

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:

56 HONOLULU STREET, MIDWAY POINT

PROPOSED DEVELOPMENT:

NEW OUTBUILDING (DEMOLITION OF EXISTING)

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 29th June 2026**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received no later than **Monday 29th June 2026**.

APPLICATION NO: 5.2026-175.1
DATE: 12 JUNE 2026



Disclaimer

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

50 m



Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use: NOV GARAGE
	Development: NEW COVER BOND GARAGE
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal:	\$ 25,000
Is all, or some the work already constructed:	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>
Location of proposed works:	Street address: 56 HONOLULU ST Suburb: MIDWAY POINT Postcode: 7171 Certificate of Title(s) Volume: Folio:
Current Use of Site	RESIDENCE

Current Owner/s:	Name(s) ANNE LOUISE NEWMAN	
Is the Property on the Tasmanian Heritage Register?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>
If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form https://www.sorell.tas.gov.au/services/engineering/		



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Part B continued: Please note that Part B of this form is publicly exhibited

Declarations and acknowledgements

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the *Land Use Planning and Approvals Act 1993*, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.

Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

- Where the General Manager's consent is also required under s.14 of the *Urban Drainage Act 2013*, by making this application I/we also apply for that consent.

Applicant Signature:

Signature: Rave Kumar Date: 18/5/26

Crown or General Manager Land Owner Consent

If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the *Land Use Planning and Approvals Act 1993*).

Please note:

- If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

I _____ being responsible for the
administration of land at _____

declare that I have given permission for the making of this application for



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SEARCH OF TORRENS TITLE

VOLUME 13551	FOLIO 20
EDITION 11	DATE OF ISSUE 14-June-2025

SEARCH DATE : 27-May-2026

SEARCH TIME : 05.08 pm

DESCRIPTION OF LAND

Town of SORELL
 Lot 20 on Sealed Plan [13551](#)
 Derivation : Part of 310 Acres Gtd to A Laing
 Prior CT [3818/56](#)

SCHEDULE 1


[M870815](#) TRANSFER to ANNE LOUISE NEWMAN Registered
 10-Feb-2021 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP [13551](#) EASEMENTS in Schedule of Easements (if any)
 SP [13551](#) FENCING COVENANT in Schedule of Easements
[E416290](#) MORTGAGE to ING Bank (Australia) Limited Registered
 14-June-2025 at 12.01 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



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SCHEDULE OF EASEMENTS

PLAN NO.

S.P 13551

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS

Rights of Drainage

Each lot on the plan is together with such rights of drainage over the drainage easements shewn on the plan as may be necessary to drain the stormwater and other surplus water from such lot.

Each lot on the plan is subject to such rights of drainage over the drainage easements (if any) shewn on the plan as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

Lots 23 19 and 22 are each subject to a right of drainage for the Corporation over such portions of the drainage easements shown passing through the said lots hereon.

Lot 21 is Subject to a right of drainage for the Corporation over the drainage easement shown on the plan passing along the NorthWestern boundary of the said lot.

No profita a prendre are created to benefit or burden any lot

on the plan

Interpretation. Corporation means The Warden Councillors and Electors of the Municipality of Sorell.

FENCING COVENANT

The Owner of each lot on the plan covenants with the Vendors

Edward John Hopson, Graham Vincent Ballard, Peter Stanley McLennan, David Sydney Leonard Jones and Loraini Ceva Jones that the Vendors shall not be required to fence.

THIS COPY SCHEDULE CONSISTS OF 1 PAGE'S


SIGNED by EDWARD JOHN HOPSON, GRAHAM VINCENT BALLARD, PETER STANLEY MCLENNAN, DAVID SYDNEY LEONARD JONES and LORAINI CEVA JONES as the registered proprietors of the land comprised in Certificate of Title Volume 2061 Folio 6 in the presence of:

T. R. Hopson, Loraini Ceva Jones

J. V. Ballard, D. W. Jones, L. B. Jones, E. J. Hopson

Sorell Council logo and contact information: Development Application: 5.2026.175.1 - Midway Point - P1.pdf, Date Received: 28/05/2026

13551

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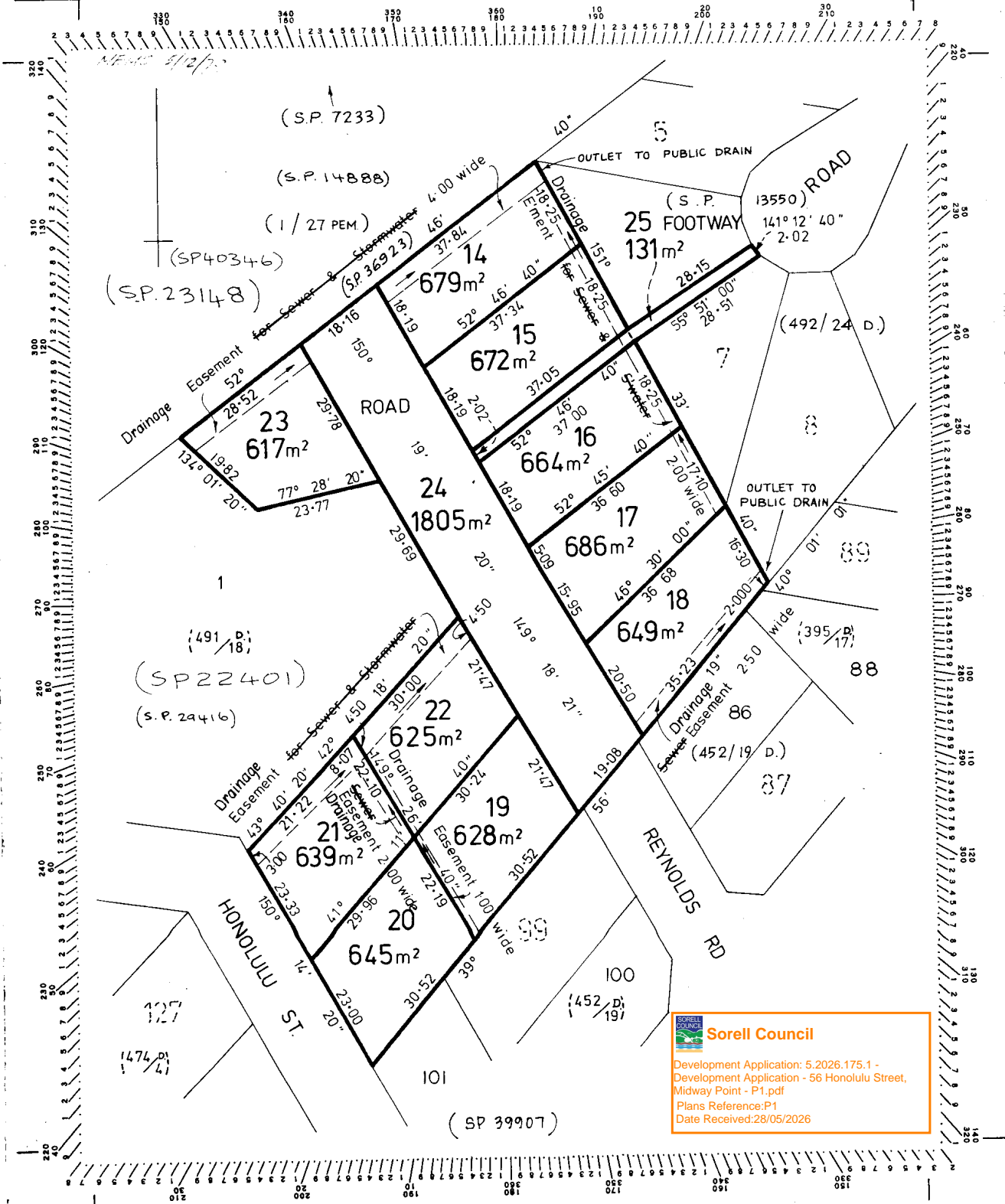
This is the schedule of easements attached to the plan of EDWARD JOHN HOPSON
DAVID SYDNEY LEONARD JONES, LORRINI CAVA JONES
GRAHAM VINCENT BALLARD, PETER STANLEY McLANNAN comprising part of the land in
Vol 2061 Fol 6
 (Insert Title Reference)

Sealed by Municipality of Sorell on 29 September 1979

M. Stewart
 Council Clerk/Town Clerk

56158

Owner: E.J. Hopson, G.V. Ballard, P.S. McLennan, DSL & L.C. Jones.	PLAN OF SURVEY by Surveyor <u>T.N. Woolford</u> of land situated in the	Registered Number: <h1>S.P. 13551</h1>
Title Reference: VOL. 2061 FOL. 6	TOWN OF SORELL	Effective from: 22 FEB 1980 ACTING Recorder of titles
Grantee: Part of 310 acres granted to Alex. Laing	SCALE 1: 750	



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DISPERSIVE SOIL ASSESSMENT

56 Honolulu Street

Midway Point

April 2026



GEO-ENVIRONMENTAL
S O L U T I O N S



Sorell Council

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Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

Investigation Details

Client:	Leon Vanlierop & Anne Newman
Site Address:	56 Honolulu Street, Midway Point
Date of Inspection:	24/04/2026
Proposed Works:	Shed
Investigation Method:	Hand Auger
Inspected by:	C. Cooper

Site Details

Certificate of Title (CT):	13551/20
Title Area:	Approx. 643.7 m ²
Applicable Planning Overlays:	Airport obstacle limitation area
Slope & Aspect:	5° N facing slope
Vegetation:	Mixed Flora

Background Information

Geology Map:	MRT
Geological Unit:	Triassic Sandstone
Climate:	Annual rainfall 500mm
Water Connection:	Mains
Sewer Connection:	Serviced-Mains
Testing and Classification:	AS2870:2011, AS1726:2017 & AS4055:2021



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Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.80	0.00-0.80	SM	Silty SAND: grey, brown, moist, medium dense
0.80-1.10	0.80-1.20	CI	Sandy CLAY: medium plasticity, grey, pale brown, moist, stiff, refusal.

Site Notes

The soil on site has formed from Triassic sandstone. The subsoil was tested for dispersion using the Emerson Test and was found to be slightly dispersive Class 2(2) -obvious milkiness, <50% of the aggregate affected.

Dispersive Soil Assessment

The dispersive soil assessment of the property considers the proposed construction area.

Potential for dispersive soils

The site has been identified as an area subject to a tunnel erosion hazard according to 'Dispersive Soils and Their Management: Technical Reference Manual'. This is due to the soils present on site that developed from Triassic Sandstone that contain considerable fine sand/silt content and medium plastic clays. Triassic Sandstone in the local area is known to produce soils with an excess of sodium on the soil exchange complex, which can cause soil dispersion. Under some circumstances the presence of dispersive soils can also lead to significant erosion, and in particular tunnel erosion. Based upon field survey of the property, no visible tunnel or gully erosion was identified. However, a soil sampling program was undertaken to identify the presence of dispersive soils in the proposed development areas.

Soil sampling and testing

Samples were taken at the site for assessment of dispersion. An Emerson (1968) Dispersion test was conducted to determine if these samples were dispersive.

The soil samples taken from site were found to be Slightly dispersive Class 2(2) -obvious milkiness, <50% of the aggregate affected.

Management Recommendations

A number of site and soil management measures are recommended for development on the site.



The proposed site cut/fill and driveway areas must be managed by:

- Applying a geo-fabric, jute mesh or similar material to the exposed batters of any cutting on site and revegetating the slope
- Applying a surface layer of at least 50mm of suitable crushed rock/gravel to the driveway surface (and any proposed house pad), with adequate compaction to ensure a relatively impervious surface to maintain site surface stability
- Vegetation on any fill batters must be established and maintained, if any bare area of soil on the batter develops then it must be top-dressed with suitable topsoil and additional vegetation planted

The risk of erosion and tunnel erosion associated with construction must be minimized by:

- Any new water, power, or other service trenches within the property must ensure recommendations for dispersive soils are followed:
 - o Where possible trenches to be placed shallow in topsoil and mounded over to achieve the required cover depth
 - o If buried the trench must be backfilled in layers of no more than 200mm with clay with 5% by weight gypsum added (the clay must be sufficiently moist to allow good compaction).
 - o The trench must be finished with at least 150mm depth of non-dispersive suitable topsoil and finished to a level at least 75mm above natural ground to allow for possible settlement
- Vegetation cover must be maintained wherever possible on the property
- Foundations may be placed into the natural soil; however, care must be taken to ensure all exposed soil in the foundation area is compacted and 1Kg/m² of gypsum is applied. Excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil with natural soil and gypsum
- All stormwater runoff from the dwelling to be directed to mains connection (all the drains are to be adequately treated with gypsum)
- Drainage of any site cut must not employ conventional rock drain construction; it must adhere to recommendations for dispersive soils (unless founded entirely in rock)
- All excavation works on site should be monitored for signs of soil dispersion and remedial action taken as required – any excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil

Conclusions

There is a low to moderate risk associated with dispersive soils and potential erosion on the site provided the recommendations in this report are adhered to. Efforts should be made to cover all exposed soils on cut/fill batters with topsoil and seeded with well suited pasture species to avoid rainwater, runoff, surface water flows from intercepting exposed subsoils.

A number of site management recommendations have been made in this report and further information can also be found in the publication “Dispersive soils and their management – Technical manual” (DPIWE Tas 2009)

It is recommended that during construction that GES be notified of any variation to the soil conditions as outlined in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD
Environmental and Engineering Soil Scientist



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Appendix 1– Soil test results

Laboratory Test Results


Sample Submitted By: C Cooper
Date Submitted: 27/04/2026
Sample Identification: 2 samples – 56 Honolulu, Midway Point
Soil to be tested: Emerson soil dispersion test

Result:

Sample	Texture	Emerson class	Description
Sample 1	clay	Class 2 (2)	Some dispersion <50% affected
Sample 2	clay	Class 2 (2)	Some dispersion <50% affected

Notes: Some dispersion with obvious milkiness affecting <50% of the aggregate.

Sample Tested by: C Cooper



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Disclaimer

This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organizations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for the use of any part of this report in any other context or for any other purpose by a third party.

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New Outbuilding

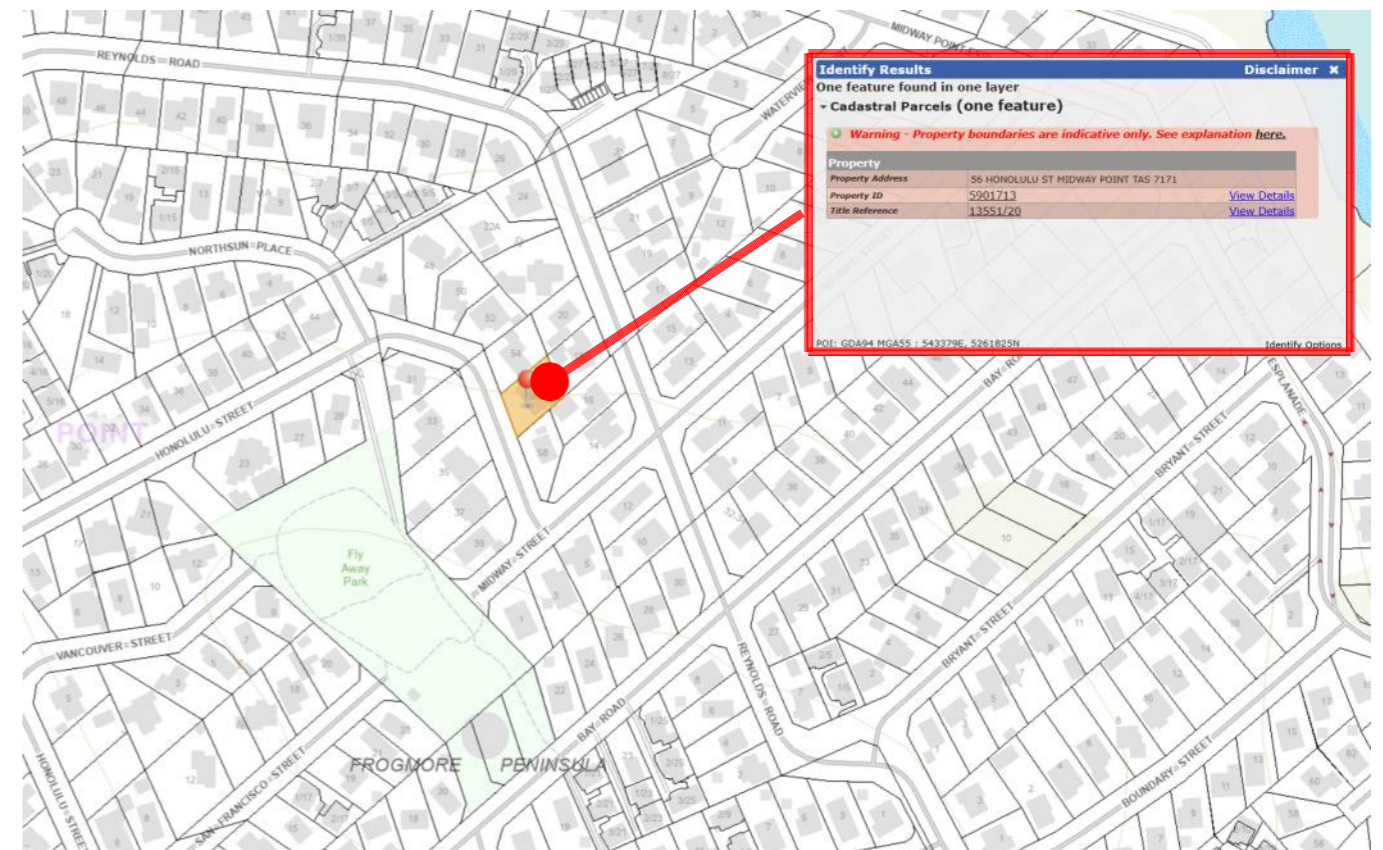
PROJECT SPECIFIC

Leon Vanlierop
56 Honalulu street

Midway Point

Tasmanian Planning Scheme
Title Reference : Vol 13551 / Folio 20

NCC DEEMED TO SATISFY Mr Marcus Ralph CC1317F
Climate Zone 7



SITE INFORMATION

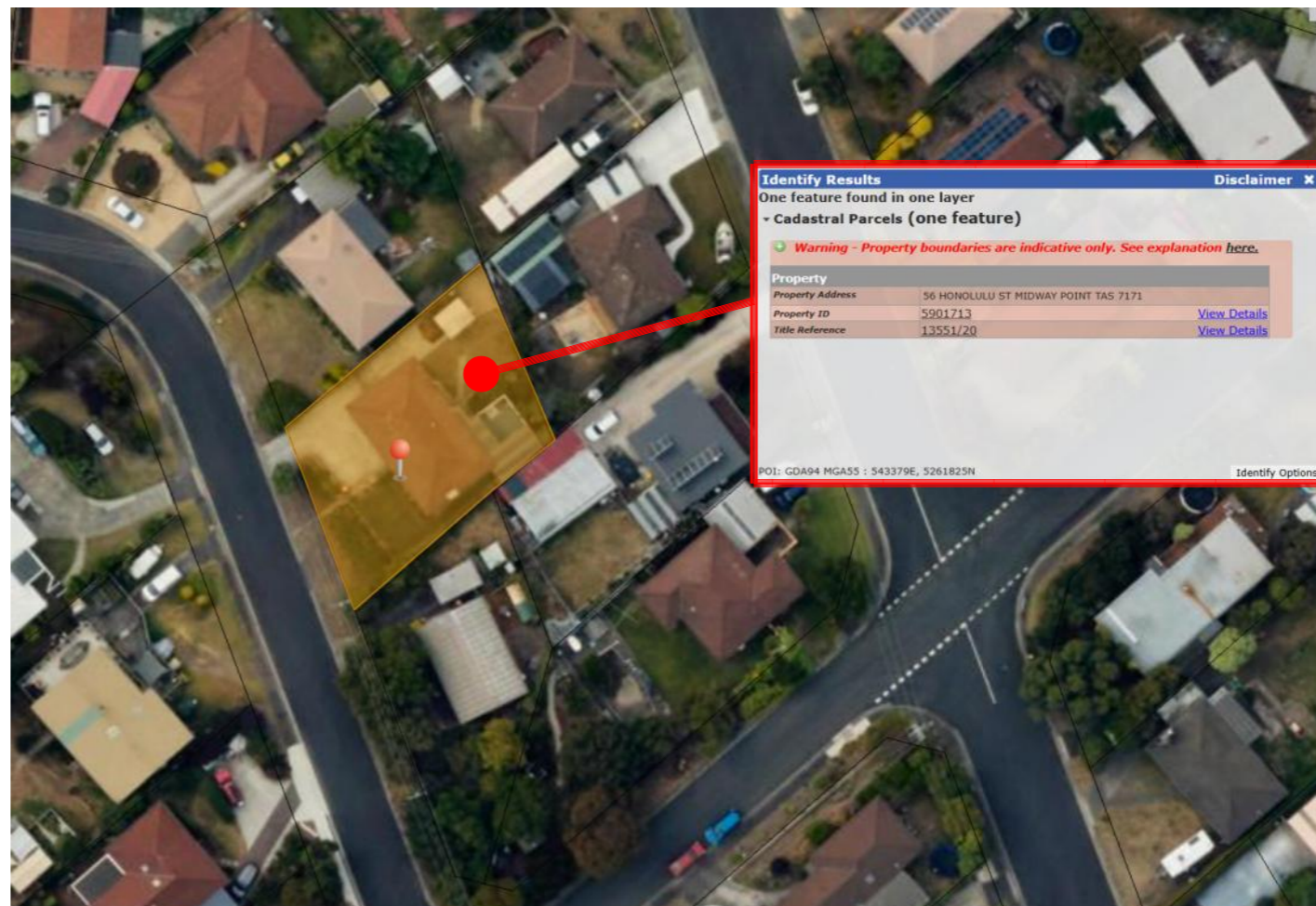
Lot: 20
Title: 13551 folio 20
Land Size: 643.70 sqm

Council: Sorell Council
Zoning: 8.0 General Residential
Overlays: TAS -SOR-S1.0 DISPERSIVE SOILS SPECIFIC AREA PLAN
16.00 SAFEGUARDING AIRPORTS 68M
D.A APPROVAL: Planning approval required
BAL:NOT REQUIRED
WIND CLASSISIFCATION : Refer to Steeline certification
CLIMATE ZONE: 7
ENERGY RATING :Na
BUILDING CLASSISIFCATION: 10A

Floor Plan	
Proposed Garage	28.00 sqm
existing dwelling	209.00 sqm site cover
Total Site Cover	237.00 sqm
Site Area	643.70 sqm
Site Coverage	36.80 % site coverage

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PROPERTY IDENTIFICATION



Steeline
ROOFING TASMANIA

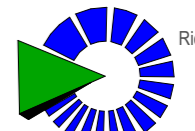
Service over and above

MARCUSRALPH

Design -architectural animation

Building designer accreditation CC1317F

13 Franklin street
Richmond, Tasmania 7025



0409 975 825 mob

© Copyright e: marcusralph@bigpond.com

New Outbuilding

Leon Vanlierop
56 Honalulu street
Midway Point

location information

date issue revision

30/03/2026 A

designed and drawn revision-date

M.Ralph Design Drawing

job no: drawing no:

2026-1101 **1101-00**

LAYOUT	DRAWING		UPDATED DATE
	ID	NAME	
1101-00 location information	6.	DRAWING LIST (1)	1/04/2026 10:57 AM
1101-01 Location Plan	0.	Floor Plan (137)	1/04/2026 10:56 AM
1101-02 Site Plan	0.	Floor Plan (137)	1/04/2026 10:56 AM
1101-03 Floor Plan	0.	Floor Plan (134)	1/04/2026 10:58 AM
1101-04 Elevations	0.	Floor Plan (106)	1/04/2026 10:51 AM
1101-04 Elevations	0.	Floor Plan (134)	1/04/2026 10:58 AM

the engineered plans for this class 10a structure come with structural certification for Class :M REACTIVE SOIL
The owner has elected to classify the soil classification during construction and will advise the builder on future actions once the excavation has been completed and the natural soil profile can be determined by a suitable qualified person

signed Property Owner _____ date _____

Floor Plan

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0409 975 825 mob

e: marcusralph@bigpond.com

New Outbuilding

Leon Vanlierop
56 Honalulu street
Midway Point

Location Plan

date issue revision

30/03/2026 A

designed and drawn revision-date

M.Ralph Design Drawing

job no: drawing no:

2026-1101 **1101-01**



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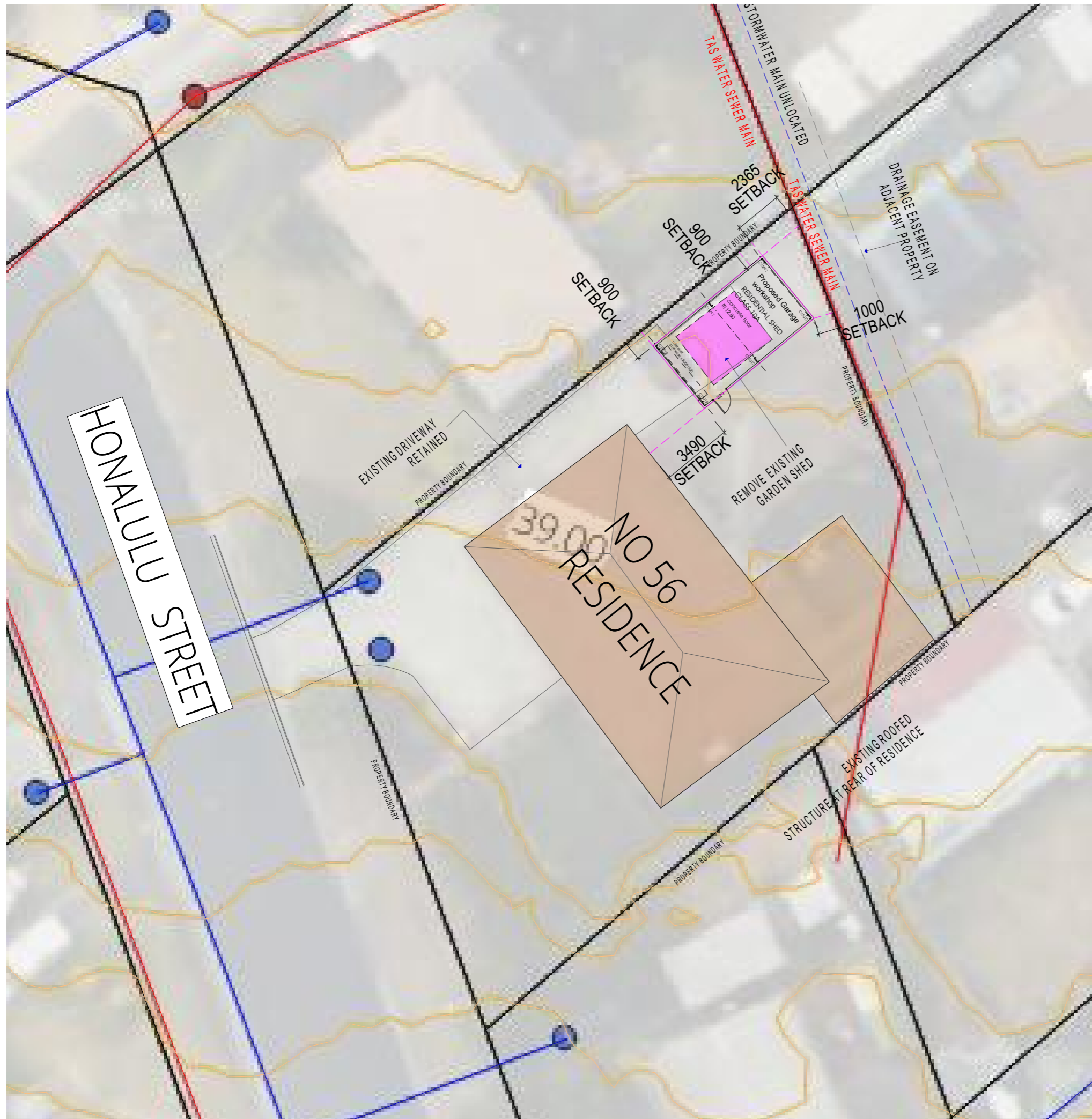
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signed Property Owner

date



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 13 Franklin street
 Richmond, Tasmania 7025
 0409 975 825 mob
 e: marcusralph@bigpond.com

New Outbuilding
 Leon Vanlierop
 56 Honalulu street
 Midway Point

Site Plan	
date	issue revision
30/03/2026	A
designed and drawn	revision-date
M.Ralph	Design Drawing
job no:	drawing no:
2026-1101	1101-02

PLUMBING LAYOUT

SCALE 1:100

Sewer and Stormwater lines are to be run along the underside concrete floor within compacted FCR.
 When under a concrete slab or timber floor installation will comply with AS3500.
 Refer to roof plan for fixing requirements of down pipes.
 Connection to council main or treatment plant will be inspected and approved by Local council inspectors.

- PIPE SIZES RECOMENDED
 PLUMBING LEGEND:
1. wc dn100
 2. urinal dn40,50
 3. sink dn50,
 4. basin dn40,dn50
 - 5 bath dn40, dn50
 6. shower dn50, dn 65 recommended
 7. trough dn40,dn50,dn65 or dn100

fwg floor waste gully primed by basin ,sink or trough dn 50 or from which fixture size is priming.

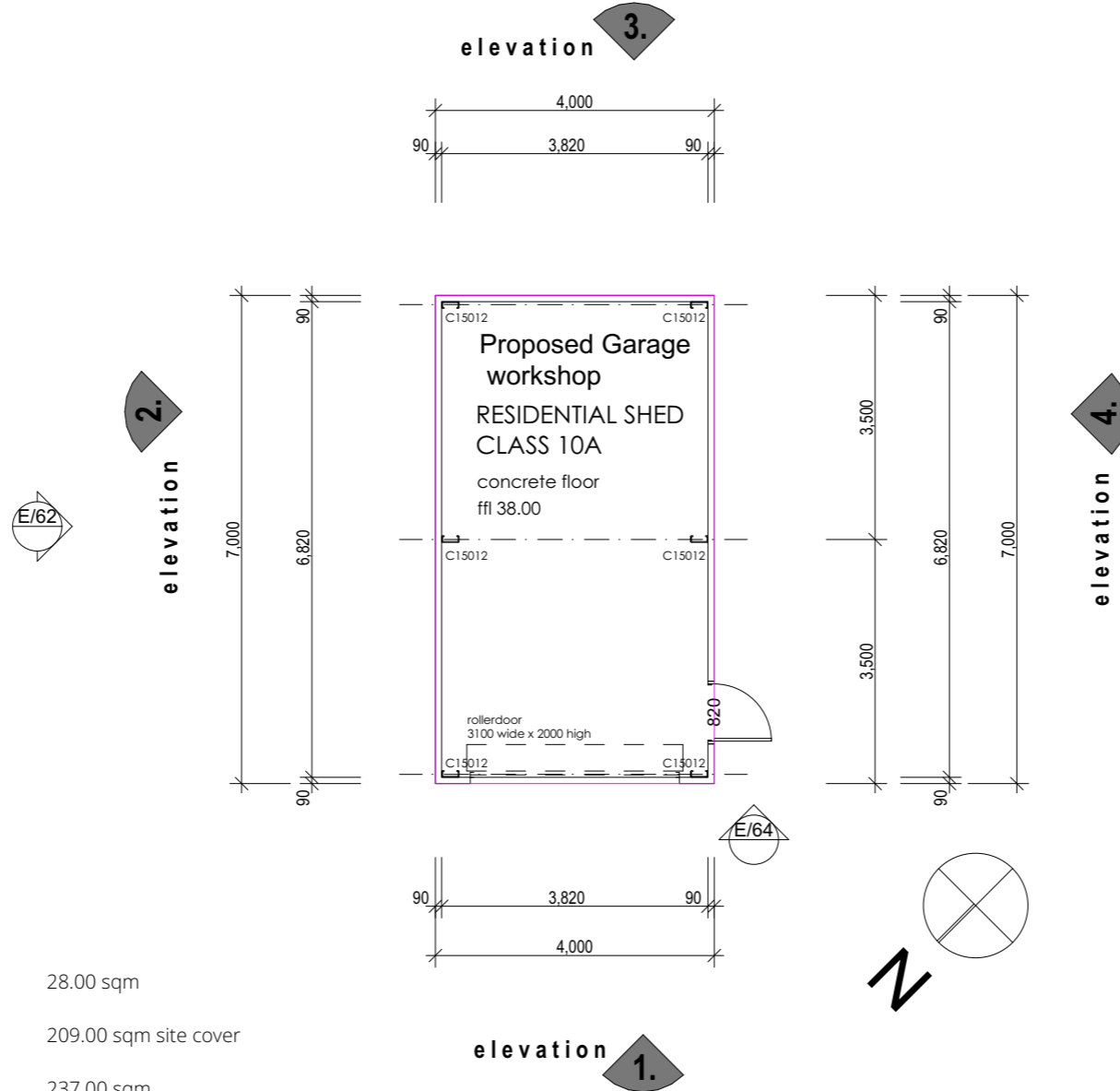
soil classification requires the plumbing contractor to take necessary measures to prevent UPVC AND PVC pipework and all water connection to new rigid building structure to have flexible joint. refer to csiro advice and NCC for pipe connection details for reactive clay soils

FLOOR PLAN

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existing dwelling	209.00 sqm site cover
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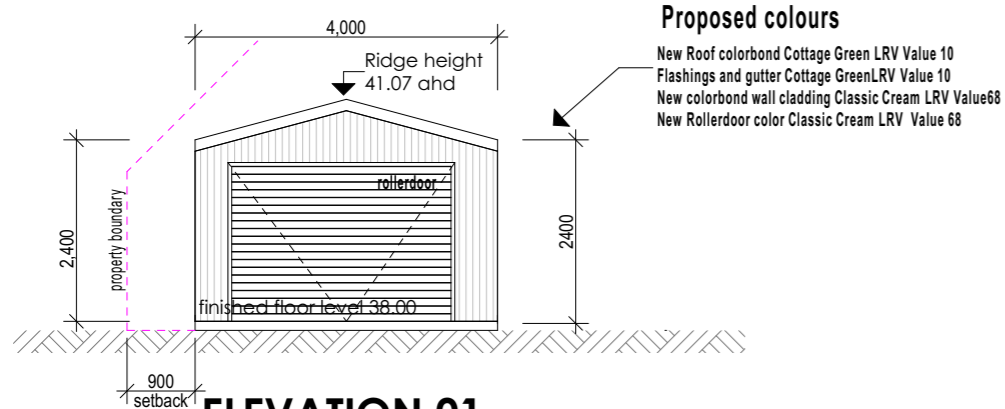
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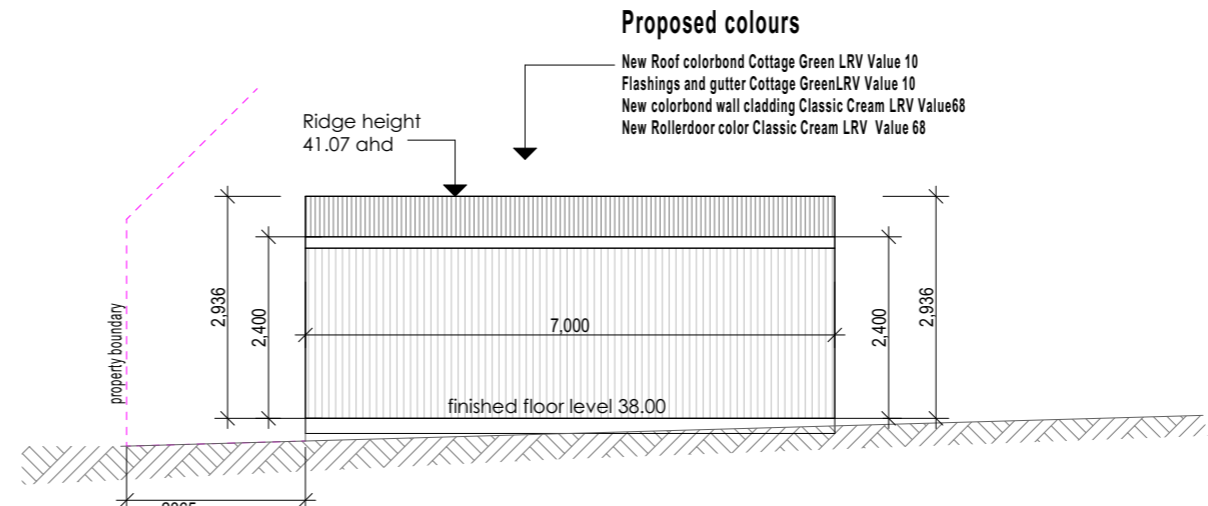
Floor Plan	
date	issue revision
30/03/2026	A
designed and drawn	revision-date
M.Ralph	Design Drawing
job no:	drawing no:
2026-1101	1101-03



Proposed colours
 New Roof colorbond Cottage Green LRV Value 10
 Flashings and gutter Cottage Green LRV Value 10
 New colorbond wall cladding Classic Cream LRV Value 68
 New Rollerdoor color Classic Cream LRV Value 68

ELEVATION 01
 NORTH WEST ELEVATION

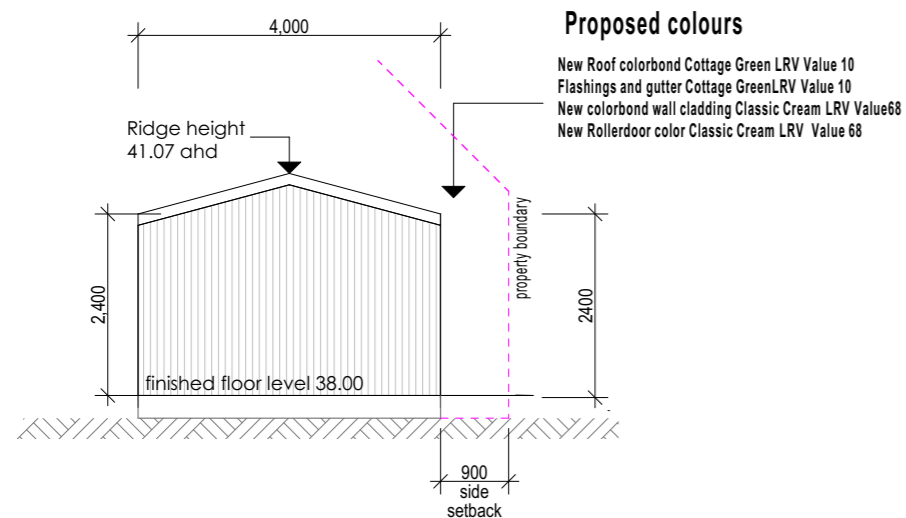
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Proposed colours
 New Roof colorbond Cottage Green LRV Value 10
 Flashings and gutter Cottage Green LRV Value 10
 New colorbond wall cladding Classic Cream LRV Value 68
 New Rollerdoor color Classic Cream LRV Value 68

ELEVATION 02
 NORTH EAST ELEVATION

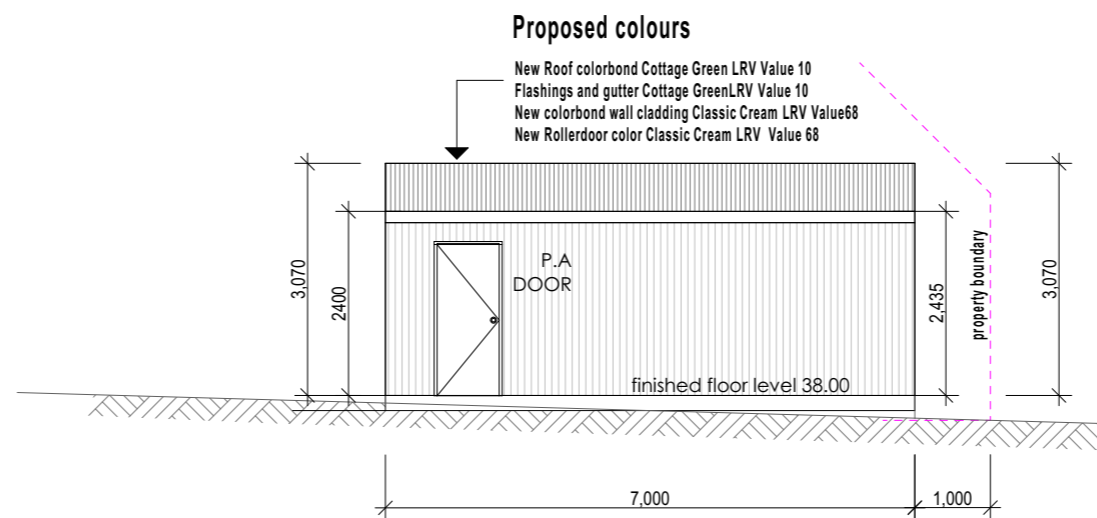
scale 1:100



Proposed colours
 New Roof colorbond Cottage Green LRV Value 10
 Flashings and gutter Cottage Green LRV Value 10
 New colorbond wall cladding Classic Cream LRV Value 68
 New Rollerdoor color Classic Cream LRV Value 68

ELEVATION 03
 SOUTH EAST ELEVATION

scale 1:100



Proposed colours
 New Roof colorbond Cottage Green LRV Value 10
 Flashings and gutter Cottage Green LRV Value 10
 New colorbond wall cladding Classic Cream LRV Value 68
 New Rollerdoor color Classic Cream LRV Value 68

ELEVATION 04
 SOUTH WEST ELEVATION

scale 1:100

the engineered plans for this class 10a structure come with structural certification for Class :M REACTIVE SOIL
 The owner has elected to classify the soil classification during construction and will advise the builder on future actions once the excavation has been completed and the natural soil profile can be determined by a suitable qualified person

signed Property Owner _____ date _____

Sorell Council

Development Application: 5.2026.175.1 -
 Development Application - 56 Honolulu Street,
 Midway Point - P1.pdf
 Plans Reference:P1
 Date Received:28/05/2026



Service over and above
MARCUSRALPH
 Design -architectural animation
 Building designer accreditation CC1317F
 13 Franklin street
 Richmond, Tasmania 7025
 0409 975 825 mob
 e: marcusralph@bigpond.com

New Outbuilding
 Leon Vanlierop
 56 Honolulu street
 Midway Point

Elevations	
date	issue revision
30/03/2026	A
designed and drawn	revision-date
M.Ralph	Design Drawing
job no:	drawing no:
2026-1101	1101-04