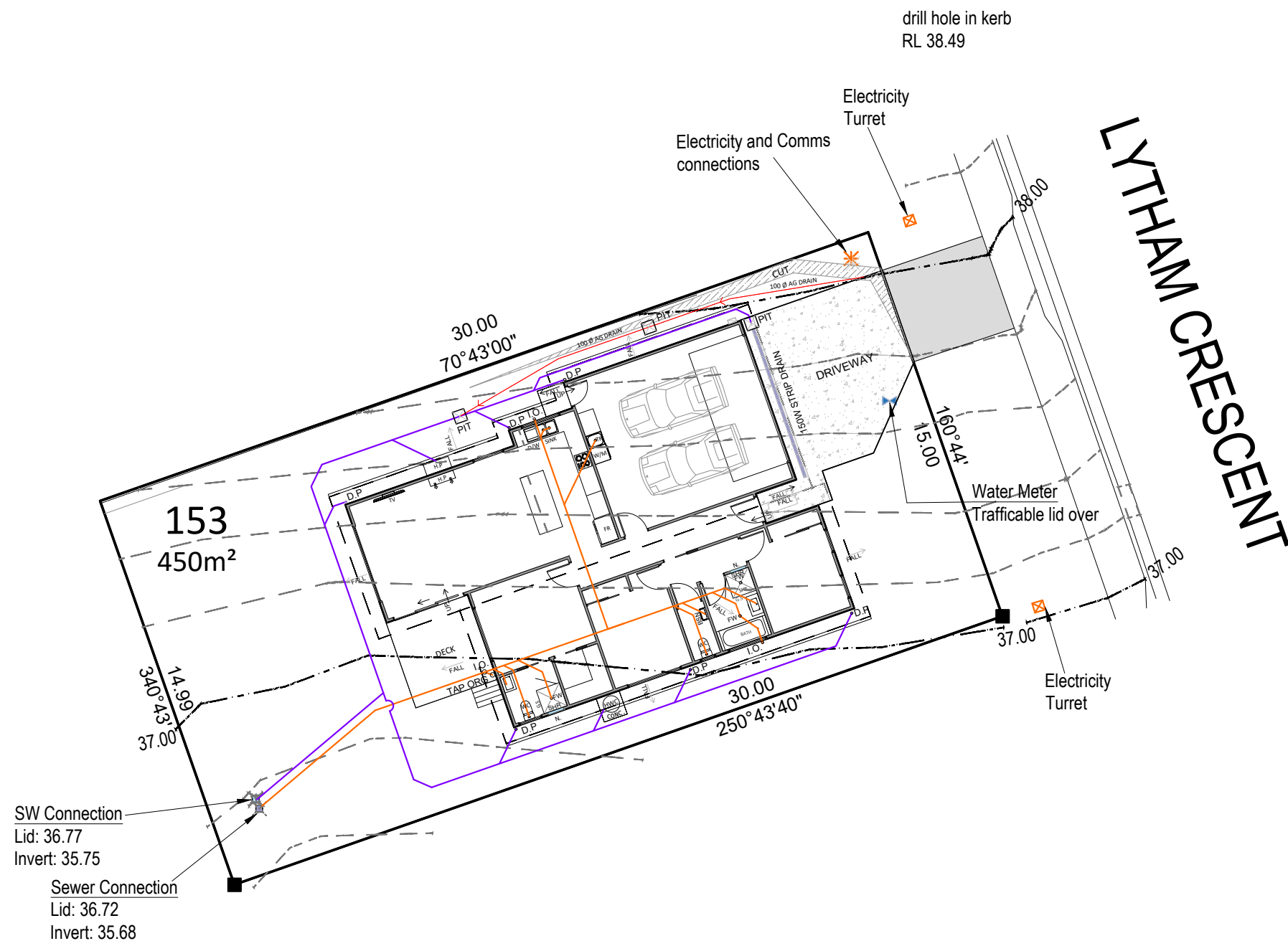


Drawing:	Elevations
Stage:	PLANNING
Client:	SJM Property Developments
Project:	153 Lytham Cres, Midway Point.

Drawn by:	M.K
Accreditation:	Sam Morse 942366295
Date:	26.05.2026
Scale:	1:100

Revision:	-
Email:	admin@sjmpd.com.au
Job Number:	871H
Sheet:	

05



LEGEND

- GP 450X 450 SURFACE DRAINAGE PIT
- SEWER LINE
- STORMWATER LINE
- 100Ø AG DRAIN

PLUMBING NOTES:

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NOTE:

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SEWER AND WATER SERVICES:

- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
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PITS: ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3

ORGS: OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2

S/W: STORMWATER PIPES TO BE SIZED PER ASNZS 3500.2021 PART 3 DRAINAGE VENTS TO BE

VENTS: LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2

CONNECT STORMWATER TO COUNCIL STORMWATER LOT CONNECTION

NEW DN32 (I.D. 25) HDPE (PE100) SDR11 PN16 WATER CONNECTION AND INSTALLATION FOR 2x ID20mm WATER METERS ON A MANIFOLD AS PER TASWATER STANDARD DRAWING (TWS-W-0002) SHEET 9 BY TASWATER AT DEVELOPERS COST. RE-USE EXISTING METER

NOTE:
PLUMBING MAY BE SUBJECT TO CHANGE DUE TO UNFORESEEN SITE/HEIGHT CONDITIONS.

- SP SEDIMENT PIT - 300X300 EVERHART SURFACE DRAINAGE PIT
- GP GRATED PIT - 450x450 SURFACE DRAINAGE PIT AT LOCATION OF DRIVEWAY/BATTERS



Sorell Council

Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf

Plans Reference: P1
Date Received: 18/06/2026

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SJM
property
developments

Drawing: Site Drairage Plan
Stage: PLANNING
Client: SJM Property Developments
Project: 153 Lytham Cres,
Midway Point.

Drawn by: M.K
Accreditation: Sam Morse
942366295
Date: 26.05.2026
Scale: 1:100

Revision: -
Email: admin@sjmpd.com.au
Job Number: 871H
Sheet:

07

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL ENTRY DOOR	TO COMPLY LHDS. REFER TO PLAN
2	870	INTERNAL TIMBER DOOR	
3	870	INTERNAL TIMBER DOOR	
4	870	INTERNAL TIMBER DOOR	
5	870	INTERNAL TIMBER DOOR	
6	870	CAVITY SLIDING DOOR	
7	870	INTERNAL TIMBER DOOR	
8	720	GLAZED EXTERNAL DOOR	
9	870	INTERNAL TIMBER DOOR	
10	820	CAVITY SLIDING DOOR	
11	820	CAVITY SLIDING DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	910	AWNING WINDOW	
W2	1800	910	AWNING WINDOW	
W3	1800	1510	AWNING WINDOW	
W4	1800	1210	AWNING WINDOW	
W5	2100	3010	FULL GLASS PANEL WINDOW	
W6	2100	2770	STACKING SLIDING DOOR	
W7	1500	2110	AWNING WINDOW	
W8	600	910	AWNING WINDOW	OPAQUE
W9	1500	2110	AWNING WINDOW	
W10	600	610	AWNING WINDOW	OPAQUE
W11	900	1510	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE
WITH FLY SCREENS TO SUIT 12.5 BAL RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING.
NOTE: ALL GLAZING TO BE LOW REFLECTANCE GLAZING TO COMPLY
WITH CLA-S4.7.1 BIRD STRIKE - A1

WINDOW SPECIFICATIONS- BRADNAMS:		
DOUBLE GLAZED CLEAR, AWNING:	U=4.24	SHGC= 0.56
DOUBLE GLAZED CLEAR, HINGED DOOR	U= 4.35	SHGC= 0.55
DOUBLE GLAZED CLEAR, SLIDING DOOR	U=3.84	SHGC= 0.65

NOTE: ALL ORIENTATION ARROWS TO TRUE NORTH



Sorell Council
Development Application: 5.2026.204.1 -
Development Application - 14 Lytham Crescent,
Midway Point - P1.pdf
Plans Reference: P1
Date Received: 18/06/2026

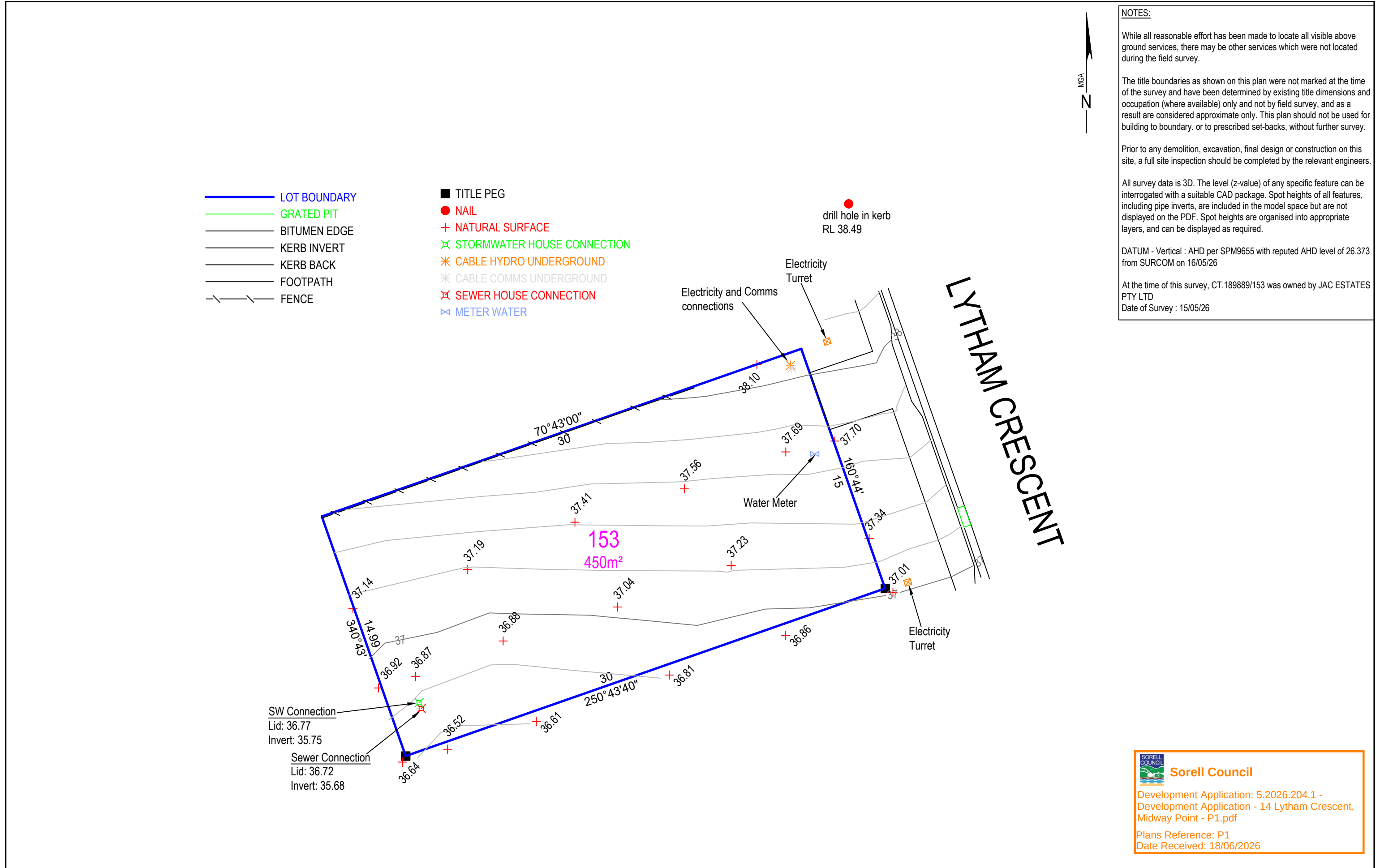
- GENERAL NOTES:
- Check & verify all dimensions & levels on site
 - Written dimensions to take preference over scaled
 - All work to be strictly in accordance with NCC 2022, all codes & local authority by-laws
 - All dimensions indicated are frame to frame and do not allow for wall linings.



Drawing: **Door & Window Schedule**
Stage: **PLANNING**
Client: **SJM Property Developments**
Project: **153 Lytham Cres,
Midway Point.**

Drawn by: **M.K**
Accreditation: **Sam Morse
942366295**
Date: **26.05.2026**
Scale: **1:100**

Revision: **-**
Email: **admin@sjmpd.com.au**
Job Number: **871H**
Sheet:



NOTES:

While all reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during the field survey.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by existing title dimensions and occupation (where available) only and not by field survey, and as a result are considered approximate only. This plan should not be used for building to boundary, or to prescribed set-backs, without further survey.

Prior to any demolition, excavation, final design or construction on this site, a full site inspection should be completed by the relevant engineers.

All survey data is 3D. The level (z-value) of any specific feature can be interrogated with a suitable CAD package. Spot heights of all features, including pipe inverts, are included in the model space but are not displayed on the PDF. Spot heights are organised into appropriate layers, and can be displayed as required.

DATUM - Vertical : AHD per SPM9655 with reputed AHD level of 26.373 from SURCOM on 16/05/26

At the time of this survey, CT.189889/153 was owned by JAC ESTATES PTY LTD
Date of Survey : 15/05/26

AMENDMENTS			Project Name and Address		Drawing Title	SCALE	Contour Interval	FILE REF:	
No.	Revision/Issue	Date							
			14 LYTHAM CRESCENT, MIDWAY POINT		DETAIL PLAN	0 1 2 3 4 6 8 1:200 at A3	0.200 m	15185	
LEARYCOX&CRIPPS LAND & ENGINEERING SURVEYORS			Unit G04 40 Molle Street, HOBART TAS 7000 P 03 6118 2030 E admin@lccsurvey.com		Client SJM PROPERTY DEVELOPMENTS CT 189889/153	THIS DOCUMENT IS, AND SHALL REMAIN, THE PROPERTY OF LEARY, COX & CRIPPS, LAND & ENGINEERING SURVEYORS. THE DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THE DOCUMENT IN ANY WAY IS PROHIBITED.	Date 16 / 05 / 26	SHEET 1 of 1	Geocivil Ref AutoCAD Ref GDA2020 AHD
								DRAWN CHK'D	TD TC