

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:**4 INVERNESS STREET, MIDWAY POINT****PROPOSED DEVELOPMENT:****DWELLING CT 184510/37**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 27th July 2026**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received no later than **Monday 27th July 2026**.

APPLICATION NO: 5.2026-174.1
DATE: 10 JULY 2026



Annotations

- Polygon1

Roads

- DSG Roads
- Council Roads

Property

- property
- Titles



Disclaimer

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

50 m



Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use: Dwelling
	Development: New single dwelling
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal:	\$ 550,000

Is all, or some the work already constructed:	No: ☒ Yes: ☐
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Location of proposed works:	Street address: 4 Inverness St
	Suburb: Midway Point Postcode: 7171
	Certificate of Title(s) Volume: 184510 Folio: 37

Current Use of Site	vacant land
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Current Owner/s:	Name(s) Lyden Developments
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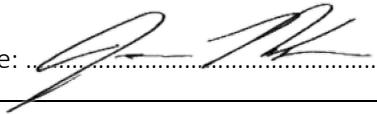
Is the Property on the Tasmanian Heritage Register?	No: ☒ Yes: ☐	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: ☒ Yes: ☐	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: ☒ Yes: ☐	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: ☒ Yes: ☐	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: ☒ Yes: ☐	<i>If yes, please complete the Council or Crown land section on page 3</i>

If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form https://www.sorell.tas.gov.au/services/engineering/
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Sorell Council

Development Application: 5.2026.174.1 -
Development Application - 4 Inverness Street,
Midway Point - P1.pdf
Plans Reference: P1
Date Received: 27/05/2026

Declarations and acknowledgements	
- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land. - I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours. - I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies. - I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application. - I/we declare that the information in this application is true and correct. <i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i>	
I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.	
Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent.	
Applicant Signature:	Signature:  Date: <u>27/05/2026</u>

Crown or General Manager Land Owner Consent	
If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>). Please note: - If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au - If the application involves Crown land you will also need a letter of consent. - Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.	
I _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application for _____	
 Sorell Council Development Application: 5.2026.174.1 - Development Application - 4 Inverness Street, Midway Point - P1.pdf Plans Reference: P1 Date Received: 27/05/2026	
Signature of General Manager, Minister or Delegate:	Signature: _____ Date: _____

SEARCH OF TORRENS TITLE

VOLUME 184510	FOLIO 37
EDITION 2	DATE OF ISSUE 01-June-2023

SEARCH DATE : 27-May-2026

SEARCH TIME : 02.27 pm

DESCRIPTION OF LAND

Parish of SORELL Land District of PEMBROKE

Lot 37 on Sealed Plan [184510](#)

Derivation : Part of Lot 306, 120 Acres Gtd. to John Lord

Prior CT [183934/1000](#)SCHEDULE 1

[M871097](#) TRANSFER to JAC ESTATES PTY LTD Registered
17-Feb-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP184510](#) COVENANTS in Schedule of Easements[SP184510](#) FENCING COVENANT in Schedule of Easements[SP183934](#) COVENANTS in Schedule of Easements[SP183934](#) FENCING PROVISION in Schedule of Easements[SP14888](#) FENCING COVENANT in Schedule of Easements[SP14888](#) COUNCIL NOTIFICATION under Section 468(12) of the
Local Government Act 1962[M871097](#) FENCING CONDITION in TransferUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**Sorell Council**

Development Application: 5.2026.174.1 -
Development Application - 4 Inverness Street,
Midway Point - P1.pdf
Plans Reference:P1
Date Received:27/05/2026

SCHEDULE OF EASEMENTS NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	Registered Number SP. 18 45 10
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PAGE 1 OF 5 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS**Taswater**

Lots 26-29 (inclusive) & 1000 are subject to a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE & DRAINAGE EASEMENT 'A' 3.50 WIDE" as shown on the plan ("the Easement Land").

Lots 45 & 1000 are subject to a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'E' 3.50 WIDE & DRAINAGE EASEMENT 'E' 3.50 WIDE" as shown on the plan ("the Easement Land").

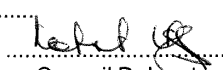
Lot 1000 is subject to a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'D' 3.50 WIDE & DRAINAGE EASEMENT 'D' 3.50 WIDE" as shown on the plan ("the Easement Land").

Lot 1000 is subject to a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'C' 3.50 WIDE & DRAINAGE EASEMENT 'C' 3.50 WIDE" as shown on the plan ("the Easement Land").

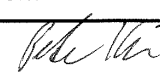
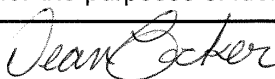
Lot 1000 is subject to a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'G' 3.50 WIDE & DRAINAGE EASEMENT 'G' 3.50 WIDE" as shown on the plan ("the Easement Land").

Lot 1000 is subject to a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'J' VARIABLE WIDTH & DRAINAGE EASEMENT 'J' VARIABLE WIDTH" as shown on the plan ("the Easement Land").

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REF: 183934/1000 SOLICITOR & REFERENCE: Butler McIntyre & Butler (JS:222841)	PLAN SEALED BY: SORELL COUNCIL DATE: 27.3.23 SA 2020/00006 - 1 REF NO.  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 5 PAGES	Registered Number SP. 184510
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 183934/1000	

Drainage

Lots 26-29 (inclusive) & 1000 are subject to a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE & DRAINAGE EASEMENT 'A' 3.50 WIDE" as shown on the plan ("the Easement Land").

Lots 45 & 1000 are subject to a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'E' 3.50 WIDE & DRAINAGE EASEMENT 'E' 3.50 WIDE" as shown on the plan.

Lot 1000 is subject to a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'D' 3.50 WIDE & DRAINAGE EASEMENT 'D' 3.50 WIDE" as shown on the plan.

Lot 1000 is subject to a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'C' 3.50 WIDE & DRAINAGE EASEMENT 'C' 3.50 WIDE" as shown on the plan.

Lot 1000 is subject to a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'G' 3.50 WIDE & DRAINAGE EASEMENT 'G' 3.50 WIDE" as shown on the plan ("the Easement Land").

Lot 1000 is subject to a ^{RIGHT OF} Drainage Easement in gross in favour of the ^{Sorell Council} ~~Tasmanian Water and Sewerage Corporation Pty Ltd~~, its successors and assigns (~~TasWater~~) over the land marked "PIPELINE AND SERVICES EASEMENT 'J' VARIABLE WIDTH & DRAINAGE EASEMENT 'J' VARIABLE WIDTH" as shown on the plan ("the Easement Land"). _{9.6.23}

Pipeline

Lot 1000 is subject to an easement in favour of Metropolitan Water Board over the area marked "PIPELINE EASEMENT 10.06M ^{WIDE} (563/6D)" shown on the Plan and fully set forth in sealed plan 14888.

Lot 1000 is subject to an easement for pipeline rights in favour of Sorell Council over the area marked "PIPELINE EASEMENT 10.06M ^{WIDE} (563/6D)" shown on the Plan and fully set forth in transfer B912948.

Definitions:

"Pipeline and Services Easement" is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;

Director *[Signature]*

Director *[Signature]*

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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Sorell Council
 Development Application: 5.2026.174.1 -
 Development Application - 4 Inverness Street,
 Midway Point - P1.pdf
 Plans Reference: P1
 Date Received: 27/05/2026

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 5 PAGES	Registered Number SP 184510
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 183934/1000	

- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;

Director

Director



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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 5 PAGES	Registered Number SP, 18 4 5 1 0
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 183934/1000	

- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

“**TasWater**” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

“**Owner**” means the registered proprietors of the Lot from time to time.

“**Right of Drainage**” means a right of drainage as defined within Schedule 8 of the Conveyancing and Law of Property Act 1884 (Tas).

“**Right of Carriageway**” means a right of carriage way as defined within Schedule 8 of the Conveyancing and Law of Property Act 1884 (Tas).

FENCING PROVISION COVENANT

In respect to the lots on the plan, the owners of each lot on the plan covenants the vendor (JAC ESTATES PTY LTD) that the vendor shall not be required to fence.

COVENANTS

The owners of lot 1000 on the Plan covenants in gross with the Sorell Council to the intent that the burden of these covenants may run with and bind the covenantor's lot and each and every part of it and that the benefit of these covenants shall be annexed to and devolve with Sorell Council to observe the following stipulation:

- Not to construct, or allow to be constructed, any habitable room within a dwelling within the area marked A B C on the plan.

The owners of lots 26-29, 34, 35, 37, 39 & 45 on the Plan covenants in gross with the Sorell Council to the intent that the burden of these covenants may run with and bind the covenantor's lot and each and every part of it and that the benefit of these covenants shall be annexed to and devolve with Sorell Council to observe the following stipulation:

- not to construct on a lot a dwelling without :
 - i) A minimum 5,000 litre rain water tank fitted to collect all roof runoff; and
 - ii) Such tank shall be installed with minimum retention storage of 2000 litres and be plumbed into toilets so that re-use occurs, with top up from the reticulated water supply.

The owners of lot 1000 on the Plan covenants in gross with the Sorell Council to the intent that the burden of these covenants may run with and bind the covenantor's lot and each and every part of it and that the benefit of these covenants shall be annexed to and devolve with Sorell Council to observe the following stipulation not to allow vehicular access to Penna Road.

Director

Director.....

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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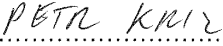


ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 5 PAGES	Registered Number SP 184510
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 183934/1000	

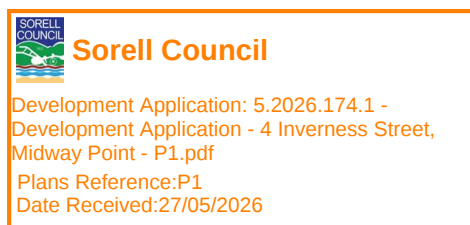
EXECUTED by **JAC ESTATES PTY LTD (ACN 638 495 182)** pursuant to section 127 of the Corporations Act 2001
by:


.....
Director Signature


.....
Director/ ~~Secretary~~ Signature


.....
Director Full Name (print)


.....
Director/ ~~Secretary~~ Full Name



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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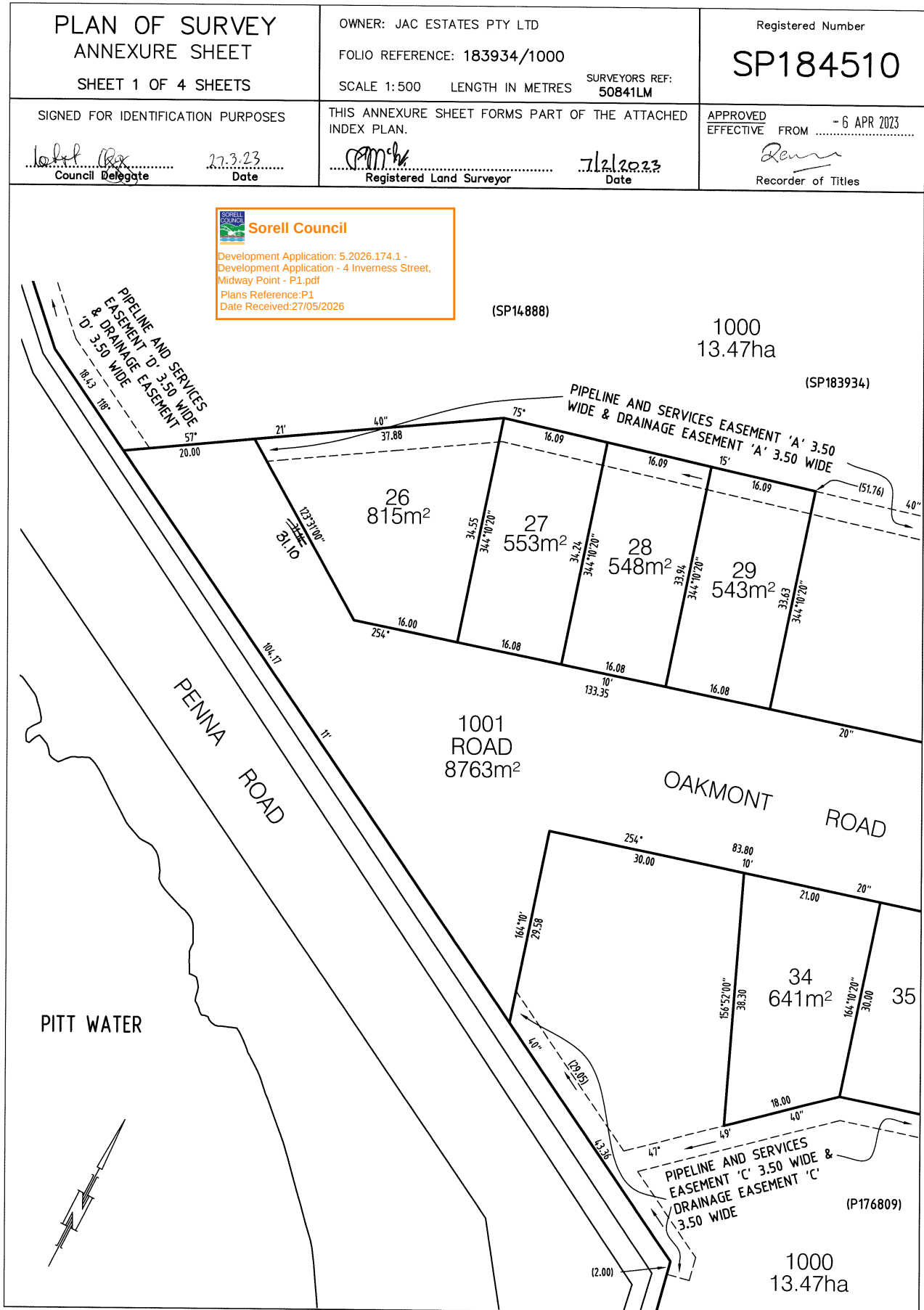
OWNER: JAC ESTATES PTY LTD FOLIO REFERENCE: 183934/1000 GRANTEE: PART OF LOT 306, 120 ACRES GTD TO JOHN LORD	PLAN OF SURVEY BY SURVEYOR: OPDA A. P. McINDOE of SURVEYORS, ENGINEERS & PLANNERS 6 FREEMAN STREET, KINGSTON LOCATION: PEMBROKE-SORELL	Registered Number SP184510 APPROVED EFFECTIVE FROM - 6 APR 2023 Recorder of Titles
SCALE 1: 2500 LENGTHS IN METRES SURVEYORS REF 50841LM		

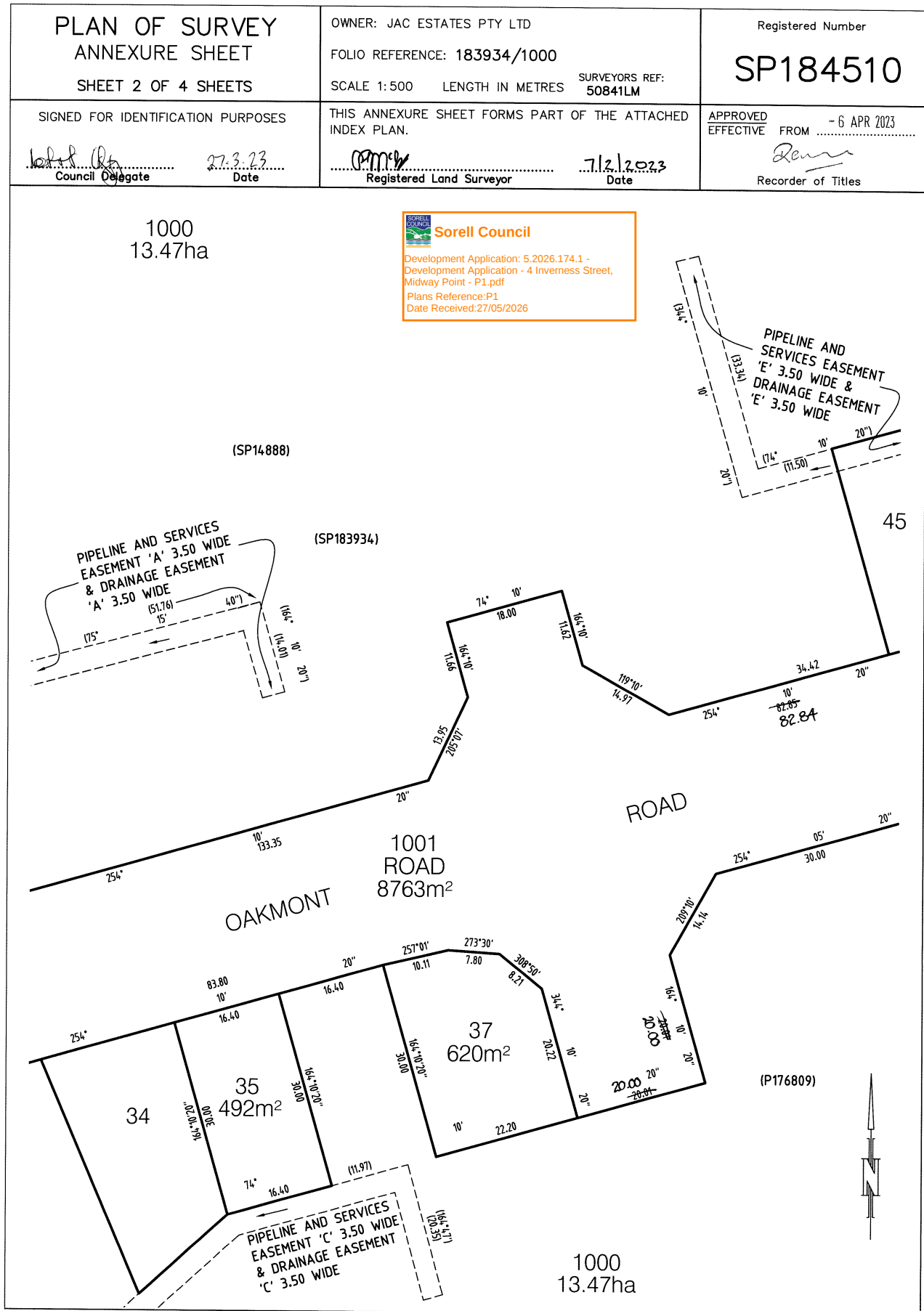
INDEX PLAN
LOT 1000 WAS COMPILED FROM
SP183934 & THIS SURVEY

PRIORITY FINAL PLAN ALL EXISTING SURVEY NUMBERS TO BE
CROSS REFERENCED ON THIS PLAN

Sorell Council
Development Application: 5.2026.174.1 -
Development Application - 4 Inverness Street,
Midway Point - P1.pdf
Plans Reference: P1
Date Received: 27/05/2026

 Registered Land Surveyor	7/2/2023 Date
 Council Delegate	27.3.23 Date





PLAN OF SURVEY ANNEXURE SHEET SHEET 3 OF 4 SHEETS	OWNER: JAC ESTATES PTY LTD FOLIO REFERENCE: 183934/1000 SCALE 1:500 LENGTH IN METRES SURVEYORS REF: 50841LM	Registered Number SP184510
SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> 27.3.23 Council Delegate Date	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. <i>[Signature]</i> 7/2/2023 Registered Land Surveyor Date	APPROVED EFFECTIVE FROM - 6 APR 2023 <i>[Signature]</i> Recorder of Titles

(SP14888)

(P176809)

1000
13.47ha

PIPELINE AND SERVICES EASEMENT 'E' 3.50 WIDE
& DRAINAGE EASEMENT 'E' 3.50 WIDE

45
518m²

32.10 34.42 25.42 16.14 10' 32.28 20" 26.00 14.71 20" 45.00 90.00 05' 15.00 30.00 74° 30.00 15.00 25.42 10' 30.00 30.00 15.00 25.42 10'

1001 ROAD 8763m²

ROAD

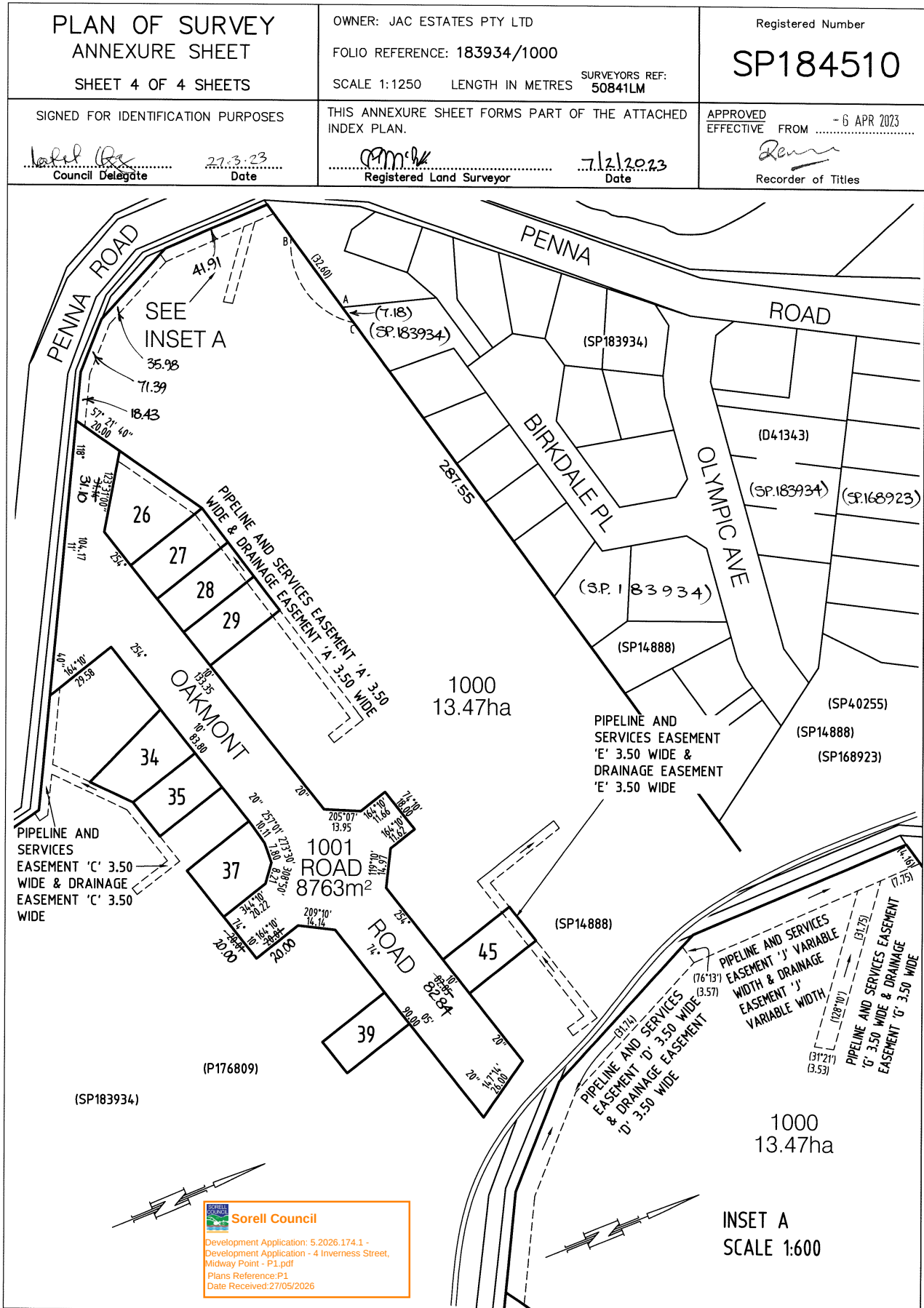
OAKMONT

39
451m²

(SP183934)

Sorell Council

Development Application: 5.2026.174.1 -
Development Application - 4 Inverness Street,
Midway Point - P1.pdf
Plans Reference: P1
Date Received: 27/05/2026



P I N N A C L E

PINNACLE



Note: The images provided are artistic representations only and should not be used as references for final colours, finishes, or external/internal features.

4 Inverness Street, Midway Point - 7171

Owner(s) or Clients	Lyden Builders Pty Ltd	Title Reference	184510/37
Building Classification	1a & 10a	Zoning	General Residential
Designer	Jason Nickerson CC6073Y	Land Size	620m ²
Alpine Area	N/A	Design Wind Speed	TBA
Other Hazards	Waterway and coastal protection area, Airport obstacle limitation area, Bushfire-prone areas	Soil Classification	TBA
		Climate Zone	7
		Corrosion Environment	High
		Bushfire Attack Level (BAL)	TBA

Changes List			
Issue	Description of change	Date	Designer

Building Area

PROPOSED DECK 1	19.92
PROPOSED DECK 2	23.07
PROPOSED DWELLING	205.17
	248.16 m ²

**Sorell Council**
Development Application: 5.2026.174.1 -
Response to Request For Information - 4
Inverness Street, Midway Point - P2.pdf
Plans Reference: P1
Date Received: 01/07/2026

ID	Sheet Name	Issue
A.01	Site Plan	DA - 03
A.02	Floor Plan	DA - 03
A.03	Elevations	DA - 03
A.04	Elevations	DA - 03
A.05	Roof Plan	DA - 03
A.06	Electrical Plan - Light/Reflected Ceiling	DA - 03
A.07	Electrical Plan - Power	DA - 03
.1	Shadow Diagrams 21st June	DA - 03
.2	Shadow Diagrams 21st June	DA - 03
.3	Shadow Diagrams 21st June	DA - 03

Legend

- Electrical Connection
- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant
- Solar Bollard Light
- Spotlight with sensor

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

- Surface water must be diverted away from a Class 1 building as follows:
- (a) Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than
- (i) 25mm over the first 1m from the building
- (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claypaving); or
- (B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or
- (ii) 50 mm over the first 1 m from the building in any other case.
- (b) Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces must be not less than
- (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or
- (ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with (a); or
- (iii) 150 mm in any other case.
- (c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

- Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-
- (a) be graded with a uniform fall of not less than 1:300; and
- (b) discharge into an external silt pit or sump with-
- (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

Note

All driveway pits and grate drains to be **Class B**.

Stormwater pits are indicative. Location may vary depending on site conditions.

PINNACLE

PINNACLE DRAFTING & DESIGN
7/3 Abernant Way, Cambridge 7170
03 6248 4218
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Site Plan

Revision: DA - 03
Approved by: #Approved by

Scale: 1:200, 1:400, 1:600
Pg. No: A.01

Proposal: New Dwelling
Client: Lyden Builders Pty Ltd
Address: 4 Inverness Street, Midway Point - 7171

Date: 2026.04.01
Drawn by: JN & JM
Job No: 009-2026
Engineer: TBA
Building Surveyor: LTBS

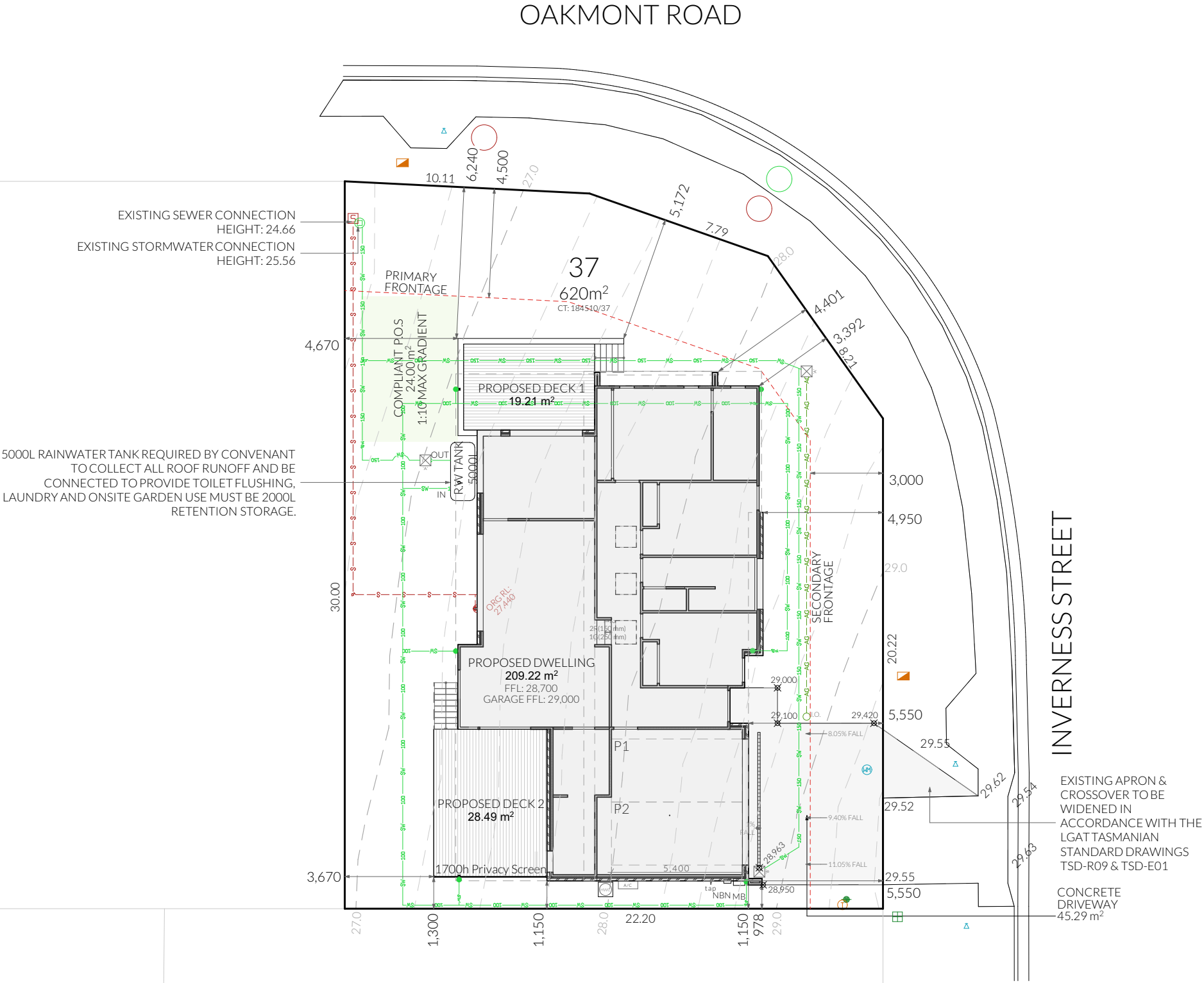
Issue	Date	Designer
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Survey Notes from Surveyor

"THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR LYDEN BUILDERS FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

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IF SUBSEQUENT DESIGN IS INTENDED FOR CONSTRUCTION SETOUT, FUTURE SURVEYING SETOUT COSTS ARE INCREASED IF THE DIGITAL DATA PROVIDED IS ROTATED, SCALED OR MOVED.

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SORELL COUNCIL

Development Application: 5.2026.174.1 - Response to Request For Information - 4 Inverness Street, Midway Point - P2.pdf
Plans Reference: P1
Date Received: 01/07/2026

Building Area

PROPOSED DWELLING	209.22
PROPOSED DECK 1	19.21
PROPOSED DECK 2	28.49

256.92 m²



—(AJ) Articulation Joint

Ⓢ Smoke Alarm

Construction of sanitary
compartments 10.4.2 of NCC
2022

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the *sanitary compartment* and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:

Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms & other spaces 10.3.1 of NCC 2022

Heights of rooms and other spaces must not be less than;

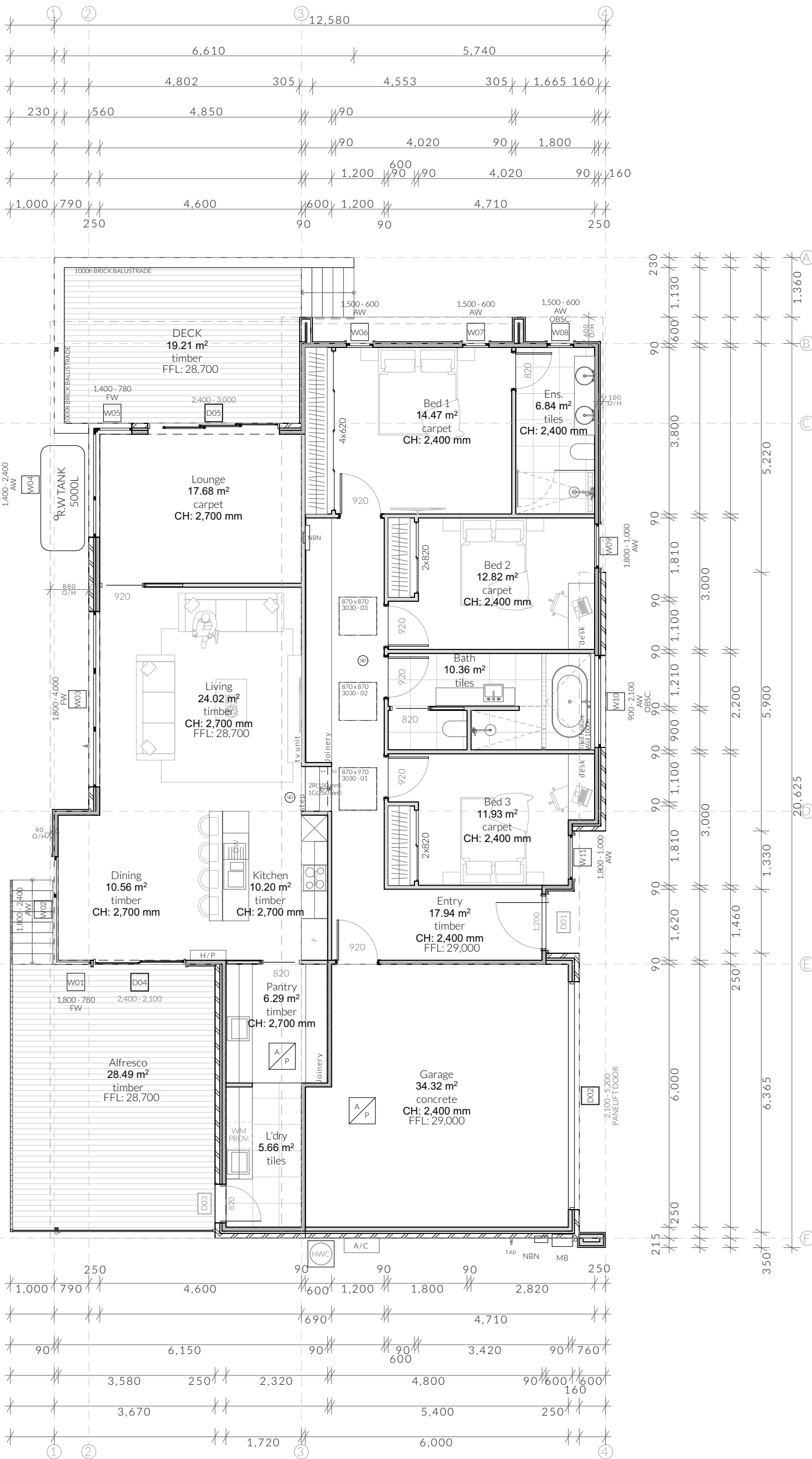
- (a) in a *habitable room* excluding a kitchen - 2.4 m; and
- (b) in a kitchen - 2.1 m; and
- (c) in a corridor, passageway or the like - 2.1 m; and
- (d) in a bathroom, shower room, laundry, *sanitary compartment*, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and
- (e) in a room or space with a sloping ceiling or projections below the ceiling line within- See NCC directly for these items
- (f) in a stairway, ramp, *landing*, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, *landing* or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact *Pinnacle* before undertaking works.



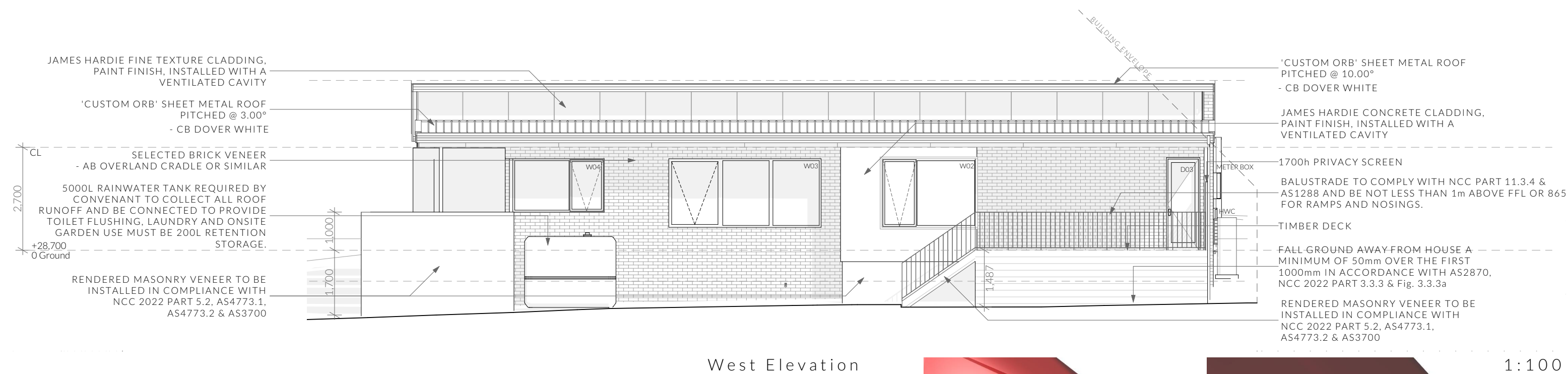
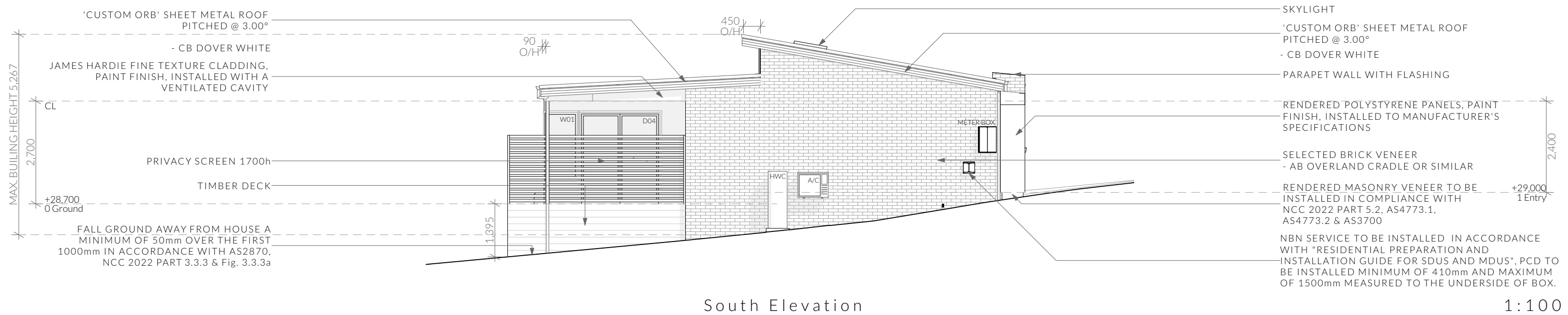
Building Area

PROPOSED DWELLING	209.22
PROPOSED DECK 1	19.21
PROPOSED DECK 2	28.49
	256.92 m²



NOT FOR CONSTRUCTION

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			NOTE: Refer to cover page for further details on changes.				
Floor Plan Revision: DA - 03 Approved by: #Approved by		Scale: 1:100 @A3 Pg. No: A.02	Proposal: New Dwelling Client: Lyden Builders Pty Ltd Address: 4 Inverness Street, Midway Point - 7171	Date: 2026.04.01 Drawn by: JN & JM Job No: 009-2026 Engineer: TBA Building Surveyor: LTBS		These drawings are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2026. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS: All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, omissions or omissions caused by contractors and builders not following colour-printed plans.	 Lydenbuilders CONSTRUCTORS & JOINERS  bdqa BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA



Sorell Council

Development Application: 5.2026.174.1 - Response to Request For Information - 4 Inverness Street, Midway Point - P2.pdf

Plans Reference: P1

Date Received: 01/07/2026

NOTE

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

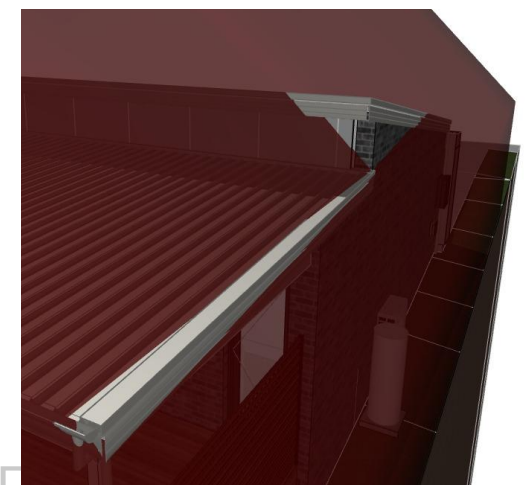
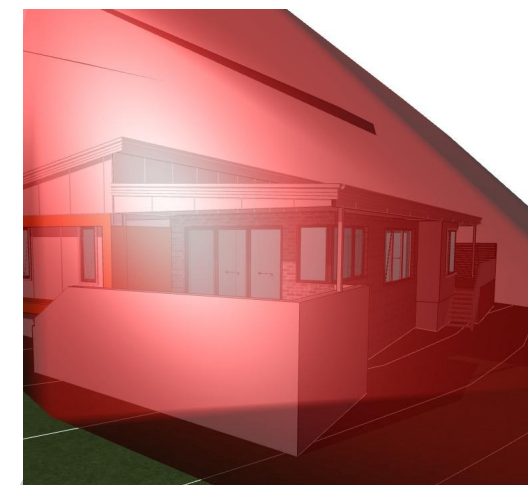
As per NCC parts 11.3.7 and 11.3.8, Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2

Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700



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					NOTE: Refer to cover page for further details on changes.	

Ventilation of roof spaces NCC 2022
Part 10.8.3

A roof must have a roof space that-

- (a)is located-
 - (i)immediately above the primary insulation layer; or
 - (ii)immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or
 - (iii)immediately above ceiling insulation; and
- (b)has a height of not less than 20 mm; and
- (c)is either-
 - (i)ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
 - (ii)located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

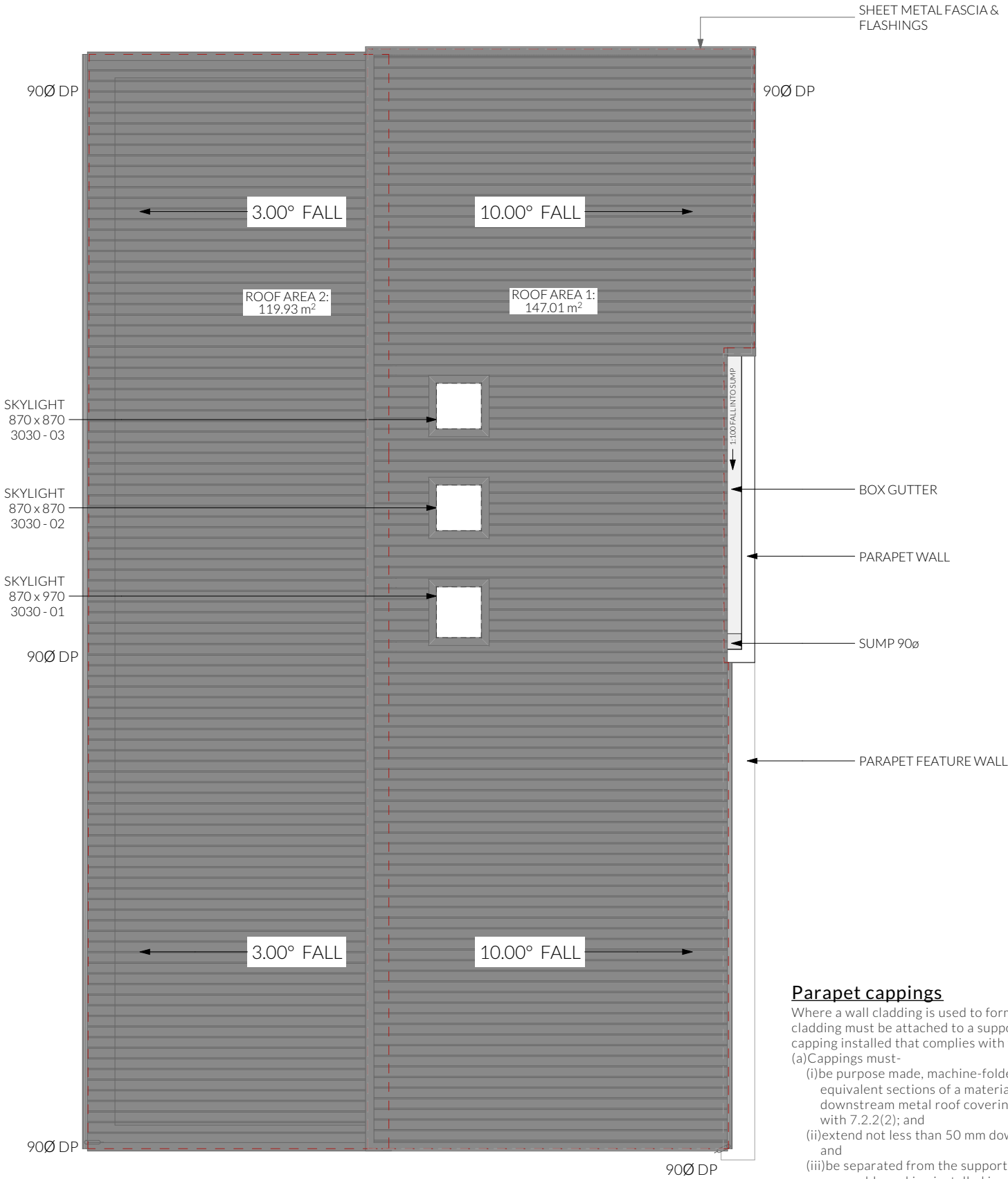
Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a)comply with AS/NZS 2908.2 or ISO 8336; and
- (b)be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
 - (i) 2.8 × 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.



Parapet cappings

Where a wall cladding is used to form a parapet wall, the cladding must be attached to a supporting frame and have a capping installed that complies with the following:

- (a)Cappings must-
 - (i)be purpose made, machine-folded sheet metal or equivalent sections of a material compatible with all up and downstream metal roof covering materials in accordance with 7.2.2(2); and
 - (ii)extend not less than 50 mm down the sides of the parapet; and
 - (iii)be separated from the supporting framing by a vapour permeable sarking installed in accordance with (f); and
 - (iv)be fixed with either self drilling screws or rivets with rubber washers at intervals of not more than 500 mm that do not penetrate the top of cappings, except at joints and corners.
- (b)The top of the capping must slope a minimum of 5 degrees.
- (c)Joints in cappings must-
 - (i)overlap by not less than 50 mm in the direction of flow; and
 - (ii)be securely fastened at intervals of not more than 40 mm; and
 - (iii)have sealant installed between laps.
- (d)Fixing for cappings must be compatible with the capping material in accordance with 7.2.2.
- (e)Lead cappings must not be used with prepainted steel or zinc/aluminium steel or on any roof if the roof is part of a drinking water catchment area.
- (f)Sarking must comply with AS 4200.1 and be installed behind all wall cladding where parapets are installed, with-
- (i)each adjoining sheet or roll being-
 - (A)overlapped not less than 150 mm; or
 - (B)taped together; and
- sarking fixed to supporting members at not more than 300 mm centres.



Development Application: 5.2026.174.1 -
Response to Request For Information - 4
Inverness Street, Midway Point - P2.pdf
Plans Reference: P1
Date Received: 01/07/2026

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Roof Plan

Revision: DA - 03
Approved by: #Approved by

Scale: 1:100 @ A3
Pg. No: A.05

Proposal: New Dwelling
Client: Lyden Builders Pty Ltd
Address: 4 Inverness Street, Midway Point - 7171

Date: 2026.04.01
Drawn by: JN & JM
Job No: 009-2026
Engineer: TBA
Building Surveyor: LTBS



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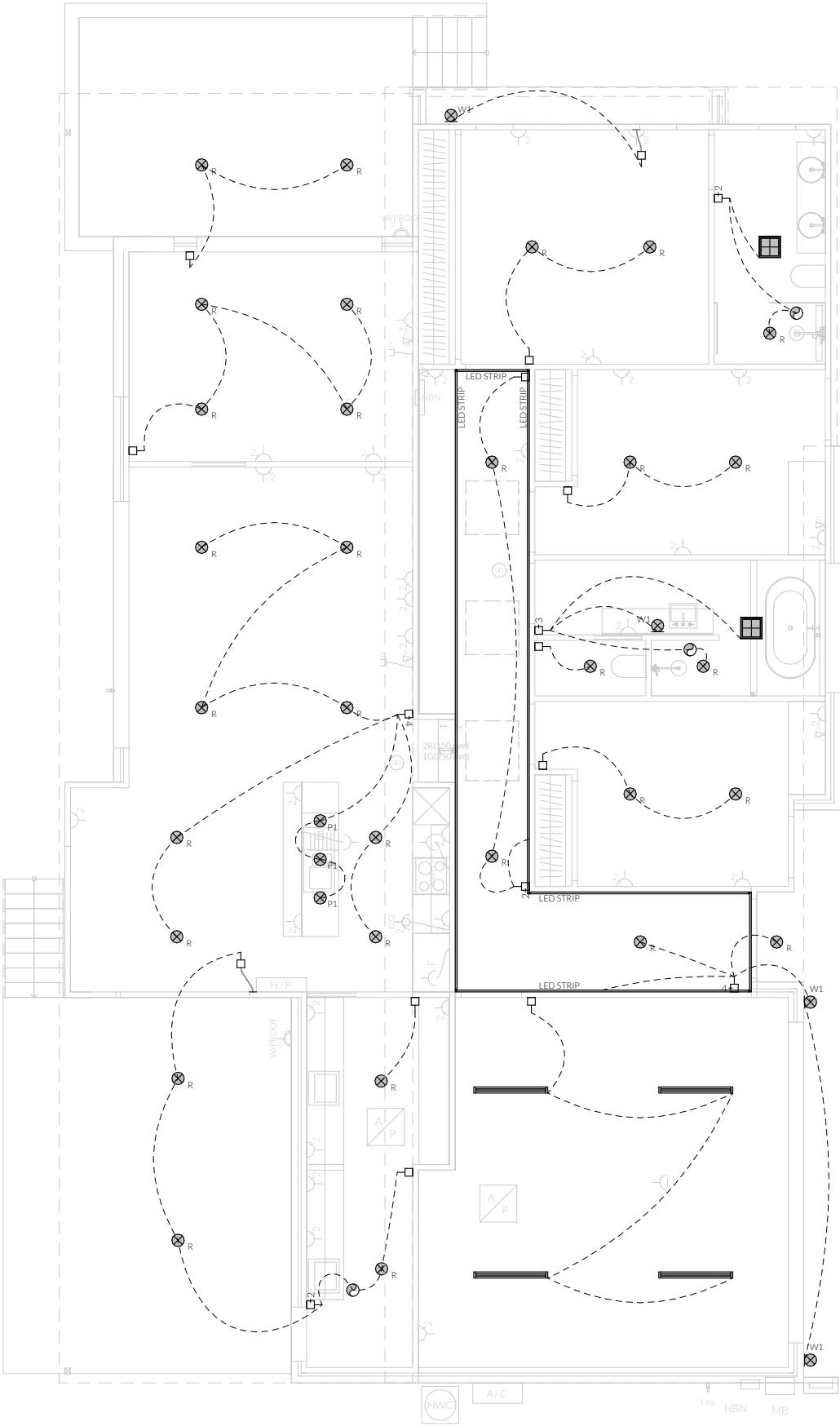


NOTE: Refer to cover page for further details on changes.

Issue Date Designer

ELECTRICAL LEGEND - Lower Floor

Symbol	Description	Allowance	Quantity
	DATA - CAT 6 (RJ45) - 2 GANG		5
	DATA - TV CONNECTION		2
	FAN - 3 IN 1 (4 LAMP)	10W (LIGHT)	2
	FAN - CEILING - EXHAUST		3
	GPO - (1) SINGLE		4
	GPO - (2) DOUBLE		33
	GPO - (2) DOUBLE (WITH COOKTOP ISOLATOR SWITCH)		1
	GPO - WEATHER PROOF DOUBLE		2
	LIGHT - CEILING - DOWNLIGHT RECESSED	10W	31
	LIGHT - CEILING - LED BATTEN	20W	4
	LIGHT - CEILING - PENDANT - TYPE 1	10W	3
	LIGHT - LED STRIP RECESSED CHANNEL	2W (LM)	6
	LIGHT - WALL MOUNTED - TYPE 1	10W	4
	SWITCH - LIGHT 1 GANG		12
	SWITCH - LIGHT 2 GANG		3
	SWITCH - LIGHT 3 GANG		1
	SWITCH - LIGHT 4 GANG		2





Sorell Council
Development Application: 5.2026.174.1 -
Response to Request For Information - 4
Inverness Street, Midway Point - P2.pdf
Plans Reference: P1
Date Received: 01/07/2026

Smoke Alarms Part 9.5 of NCC 2022

Smoke alarms must-

- (a) be located in-
 - (i) a Class 1a building in accordance with 9.5.2 and 9.5.4; and
 - (ii) a Class 1b building in accordance with 9.5.3 and 9.5.4; and

- (b) comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and
- (c) be powered from the consumer mains source where a consumer mains source is supplied to the building; and be interconnected where there is more than one alarm.

In a Class 1a building, smoke alarms must be located in-

- (a) any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building; and
- (b) each other storey not containing bedrooms.

Smoke alarms required by 9.5.2 and 9.5.3 must be installed on or near the ceiling, in accordance with the following:

- (a) Where a smoke alarm is located on the ceiling it must be-
 - (i) a minimum of 300 mm away from the corner junction of the wall and ceiling; and
 - (ii) between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling.
- (b) Where (a) is not possible, the smoke alarm may be installed on the wall, and located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.

Electrical Plan - Light/Reflected Ceiling

Note: Exhaust Fans

Exhaust fans to comply with NCC 2022 Vol 2 Part 10.8.2 and have;

- An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of-
 - (a) 25 L/s for a bathroom or sanitary compartment; and
 - (b) 40 L/s for a kitchen or laundry.
- Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.
- Where a venting clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air.
- An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must-
 - (a) be interlocked with the room's light switch; and
 - (b) include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light switch is turned off.

Note: Lighting

Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:

- 5W/m² in class 1a dwellings
- 4W/m² to veranda, balcony or the like
- 3W/m² in a class 10a dwelling associated with the class 1a dwelling

U.N.O - All downlights are to be Insulation Contact (IC) rated.

Preparation for future Solar Installation:

Should the solar design be required for future installation, 2/25mm solarflex (or similar) conduits marked "solar" are to be installed from the meter box to the roof space - See electrical plan.

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Electrical Plan - Light/Reflected Ceiling

Scale: @ A3

Revision: DA - 03

Approved by: #Approved by

Pg. No: A.06

Proposal: New Dwelling

Client: Lyden Builders Pty Ltd

Address: 4 Inverness Street, Midway Point - 7171

Date: 2026.04.01

Drawn by: JN & JM

Job No: 009-2026

Engineer: TBA

Building Surveyor: LTBS

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bdaa

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Issue	Date	Designer
NOTE: Refer to cover page for further details on changes.		

Symbol	Description	Allowance	Quantity
	DATA - CAT 6 (RJ45) - 2 GANG		5
	DATA - TV CONNECTION		2
	FAN - 3 IN 1 (4 LAMP)	10W (LIGHT)	2
	FAN - CEILING - EXHAUST		3
	GPO - (1) SINGLE		4
	GPO - (2) DOUBLE		33
	GPO - (2) DOUBLE (WITH COOKTOP ISOLATOR SWITCH)		1
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	SWITCH - LIGHT 2 GANG		3
	SWITCH - LIGHT 3 GANG		1
	SWITCH - LIGHT 4 GANG		2



Smoke alarms must-

(a) be located in-

(i) a Class 1a building in accordance with 9.5.2 and 9.5.4; and

(ii) a Class 1b building in accordance with 9.5.3 and 9.5.4;

and



Sorell Council

Development Application: 5.2026.174.1 -
Response to Request For Information - 4
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Shadow Diagrams 21st June

Revision: DA - 03
Approved by: #Approved by

Scale: 1:200 @ A3
Pg. No: .1

Proposal: New Dwelling
Client: Lyden Builders Pty Ltd
Address: 4 Inverness Street, Midway Point - 7171

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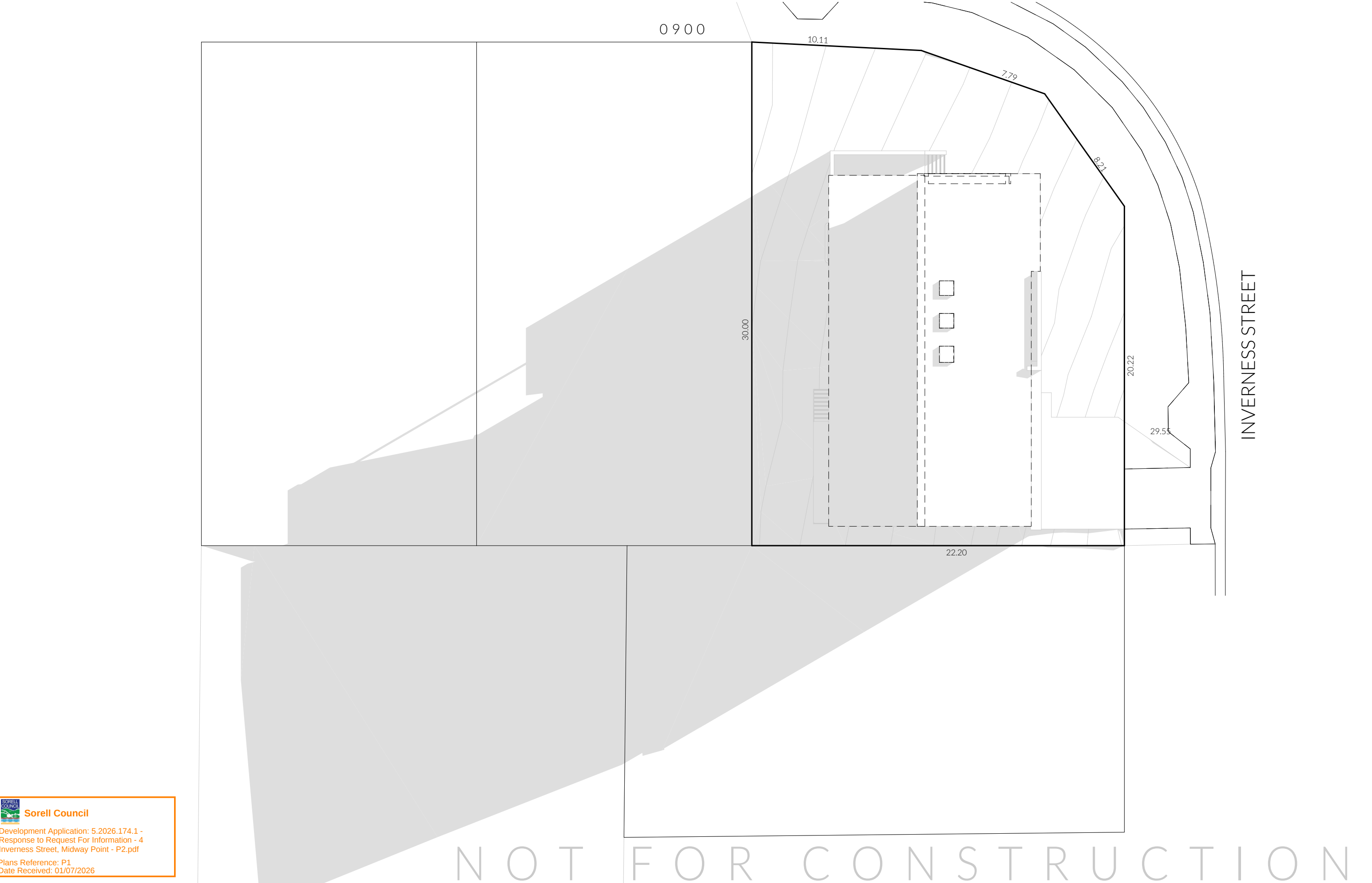
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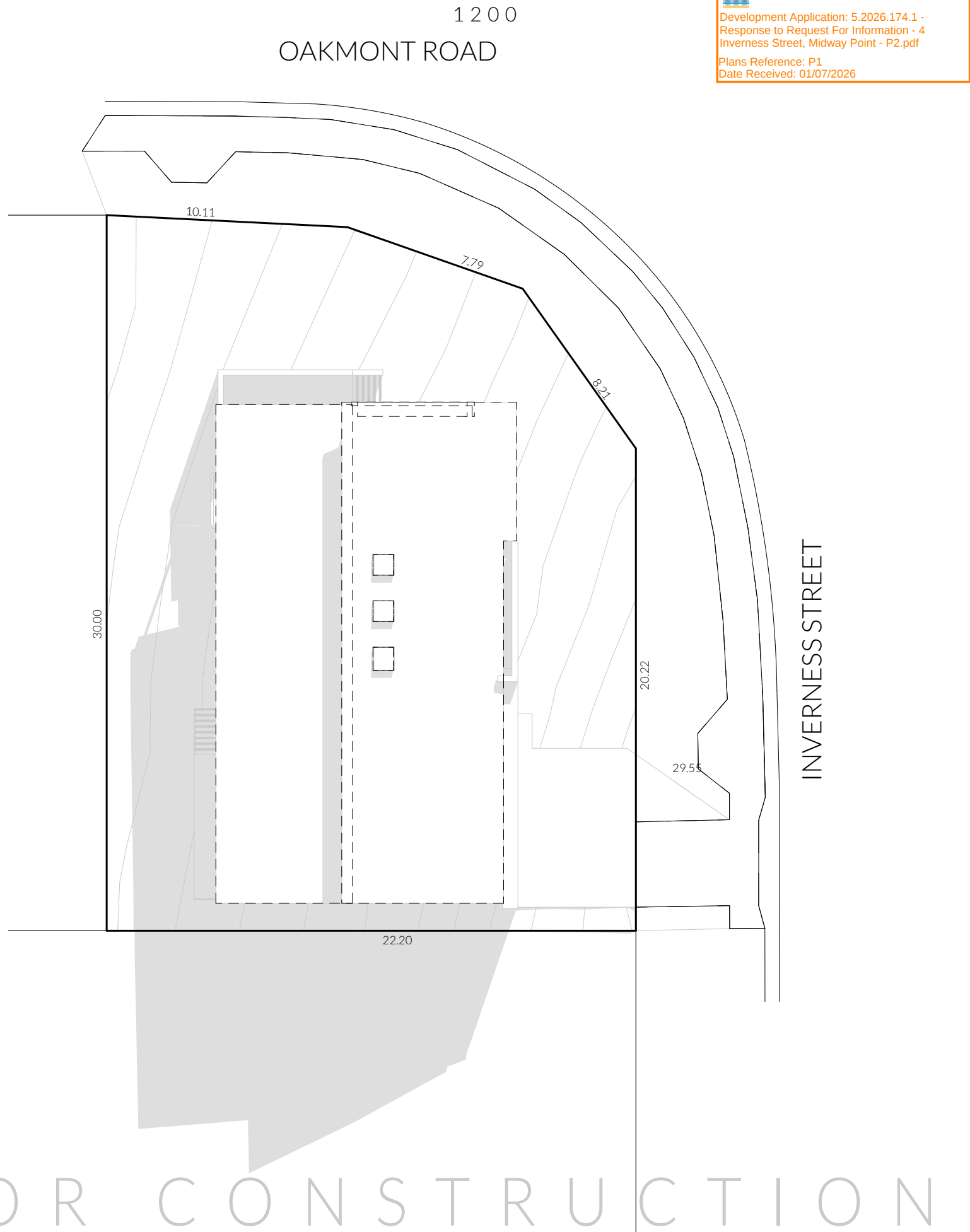
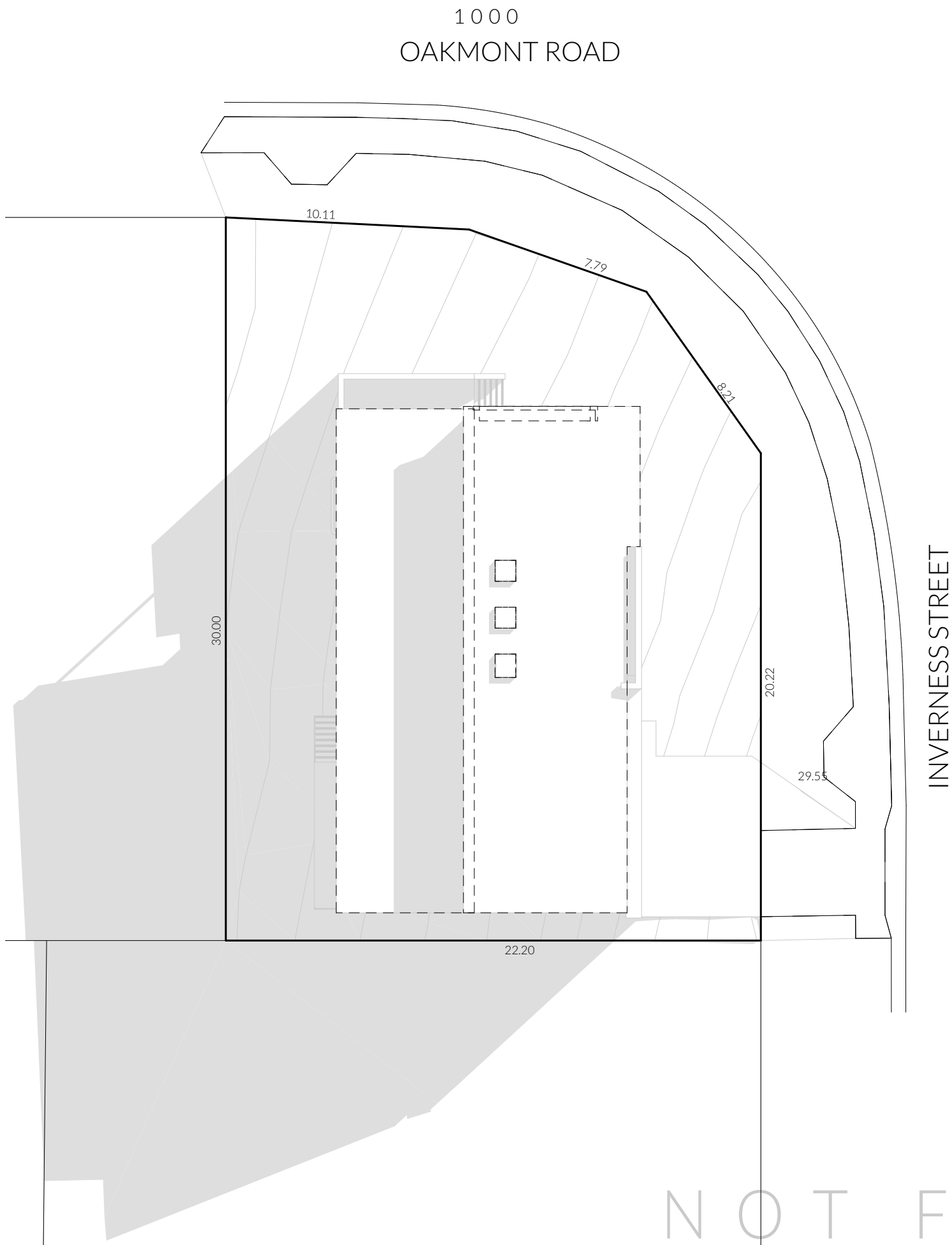
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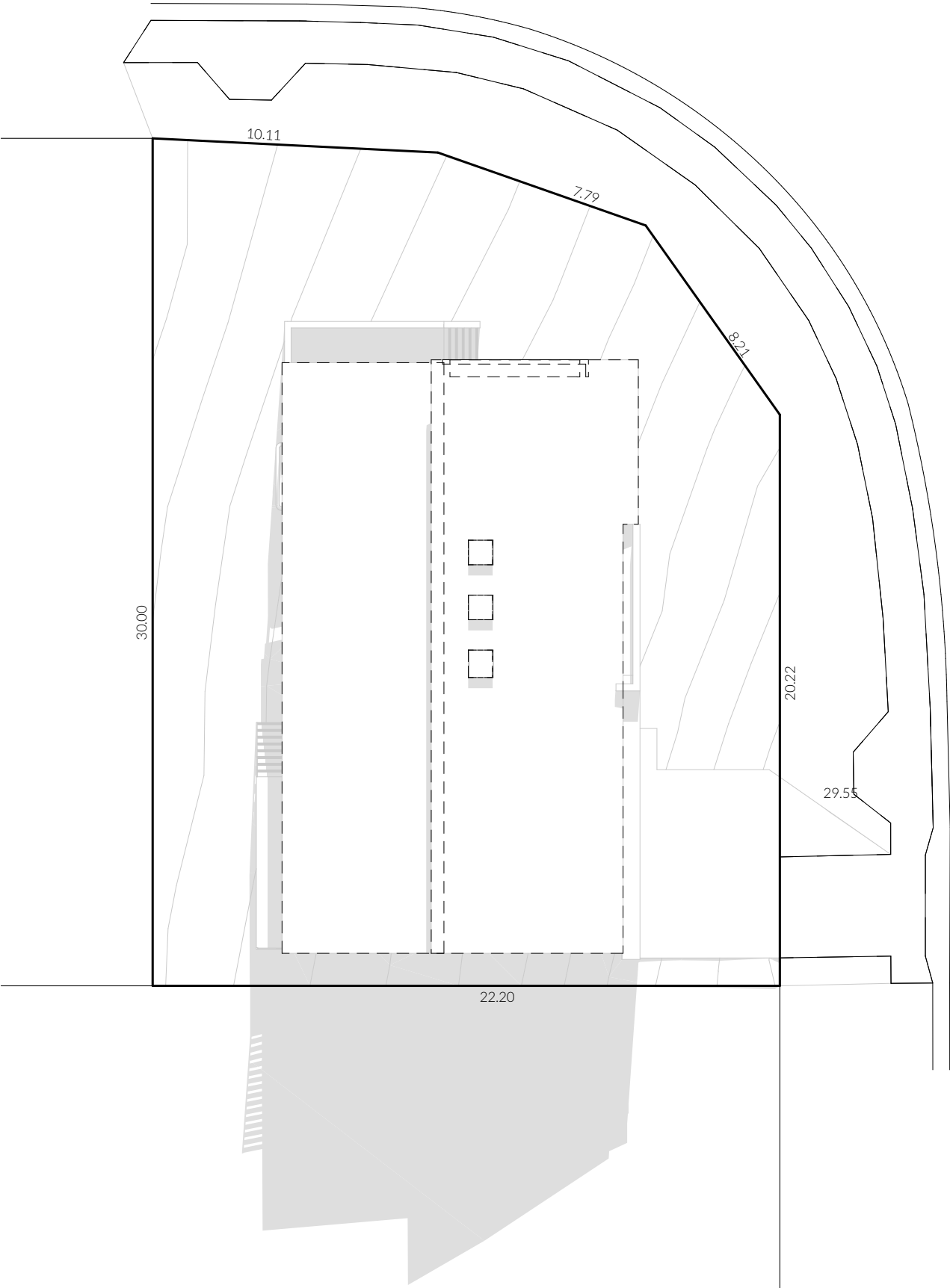
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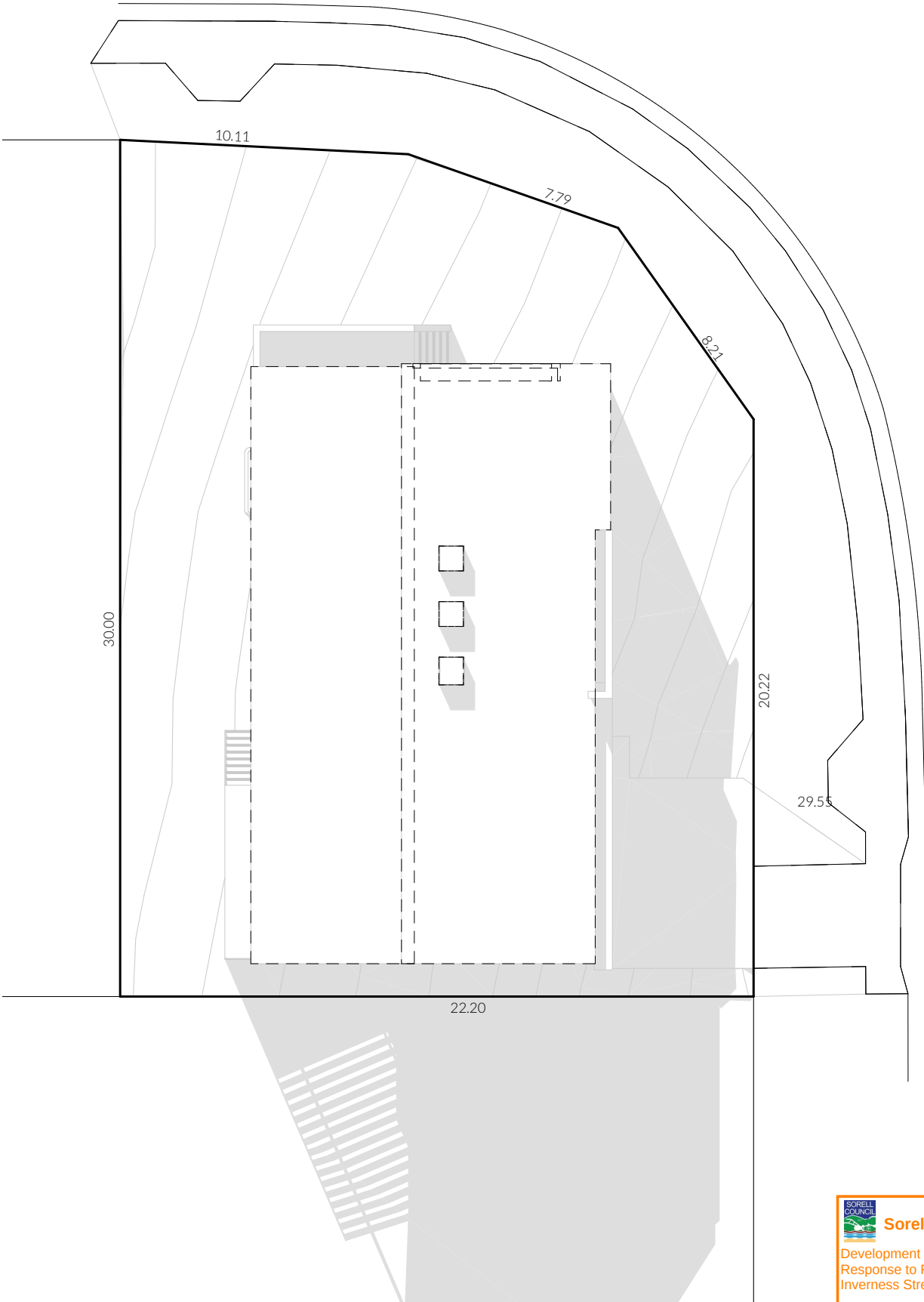




NOT FOR CONSTRUCTION



INVERNESS STREET



INVERNESS STREET

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Development Application: 5.2026.174.1 -
Response to Request For Information - 4
Inverness Street, Midway Point - P2.pdf
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