

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:**33 SPOONBILL LOOP, SORELL****PROPOSED DEVELOPMENT:****DWELLING**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Tuesday 23rd June 2026**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received no later than **Tuesday 23rd June 2026**.

APPLICATION NO: 5.2026-170.1

DATE: 5 JUNE 2026



- Annotations**
- Polygon2
 - Polygon1
- Roads**
- DSG Roads
 - Council Roads
- Property**
- property
 - Titles



Disclaimer

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

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Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use: NEW DWELLING
	Development: RESIDENTIAL HOUSE
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal:	\$ 400,000.00

Is all, or some the work already constructed:	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address: 33 SPOONBILL LOOP
	Suburb: SORELL Postcode: 7120
	Certificate of Title(s) Volume: 300345 Folio: 17

Current Use of Site	VACANT LAND
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Current Owner/s:	Name(s) FORCETT STREET PTY LTD
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Is the Property on the Tasmanian Heritage Register?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form
<https://www.sorell.tas.gov.au/services/engineering/>



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SEARCH OF TORRENS TITLE

VOLUME 300345	FOLIO 17
EDITION 1	DATE OF ISSUE 27-Apr-2026

SEARCH DATE : 12-May-2026

SEARCH TIME : 01.55 pm

DESCRIPTION OF LAND

Town of SORELL
 Lot 17 on Sealed Plan [300345](#)
 Derivation : Part of 244 Acres Gtd. to Thomas Giblin & John Lord
 Prior CT [300261/1000](#)

SCHEDULE 1

[M773163](#) & [M817084](#) TRANSFER to FORCETT STREET PTY LTD
 Registered 06-May-2020 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP300345](#) COVENANTS in Schedule of Easements
[SP300345](#) FENCING COVENANT in Schedule of Easements
[SP186811](#), [SP187084](#), [SP187106](#), [SP187782](#), [SP188598](#), [SP189521](#) &
[SP300261](#) COVENANTS in Schedule of Easements
[SP187106](#), [SP187782](#), [SP188598](#), [SP189521](#) & [SP300261](#) FENCING
 COVENANT in Schedule of Easements
[SP 9892](#) FENCING PROVISION in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



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SCHEDULE OF EASEMENTS	Registered Number SP 300345
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 3 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Taswater

Lot 20 is subject to a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT `C` 3.50 WIDE (SP 186811) & DRAINAGE EASEMENT `C` 3.50 WIDE (SP 186811)" as shown on the plan ("the Easement Land").

Lots 52, 53, 61, & 62 are subject to a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT `E` VARIABLE WIDTH (SP 186811) & DRAINAGE EASEMENT `E` VARIABLE WIDTH (SP 186811)" as shown on the plan ("the Easement Land").

Drainage

Lot 20 is subject to a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT `C` 3.50 WIDE (SP 186811) & DRAINAGE EASEMENT `C` 3.50 WIDE (SP 186811)" as shown on the plan ("the Easement Land").

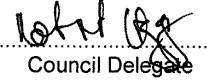
Lot 62 is subject to a Right of Drainage in gross in favour of the Sorell Council over the land marked DRAINAGE EASEMENT `D` 3.00 WIDE (SP 186811)" as shown on the plan ("the Easement Land").

Lots 52, 53, 61, & 62 are subject to a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT `E` VARIABLE WIDTH (SP 186811) & DRAINAGE EASEMENT `E` VARIABLE WIDTH (SP 186811)" as shown on the plan ("the Easement Land").

FENCING COVENANT

In respect to the lots on the plan, the owners of each lot on the plan covenants with the vendor (FORCETT STREET PTY LTD) that the vendor shall not be required to fence.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: FORCETT STREET PTY LTD	PLAN SEALED BY: SORELL COUNCIL
FOLIO REF: 300261/1000	DATE: 21.4.26
SOLICITOR & REFERENCE: Butler McIntyre & Butler (JS:252064)	SA 7.2020 / 24 - 1 REF NO. 
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

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Dean Foster 16/5

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 3 PAGES</p>	<p>Registered Number SP 300345</p>
<p>SUBDIVIDER: FORGETT STREET PTY LTD</p> <p>FOLIO REFERENCE: 300261/1000</p>	

COVENANTS

Water tank

The owners of all lots on the Plan covenants in gross with the Sorell Council to the intent that the burden of these covenants may run with and bind the covenantor's lot and each and every part of it and that the benefit of these covenants shall be annexed to and devolve with Sorell Council to observe the following stipulation:

- not to construct on a lot a dwelling without :
- i) A minimum 5,000 litre rain water tank fitted to collect all roof runoff; and
- ii) Such tank shall be installed with minimum retention storage of 2000 litres and be plumbed into toilets so that re-use occurs, with top up from the reticulated water supply.

Definitions;

"Pipeline and Services Easement" means-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Director: *[Signature]*

Director: *[Signature]*



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NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

“Right of Drainage” means a right of drainage as defined within Schedule 8 of the Conveyancing and Law of Property Act 1884 (Tas).

EXECUTED by **FORCETT STREET PTY LTD (ACN 634 863 479)** pursuant to section 127(1) of the Corporations Act 2001 (Cth) by:

 
 Director Signature Director Signature

PETER KALLZ DEAN MURRAY COCKER
 Director Full Name (print) Director Full Name



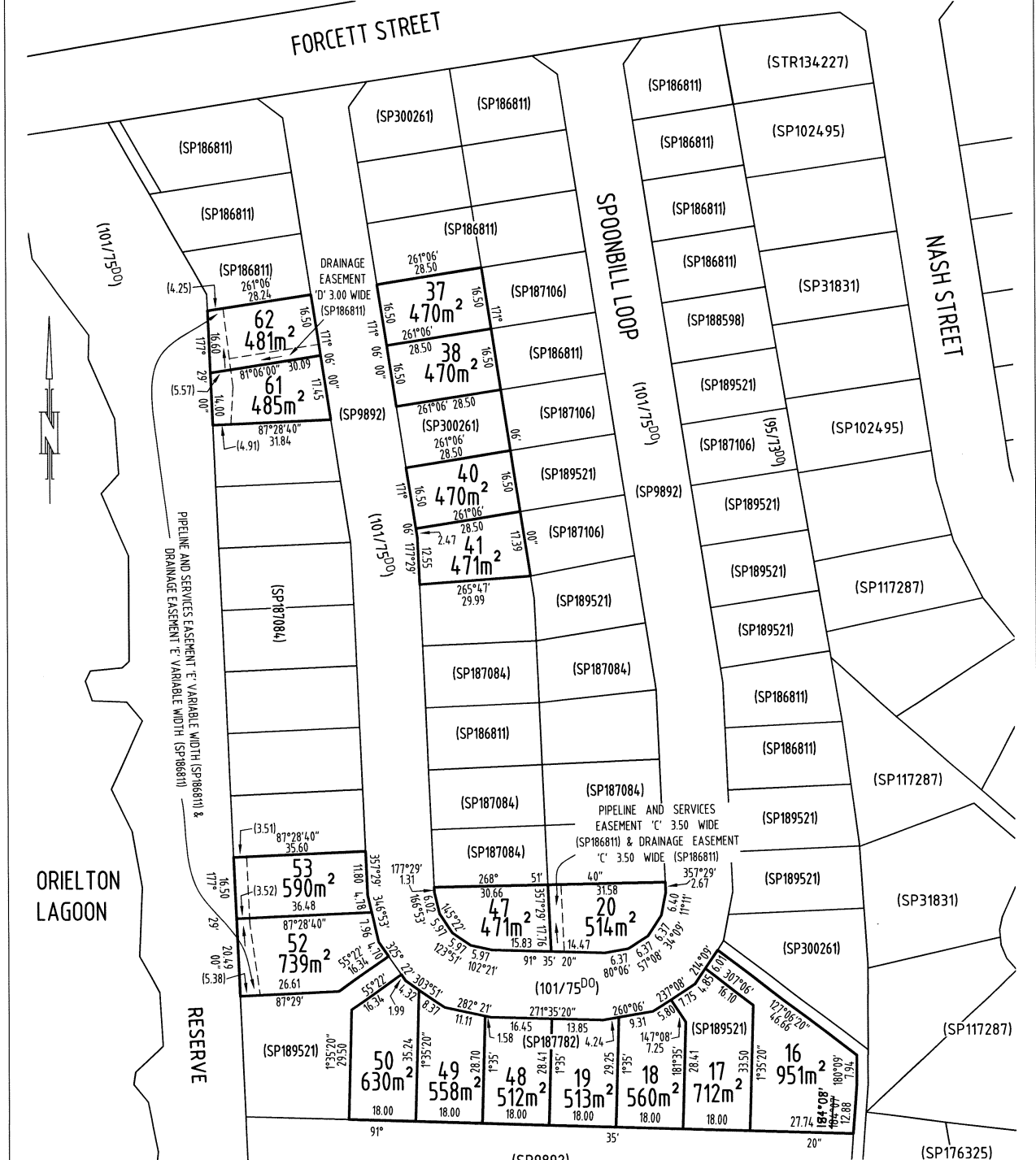
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OWNER: FORCETT STREET PTY LTD	PLAN OF SURVEY BY SURVEYOR: M. M. STRATTON of OPDA <small>SURVEYORS, ENGINEERS & PLANNERS</small> 127 BATHURST STREET, HOBART	REGISTERED NUMBER SP300345
FOLIO REFERENCE: 300261/1000		APPROVED EFFECTIVE FROM 27 APR 2026
GRANTEE: PART OF 24.4 ACRES GTD TO THOMAS GIBLIN & JOHN LORD	LOCATION: TOWN OF SORELL	Recorder of Titles <i>Deena</i>
SCALE 1: $\frac{2000}{1000}$	LENGTHS IN METRES	SURVEYORS REF 55911MS-1
PRIORITY FINAL PLAN		ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



 Registered Land Surveyor	18/03/2026 Date	Sorell Council	 Council Delegate	21.4.26 Date
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AS2870:2011 SITE ASSESSMENT

Lot 17 Spoonbill Loop

Sorell

May 2026



GEO-ENVIRONMENTAL
S O L U T I O N S



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Investigation Details

Client:	SJM Property Developments (Aus) Pty Ltd
Site Address:	Lot 17 Spoonbill Loop, Sorell
Date of Inspection:	29/04/2026
Proposed Works:	New house
Investigation Method:	Geoprobe 540UD - Direct Push
Inspected by:	C. Cooper

Site Details

Certificate of Title (CT):	300345/17
Title Area:	Approx. 712 m ²
Applicable Planning Overlays:	Airport obstacle limitation area
Slope & Aspect:	1° W facing slope
Vegetation:	Grass & Weeds

Background Information

Geology Map:	MRT
Geological Unit:	Tertiary Basalt
Climate:	Annual rainfall 400mm
Water Connection:	Mains
Sewer Connection:	Serviced-Mains
Testing and Classification:	AS2870:2011, AS1726:2017 & AS4055:2021

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Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.20	0.00-0.30	ML	Clayey SILT: low plasticity, dark grey, brown, slightly moist, dense
0.20-0.70	0.30-0.60	CH	Silty CLAY: high plasticity, grey, brown, slightly moist, stiff,
0.70-0.90	0.60-0.80	GC	Clayey GRAVEL: pale grey, brown, slightly moist, very dense, refusal on rock/boulder.

Site Notes

Soils on the site are developing from Tertiary basalt, the clay fraction is likely to show moderate ground surface movement with moisture fluctuations.

Site Classification

The site has been assessed and classified in accordance with AS2870:2011 “Residential Slabs and Footings”.

The site has been classified as:

Class M

y_s range: **20-40mm**

Notes: that is a moderately reactive clay.

Wind Loading Classification

According to “AS4055:2021 - Wind Loads for Housing” the house site is classified below:

Wind Classification:	N3
Region:	A
Terrain Category:	1.0
Shielding Classification:	PS
Topographic Classification:	T1
Wind Classification:	N3
Design Wind Gust Speed – m/s ($V_{h,u}$):	50

Construction Notes & Recommendations

The site has been classified as **Class M** - Moderately reactive clay or silt site, which may experience moderate ground movement from moisture changes.

It is recommended the foundations be placed on the underlying bedrock to minimise the potential for significant foundation movement.

All earthworks on site must comply with AS3798:2007, and I further recommend that consideration be given to drainage and sediment control on site during and after construction. Care should also be taken to ensure there is adequate drainage in the construction area to avoid the potential for weak bearing and foundation settlement associated with excessive soil moisture.

I also recommend that during construction that I and/or the design engineer be notified of any major variation to the foundation conditions as predicted in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD

Director

Explanatory Notes

1 Scope of Works

The methods of description and classification of soils used in this report are based largely on Australian Standard 1726 – Geotechnical Site Investigations (AS1726:2017), with reference to Australian Standard 1289 – Methods for testing soils for engineering purposes (AS1289), for eventual Site Classification according to Australian Standard 2870 (AS2870:2011) – Residential Slabs and Footings and Australian Standard 1547 (AS1547:2012) On-site domestic wastewater management.

1.1 Site Classification AS2870:2011

Site classification with reference to the above Australian Standards are based on site reactivity.

Class	Foundation Conditions	Characteristic Surface Movement
A	Most sand and rock sites with little or no ground movement from moisture changes.	0mm
S	Slightly reactive clay sites, which may experience only slight ground movement from moisture changes.	0 – 20mm
M	Moderately reactive clay or silt sites, which may experience moderate ground movement from moisture changes.	20 – 40mm
H-1	Highly reactive clay sites, which may experience high ground movement from moisture changes.	40 – 60mm
H-2	Highly reactive clay sites, which may experience very high ground movement from moisture changes.	60 – 75mm
E	Extremely reactive sites, which may experience extreme ground movement from moisture changes.	>75mm

*Note: Soils where foundation performance may be significantly affected by factors other than reactive soil movement are classified as **Class P**.*

A site is classified as **Class P** when:

- The bearing capacity of the soil profile in the foundation zone is generally less than 100kpa
- If excessive foundation settlement may occur due to loading on the foundation.
- The site contains uncontrolled fill greater than 0.8m in depth for sandy sites and 0.4m in depth for other soil materials.
- The site is subject to mine subsistence, landslip, collapse activity or coastal erosion.
- The site is underlain by highly dispersive soils with significant potential for erosion
- If the site is subject to abnormal moisture conditions which can affect foundation performance



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1.2 Soil Characterisation

This information explains the terms of phrase used within the soil description area of the report.

It includes terminology for cohesive and non-cohesive soils and includes information on how the Unified Soil Classification Scheme (USCS) codes are determined.

NON COHSIVE – SAND & GRAVEL		
Consistency Description	Field Test	Dynamic Cone Penetrometer blows/100 mm
Very loose (VL)	Easily penetrated with 13 mm reinforcing rod pushed by hand.	0 - 1
Loose (L)	Easily penetrated with 13 mm reinforcing rod pushed by hand. Can be excavated with a spade; 50 mm wooden peg can be easily driven.	1 - 3
Medium dense (MD)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, - hard shovelling.	3 - 8
Dense (D)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, requires pick for excavation: 50 mm wooden peg hard to drive.	8 - 15
Very dense (VD)	Penetrated only 25 - 50 mm with 13 mm reinforcing rod driven with 2 kg hammer.	>15

COHESIVE - SILT & CLAY		
Consistency Description	Field Test	Indicative undrained shear strength kPa
Very soft	Easily penetrated >40 mm by thumb. Exudes between thumb and fingers when squeezed in hand.	<12
Soft	Easily penetrated 10 mm by thumb. Moulded by light finger pressure	>12 and <25
Firm	Impression by thumb with moderate effort. Moulded by strong finger pressure	>25 and <50
Stiff	Slight impression by thumb cannot be moulded with finger.	>50 and <100
Very Stiff	Very tough. Readily indented by thumbnail.	>100 and <200
Hard	Brittle. Indented with difficulty by thumbnail.	>200



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1.3 USCS Material Descriptions

Soils for engineering purposes are the unconsolidated materials above bedrock, they can be residual, alluvial, colluvial or aeolian in origin.

Major Divisions	Particle size mm	USCS Group Symbol	Typical Names	Laboratory Classification					
				% < 0.075 mm (2)	Plasticity of fine fraction	$C_u = \frac{D_{60}}{D_{10}}$	$C_c = \frac{(D_{30})^2}{(D_{10})(D_{60})}$	NOTES	
COARSE GRAINED SOILS (more than half of material less than 63 mm & larger than 0.075 mm)	BOULDERS _____ 200								
	COBBLES _____ 63								
	GRAVELS (more than half of coarse fraction is larger than 2.36 mm)	coarse _____ 20	GW	Well graded gravels and gravel-sand mixtures, little or no fines	0-5	—	>4	Between 1 and 3	(1) Identify fines by the method given for fine-grained soils.
		medium _____ 6	GP	Poorly graded gravels and gravel-sand mixtures, little or no fines, uniform gravels	0-5	—	Fails to comply with above		
		fine _____ 2.36	GM	Silty gravels, gravel-sand-silt mixtures (1)	12-50	Below 'A' line or PI<4	—	—	
			GC	Clayey gravels, gravel-sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—	—	
	SANDS (more than half of coarse fraction is smaller than 2.36 mm)	coarse _____ 0.6	SW	Well graded sands and gravelly sands, little or no fines	0-5	—	>6	Between 1 and 3	(2) Borderline classifications occur when the percentage of fines (fraction smaller than 0.075 mm size) is greater than 5% and less than 12%. Borderline classifications require the use of SP-SM, GW-GC.
		medium _____ 0.2	SP	Poorly graded sands and gravelly sands, little or no fines	0-5	—	Fails to comply with above		
		fine 0.075	SM	Silty sands, sand silt mixtures (1)	12-50	Below 'A' line or PI<4	—	—	
			SC	Clayey sands, sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—	—	
	FINE GRAINED SOILS (more than half of material less than 63 mm & smaller than 0.075 mm)	SILTS & CLAYS (Liquid Limit ≤50%)	ML	Inorganic silts, very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity					
			CL CI	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays					
CL			Organic silts and clays of low plasticity						
SILTS & CLAYS (Liquid Limit >50%)		MH	Inorganic silts, micaceous or diatomaceous fine sands or silts, elastic silts						
		CH	Inorganic clays of high plasticity, fat clays						
		OH	Organic silts and clays of high plasticity						
HIGHLY ORGANIC SOILS		PT	Peat and other highly organic soils						

Use the gradation curve of material passing 63 mm for classification of fractions according to the criteria given in 'Major Divisions'

Plasticity Chart

For classification of fine grained soils and fine fraction of coarse grained soils.

The chart plots Plastic Index (%) on the y-axis (0 to 60) against Liquid Limit (%) on the x-axis (0 to 100). Key lines include the 'A' line (U-line, PI=2.5(LL-20)), the 'U' line (U-line, PI=2.5(LL-20)), and the 'C' line (C-line, PI=0.75(LL-40)). Classification regions include CL, CH, ML, OL, MH, OH, MI, CI, and MH & CI. Vertical lines at LL=40, 60, and 70 indicate Low, Medium, and High plasticity levels.

Grain size analysis is performed by two processes depending on particle size. Sand silt and clay particles are assessed using a standardised hydrometer test, and coarse sand and larger is assessed through sieving by USCS certified sieves. For more detail see the following section.

Soil Classification	Particle Size
Clay	Less than 0.002mm
Silt	0.002 – 0.06mm
Fine/Medium Sand	0.06 – 2.0mm
Coarse Sand	2.0mm – 4.75mm
Gravel	4.75mm – 60.00mm

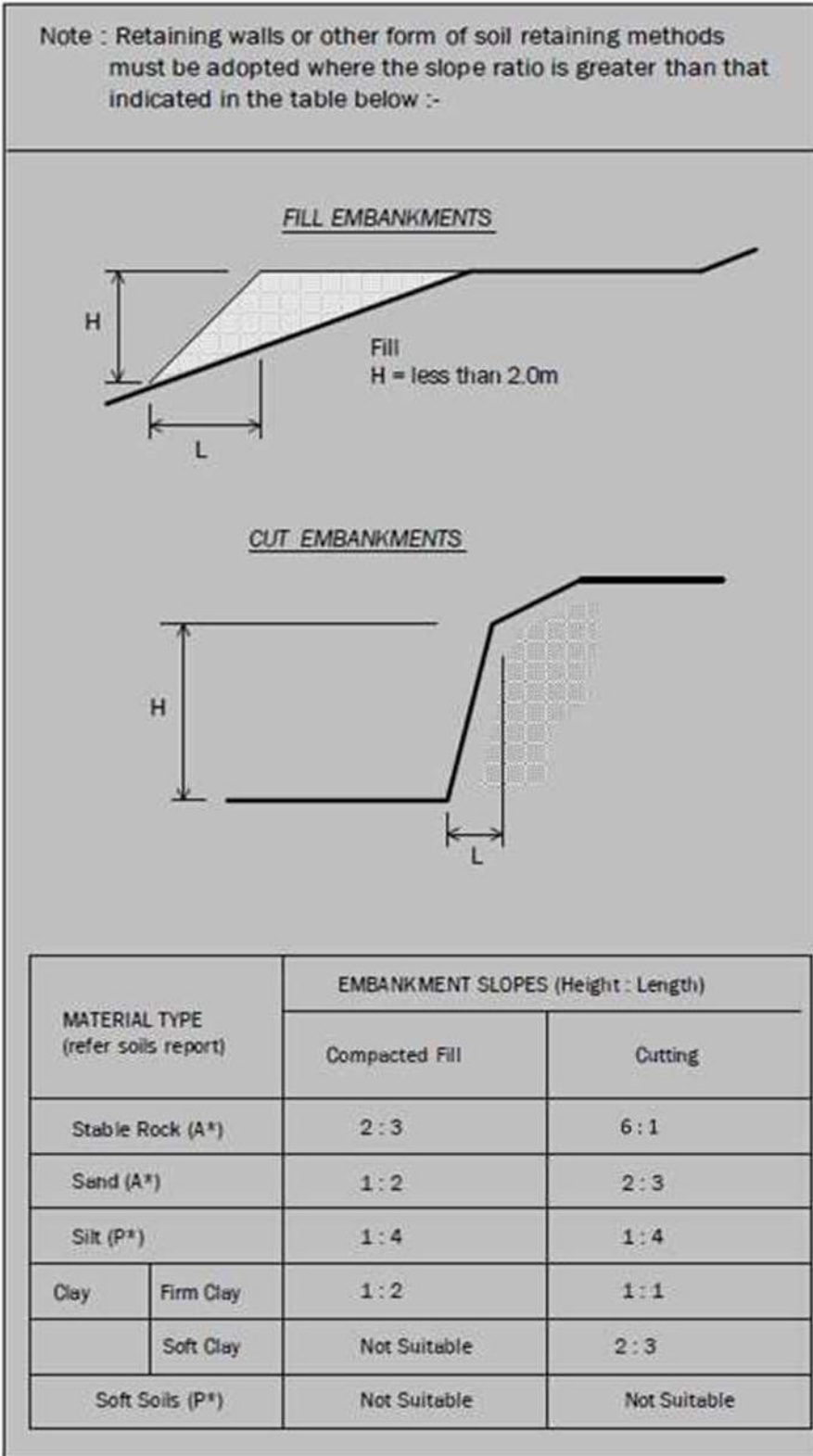
1.4 Bearing Capacities and DCP testing.

DCP and PSP weighted penetrometer tests – Dynamic Cone Penetrometer (DCP) and Perth Sand Penetrometer (PSP) tests are carried out by driving a rod into the ground with a falling weight hammer and measuring the blows for successive 100mm increments of penetration. Normally, there is a depth limitation of 1.2m but this may be extended in certain conditions by the use of extension rods. The methods for the two tests are quite similar.

- Dynamic Cone Penetrometer – a 16mm rod with a 20mm diameter cone end is driven with a 9kg hammer dropping 510mm (AS 1289, Test 6.3.2).
- Perth Sand Penetrometer – a 16mm diameter flat-ended rod is driven with a 9kg hammer, dropping 600mm (AS 1289 Test 6.3.3). This test was developed for testing the density of sands and is mainly used in granular soils and filling.

Site Anomalies – During construction GES will need to be notified of any major variation to the foundation conditions as predicted in this report.

1.5 Batter Angles for Embankments (Guide Only)



Glossary of Terms

Bearing Capacity – Maximum bearing pressure that can be sustained by the foundation from the proposed footing system under service loads which should avoid failure or excessive settlement.

Clay – (Mineral particles less than 0.002mm in diameter). Fine grained cohesive soil with plastic properties when wet. Also includes sandy clays, silty clays, and gravelly clays.

Dynamic Cone Penetrometer (DCP) – Field equipment used to determine underlying soil strength and therefore bearing capacity (kPa) by measuring the penetration of the device into the soil after each hammer blow.

Dispersive soil – A soil that has the ability to pass rapidly into suspension in water.

Footing – Construction which transfers the load from the building to the foundation.

Foundation – Ground which supports the building

Landslip – Foundation condition on a sloping site where downhill foundation movement or failure is a design consideration.

Qualified Engineer – A professional engineer with academic qualifications in geotechnical or structural engineering who also has extensive experience in the design of the footing systems for houses or similar structures.

Reactive Site – Site consisting of clay soil which swells on wetting and shrinks on drying by an amount that can damage buildings on light strip footings or unstiffened slabs. Includes sites classified as S, M, H-1, H-2 & E in accordance with AS2870-2011.

Sand – (Mineral particles greater than 0.02mm in diameter). Granular non-cohesive, non-plastic soil that may contain fines including silt or clay up to 15%.

Services – Means all underground services to the site including but not limited to power, telephone, sewerage, water & storm water.

Silt – (Mineral particles 0.002 – 0.02mm in diameter). Fine grained non-cohesive soil, non-plastic when wet. Often confers a silky smoothness of field texture, regularly includes clay and sand to form clayey silts, sandy silts and gravelly silts.

Site – The site title, as denoted by address, lot number, or Certificate of Title (CT) number, or Property Identification Number (PID).

Surface Movement (Ys) – Design movement (mm) at the surface of a reactive site caused by moisture changes.



Sorell Council

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Development Application - 33 Spoonbill Loop,
Sorell - P1.pdf

Plans Reference:P1
Date Received:26/05/2026

Disclaimer

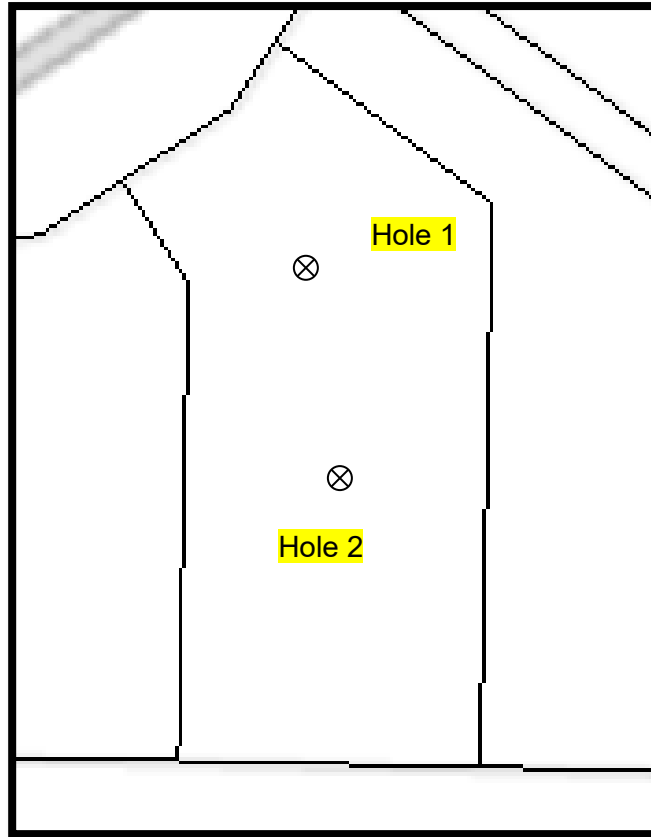
This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for use of any part of this report in any other context or for any other purpose by a third party.

Site Plan



Appendix 2 – Site Photos



CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Owner /Agent
 Address
 Suburb/postcode

Qualified person details:

Qualified person:
Address:
Licence No: Email address:
Phone No:
Fax No:

Qualifications and Insurance details: (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: Lot No:
Certificate of title No:
The assessable item related to this certificate: (description of the assessable item being certified)
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work
or

a building, temporary structure or plumbing installation:

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In issuing this certificate the following matters are relevant –

Documents:	The attached soil report for the address detailed above in 'details of work'
Relevant calculations:	Reference the above report.
References:	AS2870:2011 residential slabs and footings AS1726:2017 Geotechnical site investigations CSIRO Building technology file – 18.

Substance of Certificate: (what it is that is being certified)

Site Classification consistent with AS2870-2011.

Scope and/or Limitations

The classification applies to the site as inspected and does not account for future alteration to foundation conditions as a result of earth works, drainage condition changes or variations in site maintenance.

I, John-Paul Cumming certify the matters described in this certificate.

Qualified person:

Signed:

Certificate No:

Date:

J13012

05/05/2026



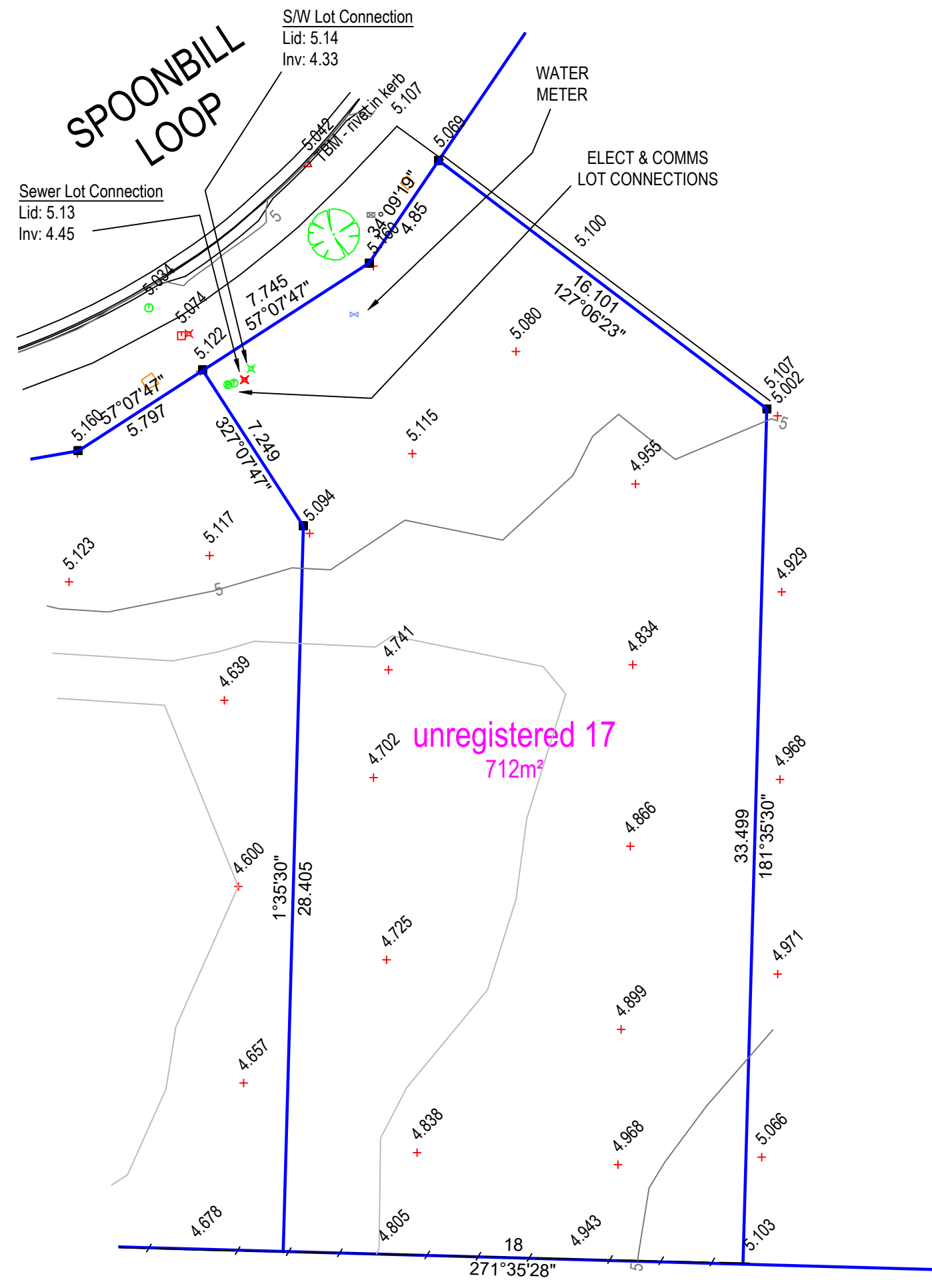
A handwritten signature in black ink, appearing to read 'John Paul Cumming', written over a light grey background.



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SPONBILL LOOP



NOTES:

While all reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during the field survey.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by existing title dimensions and occupation (where available) only and not by field survey, and as a result are considered approximate only. This plan should not be used for building to boundary, or to prescribed set-backs, without further survey.

Prior to any demolition, excavation, final design or construction on this site, a full site inspection should be completed by the relevant engineers.

All survey data is 3D. The level (z-value) of any specific feature can be interrogated with a suitable CAD package. Spot heights of all features, including pipe inverts, are included in the model space but are not displayed on the PDF. Spot heights are organised into appropriate layers, and can be displayed as required.

DATUM - Vertical : AHD per SPM5074 with reputed AHD level of 2.778 from SURCOM on 24/04/2026

At the time of this survey, CT.300261/1000 was owned by FORCETT STREET PTY LTD
Date of Survey : 23/04/2026

- LOT BOUNDARY
- TREE
- KERB LIP
- KERB INVERT
- KERB BACK
- KERB TOP
- FOOTPATH
- CONCRETE SLAB
- ELECTRICITY MAIN
- / — / — FENCE
- TITLE PEG
- ▲ AL.RIVET
- SPIKE
- CONCRETE NAIL
- + NATURAL SURFACE
- TREE
- STORMWATER MANHOLE
- ✕ STORMWATER HOUSE CONNECTION
- CABLE HYDRO UNDERGROUND
- TELSTRA PIT
- CABLE COMMS UNDERGROUND
- SEWER MANHOLE
- ✕ SEWER HOUSE CONNECTION
- ✕ METER WATER
- ✕ WATER UNCLASSIFIED

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IMPORTANT NOTE:
The lot shown upon this plan is part of a proposed land subdivision and therefore its title has not yet issued.

The dimensions, area and easements are subject to the final plan of survey.

Any decisions regarding design based on the dimensions, area and easements shown upon the attached plan should be made with appropriate caution.

AMENDMENTS		
No.	Revision/Issue	Date

LEARY COX & CRIPPS
LAND & ENGINEERING SURVEYORS

Unit G04 40 Mollie Street,
HOBART TAS 7000
P 03 6118 2030
E admin@lccsurvey.com

Project Name and Address
**Unregistered Lot 17
33 Spoonbill Loop
Sorell**

Drawing Title
DETAIL PLAN

Client
SJM Property Developments Pty Ltd
CT. 300261 / 1000

SCALE
0 1 2 3 4 6 8
1:200 at A3

Contour Interval
0.20m

Date
24 / 04 / 2026

"THIS DOCUMENT IS, AND SHALL REMAIN, THE PROPERTY OF LEARY, COX & CRIPPS, LAND & ENGINEERING SURVEYORS. THE DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THE DOCUMENT IN ANY WAY IS PROHIBITED."

FILE REF:
15104

SHEET 1 of 1

Geocivil Ref 1508501_detail
AutoCAD Ref 1510401_detail

DRAWN ML
CHKD ML

DATUM Horz: MGA2020
Vert: AHD

24 April 2026

Ref No 15104

Roxy Goss
SJM Property Developments
Via Email projects@sjmpd.com.au

Dear Roxy

**re: CONTOUR & FEATURE SURVEY
Lot 17 No. 33 Spoonbill Loop
Sorell TAS**

The lot shown upon the plan you have received is part of a proposed land subdivision and therefore its title has not yet issued.

The dimensions, area and easements are subject to the final plan of survey.

Any decisions regarding design based on the dimensions, area and easements shown upon the attached plan should be made with appropriate caution

Yours faithfully

LEARY, COX & CRIPPS PTY LTD


Tim Cox



GENERAL NOTES

BUILDING MEMBRANE

AS PER CLAUSE 10.8 OF NCC 2022 A PLIABLE BUILDING MEMBRANE TO BE INSTALLED THAT COMPLIES WITH AS/NZS 4200.1 AND TO BE INSTALLED IN ACCORDANCE WITH AS/NZS 4200.2 AND MUST BE A VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONES 6/7/8.

DOORS - INTERNAL GARAGE

PROVIDE DOOR SEAL AS PER NCC 2022 CLAUSE 13.

DOWNPIPES - TEMPORARY

TEMPORARY DOWNPIPES TO BE INSTALLED DURING CONSTRUCTION TO PREVENT WATER PONDING NEAR THE SLAB.

EXHAUST FANS - FLOW RATES

- 25 LTR/SEC FOR BATHROOMS AND SANITARY COMPARTMENTS,
- 40 LTR/SEC FOR KITCHENS AND LAUNDRIES.
ALL EXHAUST FANS TO BE DUCTED TO OUTSIDE AIR.
SEE ROOF PLAN DRWG NO D08 FOR NUMBER OF AND APPROX. LOCATION OF WHIRLYBIRD ROOF VENTS.

EXHAUST FROM BATHROOM, SANITARY COMPARTMENT OR LAUNDRY

AS PER CLAUSE 10.8 OF NCC 2022 EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT OR DUCT TO OUTDOOR AIR; OR TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 10.8.

GLAZING

GLAZING TO COMPLY WITH AS1288 & AS2047.

PLUMBING

- PLUMBING AND DRAINAGE WORKS TO COMPLY WITH AS3500 2021.
- BACKFLOW PROTECTION VALVE IS REQUIRED TO BE INSTALLED TO SHOWER HOSE ASSEMBLY WHERE SHOWER HOSE CA REACH THE TOILET BOWL.
- HOT WATER INSTALLATION SHALL DELIVER HOT WATER TO ALL SANITARY FIXTURES USED FOR PERSONAL HYGIENE AT 50°C, KITCHEN & LAUNDRY SHALL BE 60°C TO COMPLY WITH REQUIREMENTS OF AS3500 2021. (TEMPERING VALVES TO BE INSTALLED TO SUIT)

WATERPROOFING - INTERNAL

PROVIDE INTERIOR WATERPROOFING TO COMPLY WITH AS3740 2021.

EMERGENCY POWER SOLUTIONS

PROVIDE EMERGENCY POWER SOLUTIONS, I.E. UNINTERRUPTED POWER SUPPLY (UPS) SHALL BE PROVIDED.

ASSISTIVE TECHNOLOGY

INTERNET CONNECTION SHALL BE PROVIDED WITH THE ABILITY FOR HIGH INTERNET SPEEDS TO BE MAINTAINED AND STABLE IN NATURE WITH WI-FI COVERAGE THROUGHOUT ALL AREAS OF THE DWELLING

INTERNAL GARAGE CONSTRUCTION

THE INSIDE OF THE GARAGE IS TO INCLUDE THE FOLLOWING:

A. A 10mm ALUMINIUM ANGLE OR KILN DRIED HARDWOOD TIMBER SILL/THRESHOLD (OR OTHER TYPE OF DURABLE UPSTAND) IS INSTALLED ACCROSS THE PEDESTRIAN DOORWAY BETWEEN THE GARAGE AND THE DWELLING. THE UPSTAND/THRESHOLD IS TO BE SEALED TO THE CONCRETE USING A WATERPROOF SEALANT.

REFER TO FINAL DRAINAGE PLANS FOR LOCATIONS OF AGRICULTURAL DRAINS AND SILT PITS

SOIL CLASSIFICATION

CLASS "M"
AS PER SOIL REPORT PROVIDED BY "GEO-ENVIRONMENTAL SOLUTIONS PTY. LTD. (GES)"
FILE NO: J13012
DATED: 05/05/2026

WIND RATING : N3

SITE CUT AND BATTER

SITE CUT AND FILL TO BE MINIMUM 1.2m FROM DWELLING BOUNDARY AND BATTERED AT NO MORE THAN 45 DEGREES SITE CUTS/FILLING WORKS NOT SUPPORTED BY RETAINING WALLS SHALL BE FINISHED WITH A BATTER OF 45 DEGREES AND AN AGRICULTURAL DRAIN AT THE BASE OR A SPOON DRAIN AT THE END OF ANY FUTURE PAVING EXTERNAL WALL FOOTINGS SHALL NOT BE FOUNDED AT GREATER DEPTHS THAN THE ADJOINING BUILDING FOOTINGS. STOP WORKS AND CONTACT THE OFFICE IMMEDIATELY IF THE ABOVE CANNOT BE ACHIEVED.

STORMWATER DRAIN

CONSTRUCT & DISCHARGE 100 DIA. P.V.C STORM WATER DRAIN TO LEGAL POINT OF DISCHARGE AS DIRECTED BY THE RELEVANT AUTHORITY. MIN FALL 1:100 PROVIDE INSPECTION OPENINGS AT 9000 MAX CTRS OR AT EVERY CHANGE OF DIRECTION. DP DENOTES 100x50 DOWNPIPES AT 12000 MAX CTRS. PROVIDE 100 DIA. SEWERGRADE S.W DRAIN UNDER SLAB AND DRIVEWAY.

GARDEN TAPS

POSITION OF THE FRONT GARDEN TAP & WATER METER IS BY WATER AUTHORITY, THE FULL COST OF RELOCATION IS AT THE OWNER'S EXPENSE.

LEVELS

LEVELS SHOWN ARE TO AN ARBITRARY DATUM AND ARE TO BE USED AS A GUIDE ONLY. OWNER/BUILDER TO CHECK AND VERIFY ON SITE PRIOR TO ANY WORK BEING CARRIED OUT. ALL LEVELS ON DRAWINGS ARE NOMINAL AND MAY ALTER DUE TO SITE CONDITIONS UP TO 50mm EITHER WAY.

GENERAL

- CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND MEASUREMENTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL WORK IS SUBJECT TO INSPECTION AND APPROVAL OF RELEVANT BUILDING SURVEYOR.
- ALL WORK SHOWN TO BE CARRIED OUT IN GOOD WORKMAN LIKE MANNER IN ACCORDANCE WITH "NATIONAL CONSTRUCTION CODE - 2019".
- NO RESPONSIBILITY IS TAKEN FOR WORK DONE AFTER ACCEPTANCE OF PLANS BY CLIENT.
- WORK SHOWN TO BE IN ACCORDANCE WITH SPECIFICATIONS/COMPUTATIONS SUPPLIED.

EXCAVATION

- EXCAVATE FOOTINGS AND DRAINS AS SHOWN. KEEP EXCAVATIONS DRY AND BACKFILL WITH APPROVED MATERIALS FREE OF ANY BUILDING DEBRIS.

ENERGY RATING

- ALL EXTERNAL DOORS AND WINDOWS TO UTILITY ROOMS (NON-HEATED BATHROOMS, LAUNDRIES; STORAGE ROOMS) TO BE WEATHER-SEALED WITH WEATHER-STRIPPING BETWEEN THE DOOR AND THE FRAME, AND A DRAFT EXCLUDER FITTED AT THE BOTTOM OF THE DOOR TO CREATE A TIGHT SEAL WHEN CLOSED.

- ALL OPENABLE WINDOWS TO HAVE WEATHER-STRIPPING BETWEEN THE FRAME AND THE SASH TO CREATE A TIGHT SEAL WHEN CLOSED.

- ENTRY DOOR TO BE WEATHER-STRIPPED.

- ALL GENERAL BUILDING GAPS AND CRACKS TO BE FILLED.

- ALL REFLECTIVE FOIL TO BE INSTALLED TO MANUFACTURERS RECOMMENDATIONS AND TO RUN CONTIGUOUSLY FROM BOTTOM PLATE TO TOP PLATE WITH ALL GAPS TAPED. ALL RIPS IN FOIL AND PENETRATIONS TO BE RE-TAPED.

- ONLY NON-VENTED DOWNLIGHTS, AND SKYLIGHTS TO BE USED

- EXHAUST FANS TO BE SELF-SEALING, OR FITTED WITH A SELF CLOSING DEVICE TO PROVIDE A SEAL TO UNWANTED VENTILATION.

- **R2.5 BATTS TO EXTERNAL WALLS.**

- **R2.5 BATTS TO GARAGE INTERNAL WALLS.**

- **R5.0 BATTS TO CEILINGS.**

- ALL WINDOWS/SLIDING DOORS ARE TO BE ALUMINIUM FRAMED DOUBLE GLAZED CLEAR GLASS WITH A MINIMUM U-VALUE & SHGC AS LISTED IN THE ENERGY REPORT.

DRAWING REGISTER

NUMBER	DRAWING NAME
D00	NOTES & DRAWING REGISTER
D00a	SANITARY COMPARTMENT WALLS
D00b	WATER PROOFING DETAILS 01
D00c	WATER PROOFING DETAILS 02
D01a	SITE PLAN
D01b	SITE EXCAVATION PLAN
D01c	SURVEY PLAN
D02	FLOOR PLAN
D03a	ELEVATIONS A & B
D03b	ELEVATIONS C & D
D04	SECTIONS
D04a	SECTIONS - TYPICAL
D05	WINDOW & DOOR ELEVATION
D06a	INTERNAL ELEVATIONS - KITCHEN
D06b	INTERNAL ELEVATIONS TYPICAL
D07a	INTERNAL ELEVATIONS - ENSUITE
D07b	INTERNAL ELEVATIONS - BATH
D07c	INTERNAL ELEVATIONS - LAUNDRY
D08	ROOF PLAN
D09	SLAB PLAN
D10a	SLAB PENETRATION PLAN
D10b	PLUMBING PLAN
D10c	STORMWATER MANAGEMENT PLAN
D11	FLOOR FINISHES PLAN
D12	ELECTRICAL PLAN
D13	LANDSCAPE PLAN

BUSHFIRE ASSESSMENT

THIS PARCEL IS 'BAL LOW', NOT IN A DESIGNATED BUSHFIRE PRONE AREA. 'NO' BAL REQUIREMENTS.

IMPORTANT NOTES:

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
- ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE, ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
- WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
- FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
- ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANOR AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
- THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
- ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.



1/37 Ascot Dr, Huntingfield TAS 7055

P +61 3 6289 6601

Home: **THE FOX-13.5(01)**

Facade: **01A**

Client: **FM3 GROUP PTY LTD**

Location: **33 SPOONBILL LOOP (LOT 17), SORELL TAS**

Drawing: **NOTES & DRAWING REGISTER**

DRAWING DETAILS

5/25/2026 8:37:46 AM

SCALE SHEET SIZE
1 : 100 A3

JOB No: **832H**

Drwg No: **D00** Issue **A03**

All dimensions to be verified on site



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LIVABLE HOUSING NOTES

6.1 LOCATION

- (1) REINFORCING IN ACCORDANCE WITH CLAUSE 62 MUST BE PROVIDED TO ANY:
 - (A) SANITARY COMPARTMENT THAT IS SUBJECT TO PART 4; AND
 - (B) BATHROOM CONTAINING A:
 - (I) SHOWER THAT IS SUBJECT TO PART 5; OR
 - (II) BATH (IF PROVIDED), OTHER THAN A FREESTANDING BATH, WHERE THE BATH IS LOCATED IN A ROOM THAT ALSO CONTAINS A SHOWER THAT IS SUBJECT TO PART 5.
- (2) THE REQUIREMENTS OF (1) NEED NOT BE COMPLIED WITH IF THE WALLS OF THE ROOM ARE CONSTRUCTED OF CONCRETE, MASONRY OR ANOTHER MATERIAL CAPABLE OF SUPPORTING GRABRAILS WITHOUT ADDITIONAL REINFORCEMENT.
- (3) WHERE THE WALL THE REINFORCEMENT INCLUDES A CAVITY SLIDER, IT MUST BE DESIGNED AND CONSTRUCTED IN WAY TO SUPPORT LOADS IMPOSED BY REINFORCEMENT: LININGS AND THE FUTURE PROVISION OF HANDRAILS AND PROVIDED FOR THE EXTENT FIGURES 6.2A, 6.2B, 6.2C, 6.2D, 6.2E, 6.2F AND 6.2G.

INFORMATION: INTENT OF PART 6

THE INTENT OF THIS PART IS TO ENSURE THAT WALLS ADJACENT TO TOILET PANS SHOWERS AND BATHS PROVIDE A FIXING SURFACE ABLE TO SUPPORT THE FUTURE INSTALLATION OF GRABRAILS, IF NEEDED. THIS PART DOES NOT REQUIRE THE INSTALLATION OF GRABRAILS AT THE TIME OF CONSTRUCTION. A FREE STANDING BATH IS EXCLUDED FROM CLAUSE 6.1(1)(B)(II) BECAUSE IT DOES NOT HAVE ANY ADJOINING WALLS TO WHICH GRABRAILS COULD BE FIXED. A BATH WITH ONLY ONE ADJOINING WALL NEED ONLY HAVE REINFORCING PROVIDED IN THE ADJOINING WALL (UNLESS EXEMPTED BY CLAUSE 6.1(2)). CARE IS REQUIRED WHEN LOCATING A CAVITY SLIDING DOOR ADJACENT TO A FIXTURE WHICH REQUIRES REINFORCEMENT TO 6.1 (1) AS THE FRAMING THAT SURROUNDS THE CAVITY INTO WHICH THE DOOR RETRACTS DEMANDS CAREFUL CONSIDERATION OF FIXINGS AND MEMBERS THAT WILL SAFELY SUPPORT A GRABRAIL AND NOT IMPEDE THE OPERATION OF THE DOOR.

INFORMATION: NON-COMBUSTIBILITY OF WALLS

WHERE NOGGINGS ARE REQUIRED TO ACHIEVE COMPLIANCE WITH THIS PART, PROVIDED THEY DO NOT EXTEND FURTHER THAN NECESSARY, THESE NOGGINGS MAY BE INSTALLED WITHIN AN EXTERNAL WALL THAT IS REQUIRED TO BE NON-COMBUSTIBLE UNDER C2D10(4)(I)(II) OF NCC VOLUME ONE.

6.2 CONSTRUCTION

- (1) REINFORCING CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF (3) MUST BE PROVIDED IN THE LOCATIONS DEPICTED IN:
 - (A) FIGURES 6.2A OR 6.2B FOR WALLS SURROUNDING A BATH; AND
 - (B) FIGURES 6.2C OR 6.2D FOR SHOWER WALLS; AND
 - (C) FIGURE 6.2E FOR A WALL ADJACENT TO AND WITHIN 460mm OF THE CENTRELINE OF A TOILET PAN; AND
 - (D) FIGURES 6.2F OR 6.2G FOR A WALL BEHIND A TOILET PAN WHERE A WALL DESCRIBED IN (C) IS NOT PROVIDED OR A WINDOW SILL OR A DOOR ENCROACHES ON THE AREA TO BE PROVIDED WITH REINFORCING OR WHERE THE TOILET PAN IS NOT PROVIDED IN A CORNER OF THE BATHROOM.
- (2) REINFORCING NEED ONLY BE PROVIDED ACROSS THE AVAILABLE WIDTH OF THE WALL WHERE A WALL REFERRED TO IN (1)(A) OR (B):
 - (A) IS NARROWER THAN THE WIDTH OF THE AREA REQUIRED TO BE PROVIDED WITH REINFORCING; OR
 - (B) TERMINATES AT A WINDOW SILL LOWER THAN THE HEIGHT OF THE AREA NOMINATED TO PROVIDED WITH REINFORCING.
- (3) REINFORCING REQUIRED BY (1) MUST BE CONSTRUCTED USING ONE OF THE FOLLOWING MATERIALS:
 - (A) A MINIMUM OF 12mm THICK STRUCTURAL GRADE PLYWOOD, OR SIMILAR.
 - (B) TIMBER FRAMING WITH A MINIMUM THICKNESS OF 25mm.

FIGURE 6.2a: LOCATION OF FRAMING FOR WALLS SURROUNDING A BATH

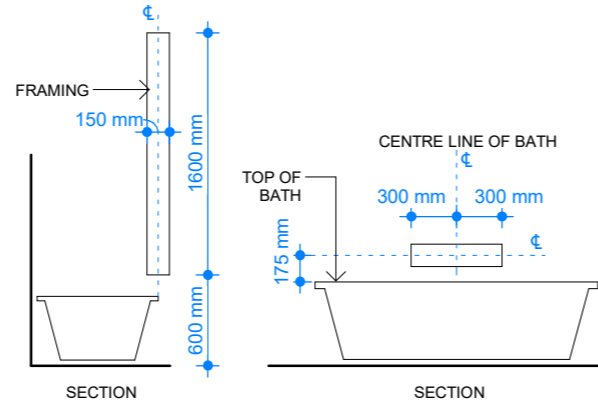


FIGURE NOTES:
 (1) TAPS, NICHES, SOAP HOLDERS AND THE LIKE MAY BE LOCATED WITHIN THE POSITIONS DESIGNATED FOR WALL REINFORCING.
 (2) WHERE THE HEIGHT OF THE BATHTUB IS NOT YET KNOWN, AN ASSUMED HEIGHT OF 500mm ABOVE FINISHED FLOOR LEVEL MAY BE USED TO DETERMINE THE LOCATION OF WALL REINFORCING.

FIGURE 6.2c: LOCATION OF FRAMING FOR SHOWER WALLS

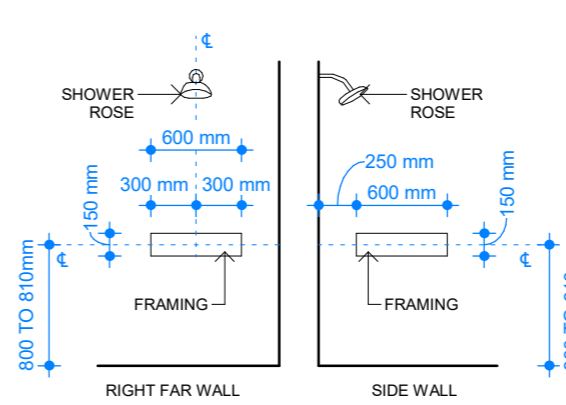


FIGURE NOTE:
 1. TAPS, NICHES, SOAP HOLDERS AND THE LIKE MAY BE LOCATED WITHIN THE POSITIONS DESIGNATED FOR WALL REINFORCING.

FIGURE 6.2e: MINIMUM EXTENT OF SHEETING FOR WALL ADJACENT TO A TOILET PAN

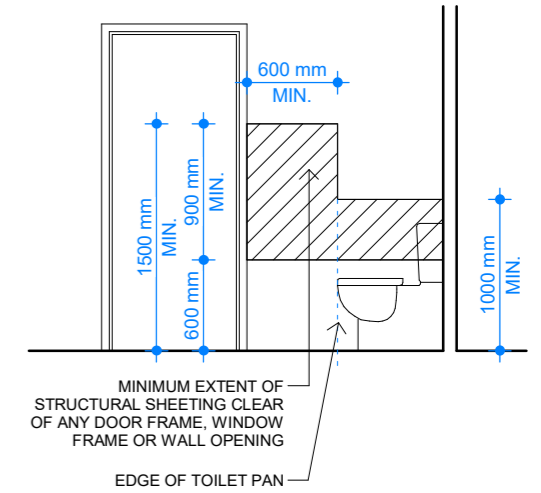


FIGURE 6.2b: LOCATION OF SHEETING FOR WALLS SURROUNDING A BATH

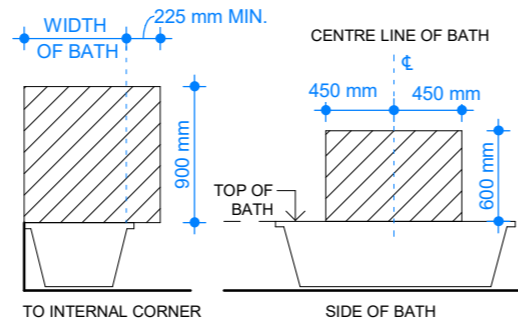


FIGURE NOTE:
 1. TAPS, NICHES, SOAP HOLDERS AND THE LIKE MAY BE LOCATED WITHIN THE POSITIONS DESIGNATED FOR WALL REINFORCING.

FIGURE 6.2d: LOCATION OF SHEETING FOR SHOWER WALLS

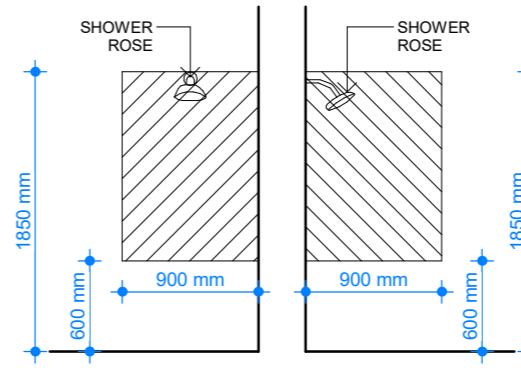


FIGURE NOTE:
 1. TAPS, NICHES, SOAP HOLDERS AND THE LIKE MAY BE LOCATED WITHIN THE POSITIONS DESIGNATED FOR WALL REINFORCING.

FIGURE 6.2f: LOCATION OF FRAMING FOR A WALL BEHIND A TOILET PAN

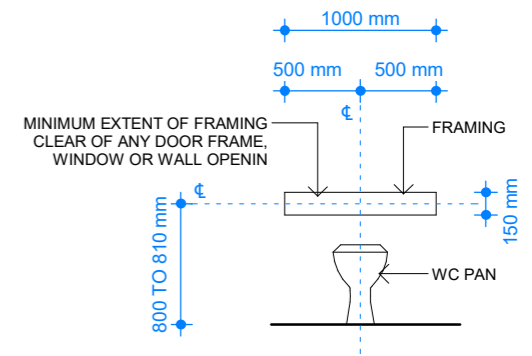
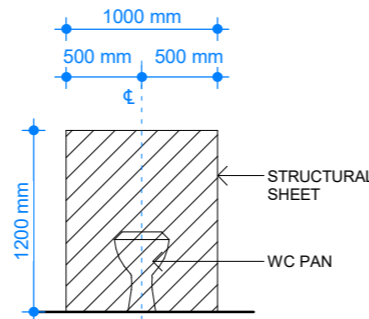


FIGURE 6.2g: LOCATION OF SHEETING FOR A WALL BEHIND A TOILET PAN



- IMPORTANT NOTES:**
1. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
 2. ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE, ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
 3. WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
 4. FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
 5. ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANNER AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
 6. THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
 7. ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.



1/37 Ascot Dr, Huntingfield TAS 7055
 P +61 3 6289 6601

Home: **THE FOX-13.5(01)** Facade: **01A**
 Client: **FM3 GROUP PTY LTD**
 Location: **33 SPOONBILL LOOP (LOT 17), SORELL TAS**
 Drawing: **SANITARY COMPARTMENT WALLS**

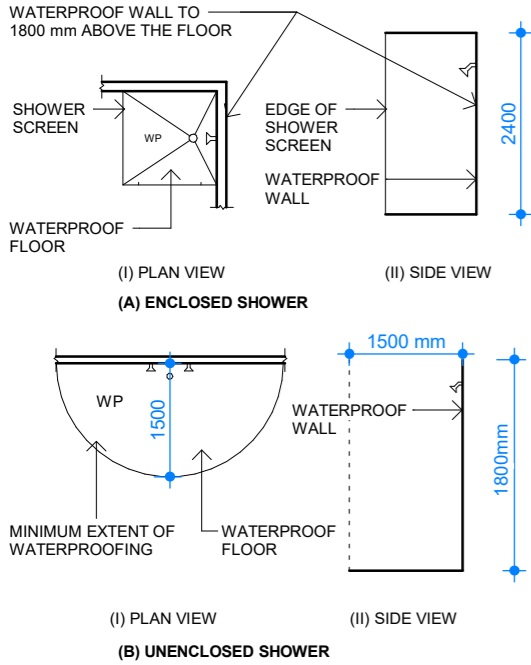
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 Development Application: 5.2026.170.1 -
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 Plans Reference: P1
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SCALE	SHEET SIZE
1 : 50	A3
JOB No:	832H
Drwg No:	D00a
Issue	A03

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10.2.2 SHOWER AREA (ENCLOSED AND UNENCLOSED)

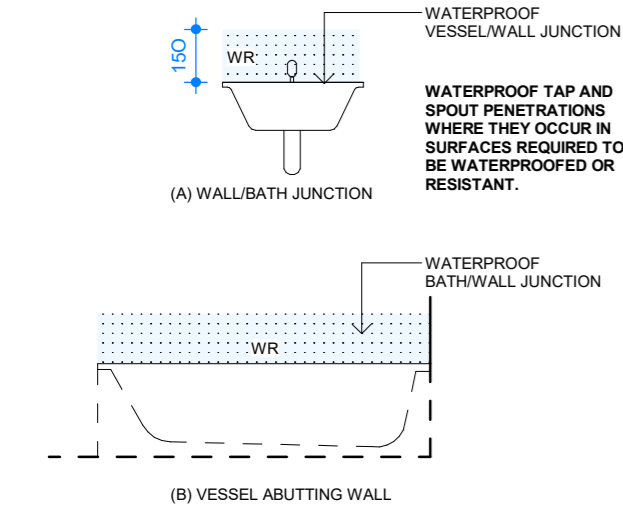
FIGURE 10.2.2 EXTENT OF TREATMENT FOR SHOWER AREAS - CONCRETE COMPRESSED FIBRE- CEMENT AND FIBRE-CEMENT SHEET FLOORS



10.2.2(C) WALL JUNCTIONS AND JOINTS WITHIN THE SHOWER AREA MUST BE WATERPROOFED NOT LESS THAN 40mm EITHER SIDE OF THE JUNCTION.

10.2.3 FLOORS OUTSIDE SHOWER AREA FOR CONCRETE AND CEMENT SHEET FLOORING MUST BE WATER RESISTANT. WALL/FLOOR JUNCTIONS MUST BE WATERPROOFED.

10.2.5 OTHER AREAS



LAUNDRIES AND WC'S, THE FLOOR MUST BE WATER RESISTANT. ANY JUNCTIONS TO BE WATER RESISTANT AND ANY FLASHING USED IN JUNCTIONS MUST BE NOT LESS THAN 40mm.

IF A BIDET IS TO BE INSTALLED WITH HAND HELD SPRAY, THE FLOOR MUST BE WATERPROOFED, THE WALL MUST BE WATERPROOFED TO A HEIGHT OF 150mm ABOVE THE FLOOR SUBSTRATE WHERE WITHIN 900mm OF THE CONNECTION, AND THE WALL MUST BE WATER RESISTANT IN WC WITHIN 900mm OF THE CONNECTION TO A HEIGHT OF NOT LESS THAN 1200mm. WALL JUNCTIONS WITHIN 900mm OF CONNECTION, WALL/FLOOR JUNCTIONS AND PENETRATIONS MUST BE WATERPROOFED.

10.2.4 AREAS ADJACENT TO BATHS AND SPAS WITHOUT SHOWERS

FIGURE 10.2.4A AREAS ADJACENT TO BATHS AND SPAS WITHOUT SHOWERS FOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET FLOORING

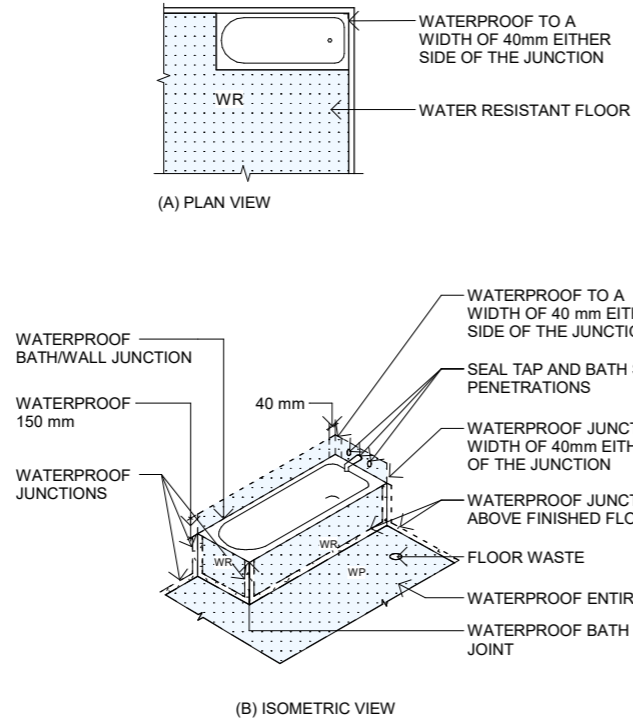
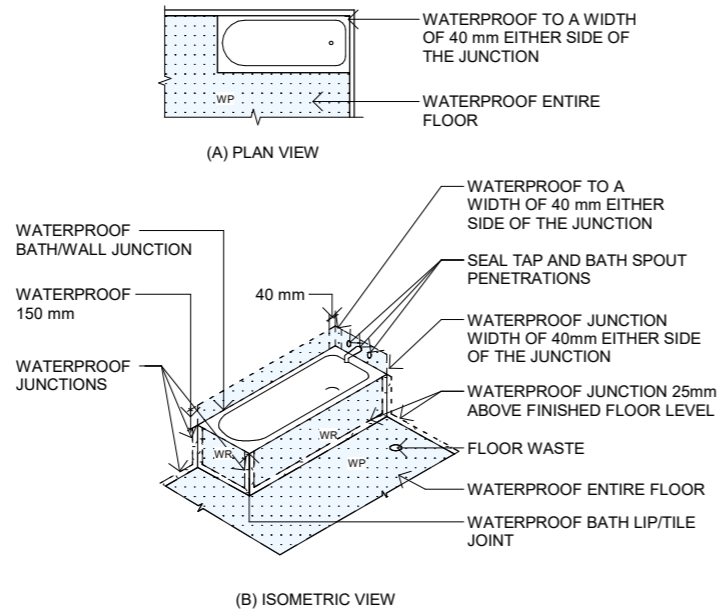


FIGURE 10.2.4B AREAS ADJACENT TO BATHS AND SPAS WITHOUT SHOWERS FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER FLOOR MATERIALS



NOTE: REFER NCC 2022 PART 10.2 WET AREA WATERPROOFING FOR FULL CONTENTS OF THE REGULATION

10.2.15 STEPDOWN SHOWERS

FIGURE 10.2.15A TYPICAL ENCLOSED STEPPED DOWN SHOWER CONSTRUCTION (MEMBRANE BELOW TILE BED)

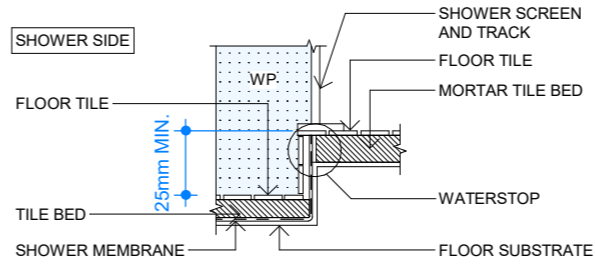
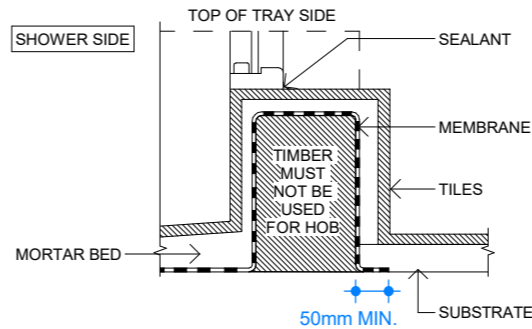
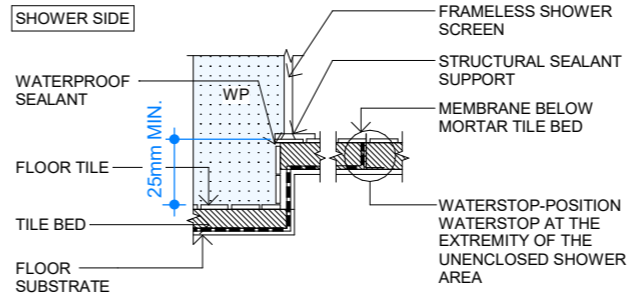
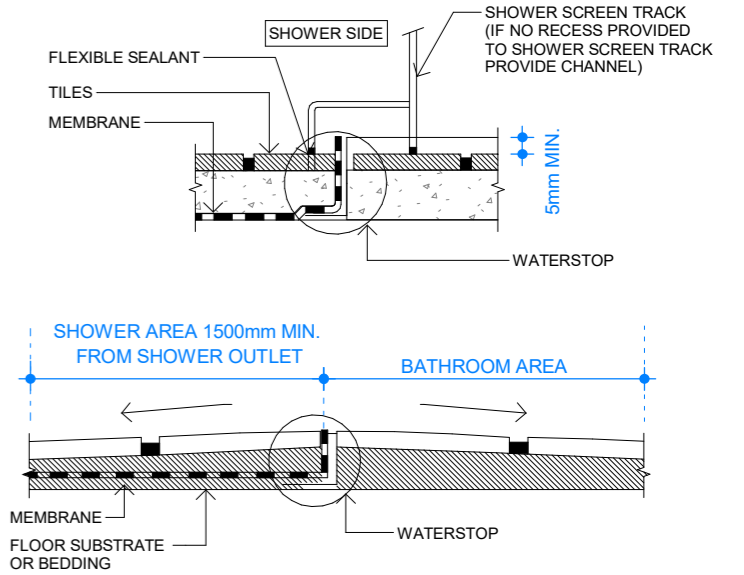


FIGURE 10.2.15C TYPICAL UNENCLOSED STEPPED DOWN SHOWER CONSTRUCTION (MEMBRANE BELOW TILE BED)



10.2.17 ENCLOSED SHOWERS WITH LEVEL THRESHOLD (WITHOUT HOB OR SET DOWN)

FIGURE 10.2.17 TYPICAL HOBLESS CONSTRUCTION



A WATERSTOP MUST BE INSTALLED A MIN HORIZONTAL DISTANCE OF 1500mm FROM THE SHOWER ROSE. THE WHOLE OF THE FLOOR MUST BE WATERPROOFED AND DRAINED TO FLOOR WASTE (AS FOR A SHOWER AREA).

10.2.19 PREFORMED SHOWER BASES

FIGURE 10.2.19A TYPICAL PREFORMED SHOWER BASE WALL/FLOOR JUNCTION

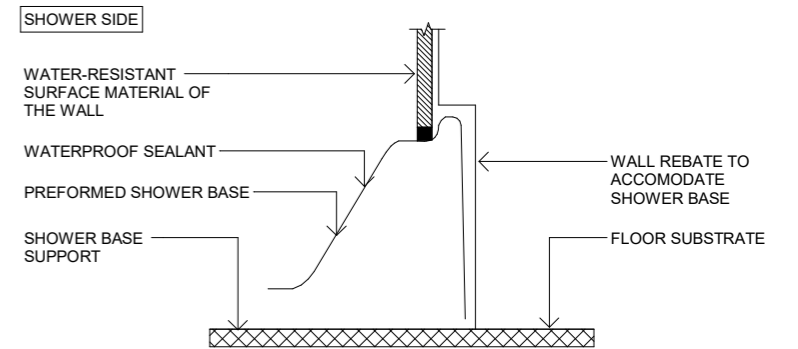
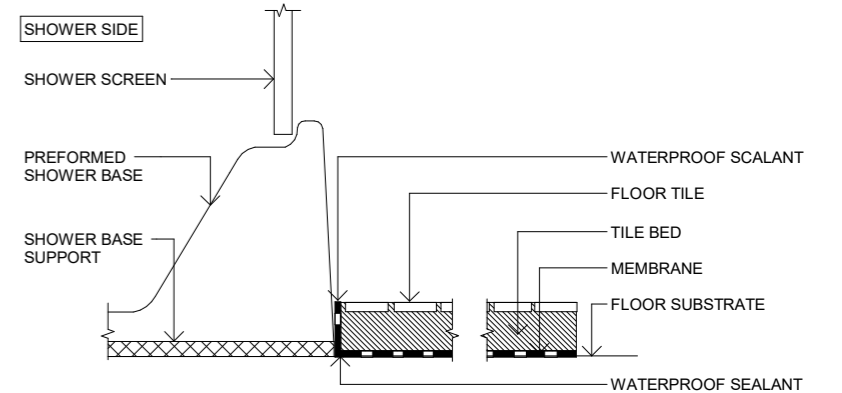


FIGURE NOTES:
1. REBATING OF TIMBER AND STEEL FRAMED WALLS MUST BE IN ACCORDANCE WITH AS 1684 OR NASH STANDARD PART 2 AS APPROPRIATE.
2. WHERE REBATING OF MASONRY WALLS IS REQUIRED, IT MUST BE ACCOMMODATED IN THE DESIGN IN ACCORDANCE WITH AS 3700.

FIGURE 10.2.19B TYPICAL PREFORMED SHOWER BASE/FLOOR JUNCTION ON TIMBER FLOORS, INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER MATERIALS



IMPORTANT NOTES:

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
- ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE, ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
- WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
- FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
- ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANNER AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
- THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
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Drawing: WATER PROOFING DETAILS 01

Facade: 01A

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SCALE	SHEET SIZE
1 : 100	A3
JOB No:	832H
Drwg No:	D00b Issue A03

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10.2.20 BATHS AND SPAS

FIGURE 10.2.20 TYPICAL BATH JUNCTIONS

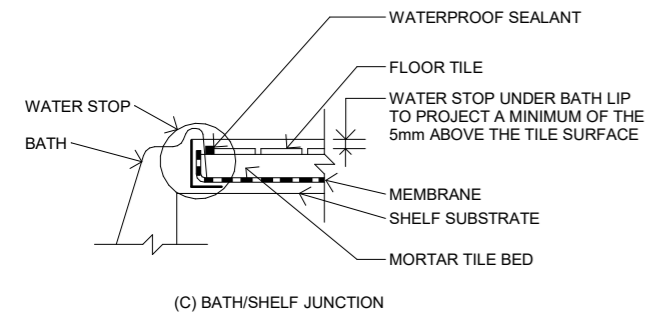
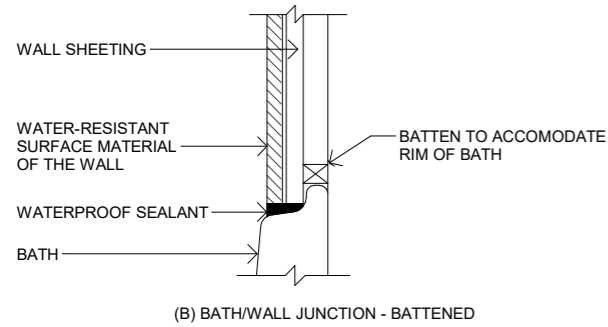
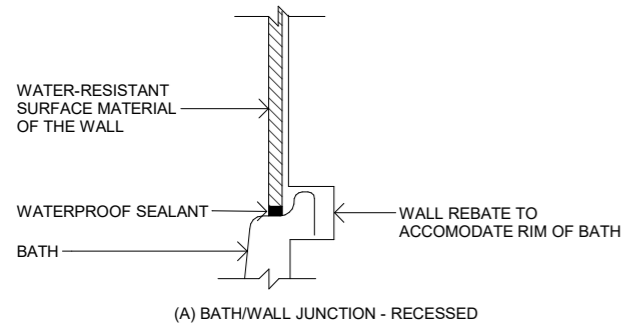


FIGURE NOTES:

1. REBATING OF TIMBER AND STEEL FRAMED WALLS MUST BE IN ACCORDANCE WITH AS 1684 OR NASH STANDARD PART 2 AS APPROPRIATE.
2. WHERE REBATING OF MASONRY WALLS IS REQUIRED, IT MUST BE ACCOMMODATED FOR IN THE DESIGN IN ACCORDANCE WITH AS 3700.
3. FOR DIAGRAM (C), WHERE A WATERSTOP CANNOT BE PROVIDED, A TYPE 1 OR TYPE 2 JUNCTION CAN BE USED WITH AS 3740.

10.2.8 MATERIALS - WATERPROOF
ANY MEMBRANES USED MUST COMPLY WITH AS/NZS 4858

10.2.12 - WET AREA FLOORS - FALLS
WHERE A FLOOR WASTE IS INSTALLED, THE MIN CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE IS 1:80. THE MAX CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE IS 1:50.

REFER TO BCA FOR PENETRATIONS, FLASHINGS, MEMBRANES, WALL SHEETING SUBSTRATES, BOND BREAKER INSTALLATION ETC FOR MORE SPECIFIC DETAILS

IMPORTANT NOTES:

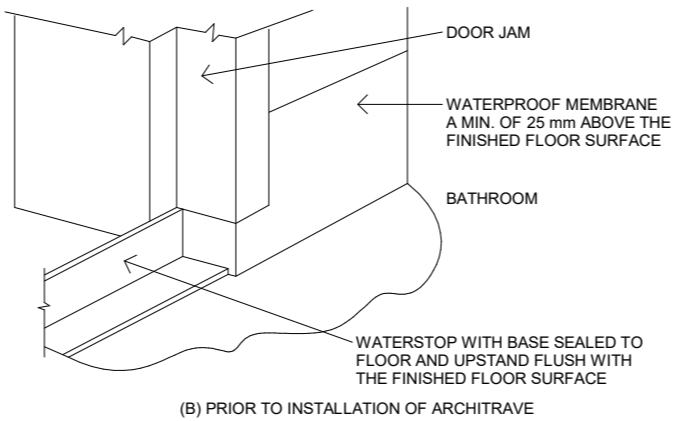
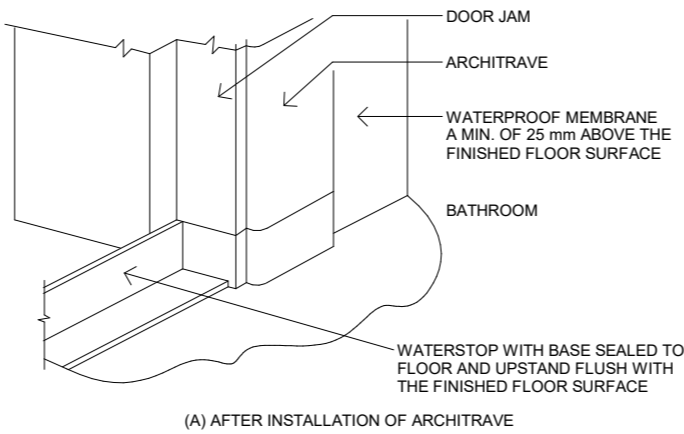
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10.2.24 FLASHINGS/JUNCTIONS

FIGURE 10.2.24 TYPICAL BATHROOM DOOR DETAILS FOR WHOLE BATHROOM WATERPROOFING



EXPLANATORY INFORMATION

VERTICAL FLASHING MAY BE USED AS FOLLOWS:

- (A) EXTERNAL VERTICAL FLASHING MAY BE USED WITH EXTERNAL MEMBRANE SYSTEMS AND INSTALLED BEHIND THE WALL SHEETING OR RENDER. THEY MUST HAVE LEGS OF SUFFICIENT WIDTH TO ALLOW THE WALL SHEETING OR RENDER TO OVERLAP BY NOT LESS THAN 32 mm.
- (B) INTERNAL VERTICAL FLASHING MAY BE USED WITH BOTH EXTERNAL AND INTERNAL MEMBRANE SYSTEMS PROVIDED EACH LEG HAS A MINIMUM OVERLAP OF 40 mm TO THE WALL SHEETING OR RENDER AND WHERE USED WITH:
 - (I) INTERNAL MEMBRANE, MUST EXTEND VERTICALLY FROM THE SHOWER TRAY; AND
 - (II) EXTERNAL MEMBRANES, MUST OVERLAP THE TOP EDGE OF THE FLOOR WATERPROOFING SYSTEM BY NOT LESS THAN 20 mm; AND
 - (III) PREFORMED SHOWER BASES OR BATHS, MUST EXTEND TO THE BOTTOM EDGE OF THE WALL SHEETING OR RENDER.

10.2.27 BOND BREAKER INSTALLATION FOR BONDED MEMBRANES

FIGURE 10.2.27 (EXPLANATORY) TYPICAL BOND BREAKER DETAILS

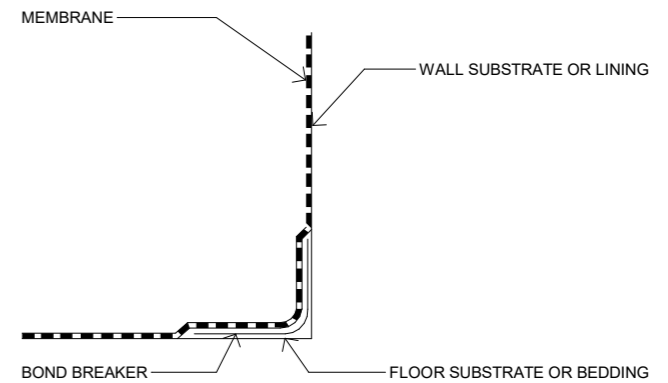
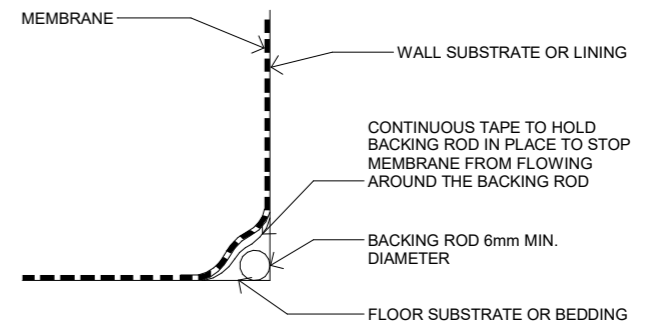
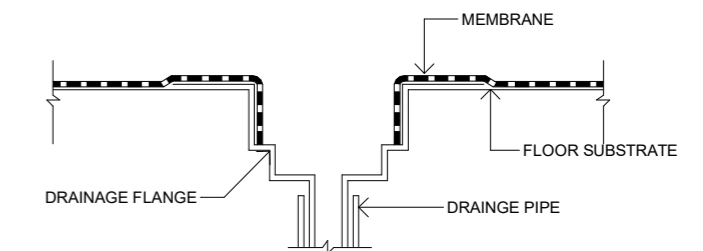


FIGURE NOTES:

1. BOND BREAKERS FOR CLASS I MEMBRANES (LOW EXTENSIBILITY) ALLOW THE MEMBRANE TO FLEX RATHER THAN STRETCH.
2. BOND BREAKERS FOR CLASS II MEMBRANES (MEDIUM EXTENSIBILITY) ALLOW THE MEMBRANE TO STRETCH. IF A TAPE IS USED AS A BOND BREAKER, EITHER THE MEMBRANE MUST NOT BOND TO THE TAPE OR THE TAPE MUST HAVE ELASTIC PROPERTIES SIMILAR TO THE MEMBRANE.
3. BOND BREAKERS FOR CLASS III MEMBRANES (HIGH EXTENSIBILITY) ALLOW THE MEMBRANE TO HAVE AN EVEN THICKNESS.

10.2.29 MEMBRANE TO DRAINAGE CONNECTION

FIGURE 10.2.29 TYPICAL MEMBRANE TERMINATION AT DRAINAGE OUTLET



EXPLANATORY INFORMATION: DRAINAGE FLANGES

- FOR MEMBRANE DRAINAGE CONNECTIONS IN CONCRETE FLOORS: DRAINAGE FLANGE MAY BE EITHER CAST INTO THE CONCRETE SLAB OR SET INTO THE TOP SURFACE OF THE CONCRETE SLAB OR THE TILE BED.
- FOR MEMBRANE DRAINAGE CONNECTIONS IN OTHER FLOORS: DRAINAGE FLANGE MAY BE EITHER SET INTO THE FLOOR SUBSTRATE OR THE TILE BED.

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Client: FM3 GROUP PTY LTD

Location: 33 SPOONBILL LOOP (LOT 17), SORELL TAS

Drawing: WATER PROOFING DETAILS 02

Facade: 01A

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SCALE SHEET SIZE

1 : 20 A3

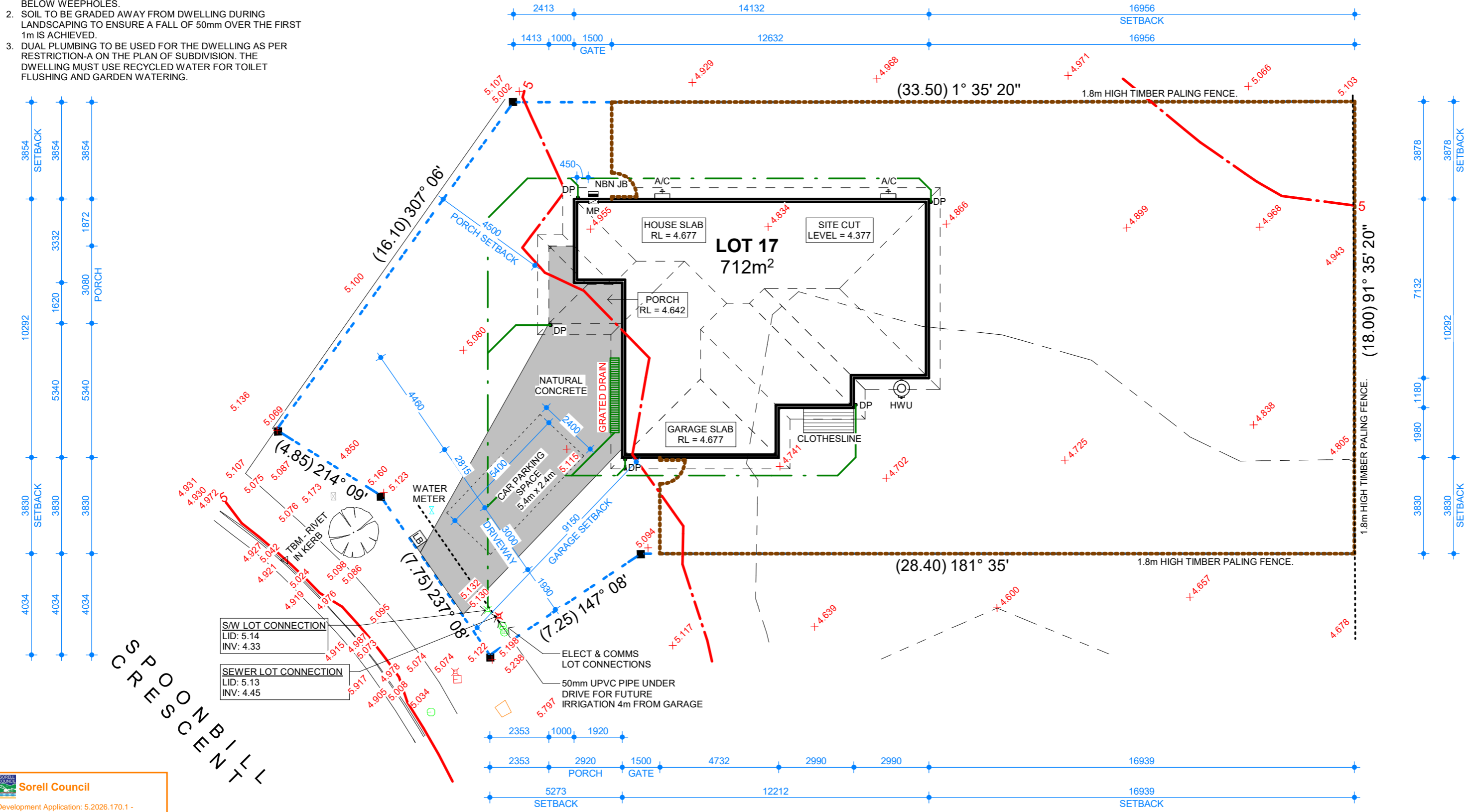
JOB No: 832H

Drwg No: D00c Issue A03

All dimensions to be verified on site

NOTES:

1. FINISHED LANDSCAPING LEVEL TO BE 1 BRICK OR MORE BELOW WEEPHOLES.
2. SOIL TO BE GRADED AWAY FROM DWELLING DURING LANDSCAPING TO ENSURE A FALL OF 50mm OVER THE FIRST 1m IS ACHIEVED.
3. DUAL PLUMBING TO BE USED FOR THE DWELLING AS PER RESTRICTION-A ON THE PLAN OF SUBDIVISION. THE DWELLING MUST USE RECYCLED WATER FOR TOILET FLUSHING AND GARDEN WATERING.



S/W LOT CONNECTION
LID: 5.14
INV: 4.33

SEWER LOT CONNECTION
LID: 5.13
INV: 4.45

SITE PLAN

1 : 150

LEGEND	
	100ø UPVC STORMWATER PIPE TO GRADE TO LPOD, MINIMUM GRADE 1:100
	SURFACE DRAIN

- IMPORTANT NOTES:**
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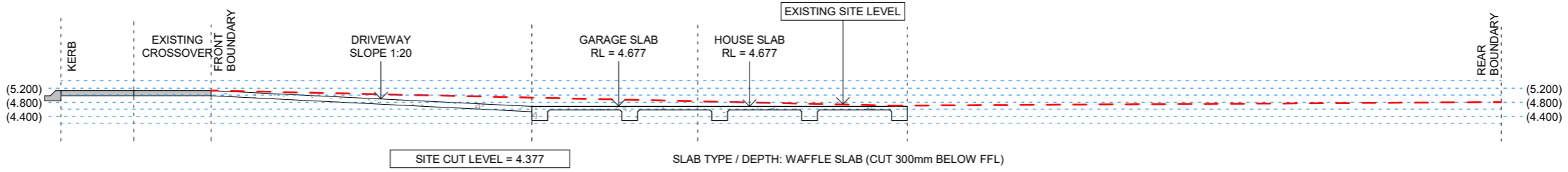
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As indicated	A3											
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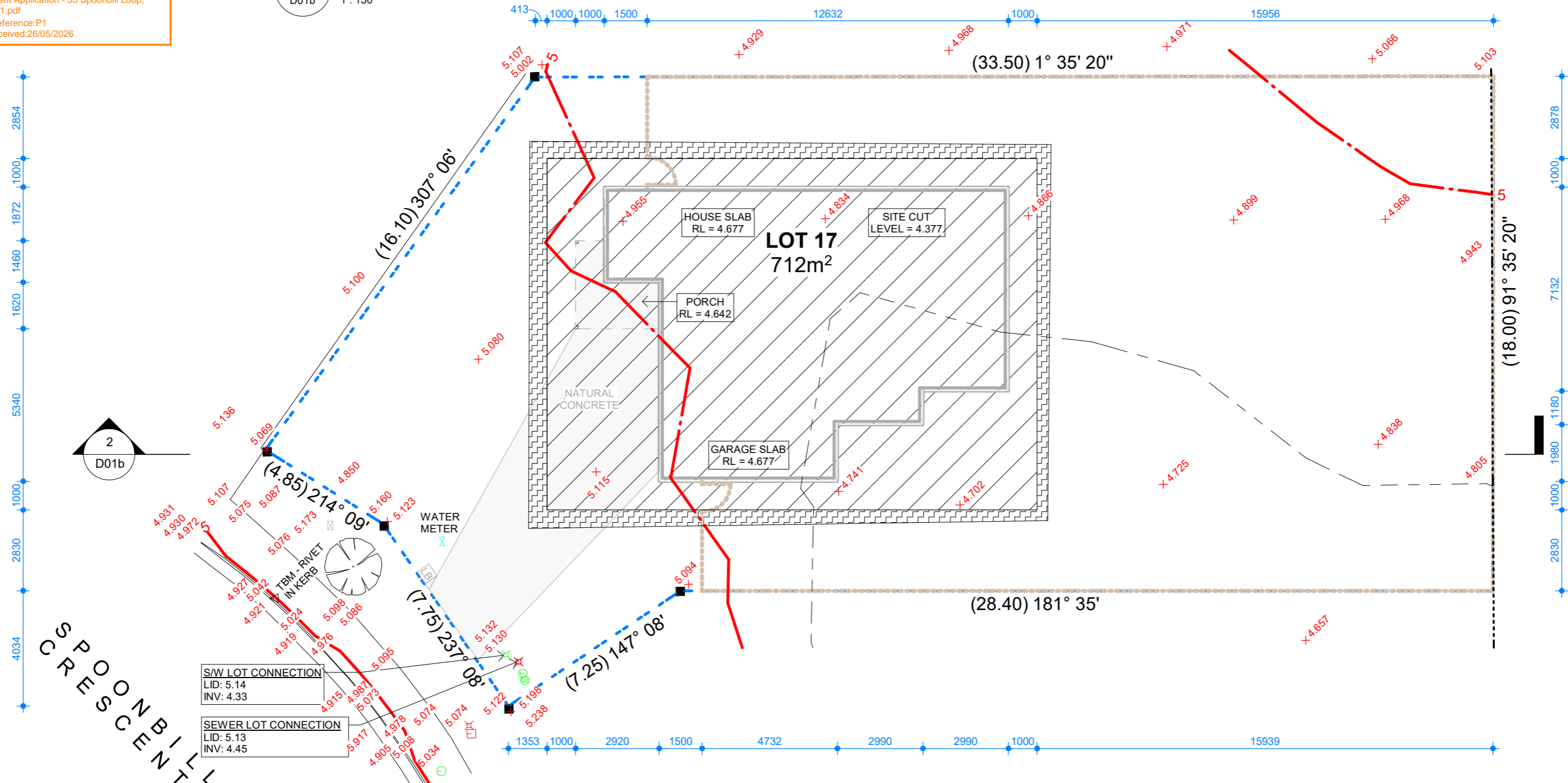
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LEGEND	
	DENOTES CUT
	DENOTES FILL
	DENOTES BATTER

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2 SITE SECTION
 D01b 1:150



SITE EXCAVATION PLAN
 1:150

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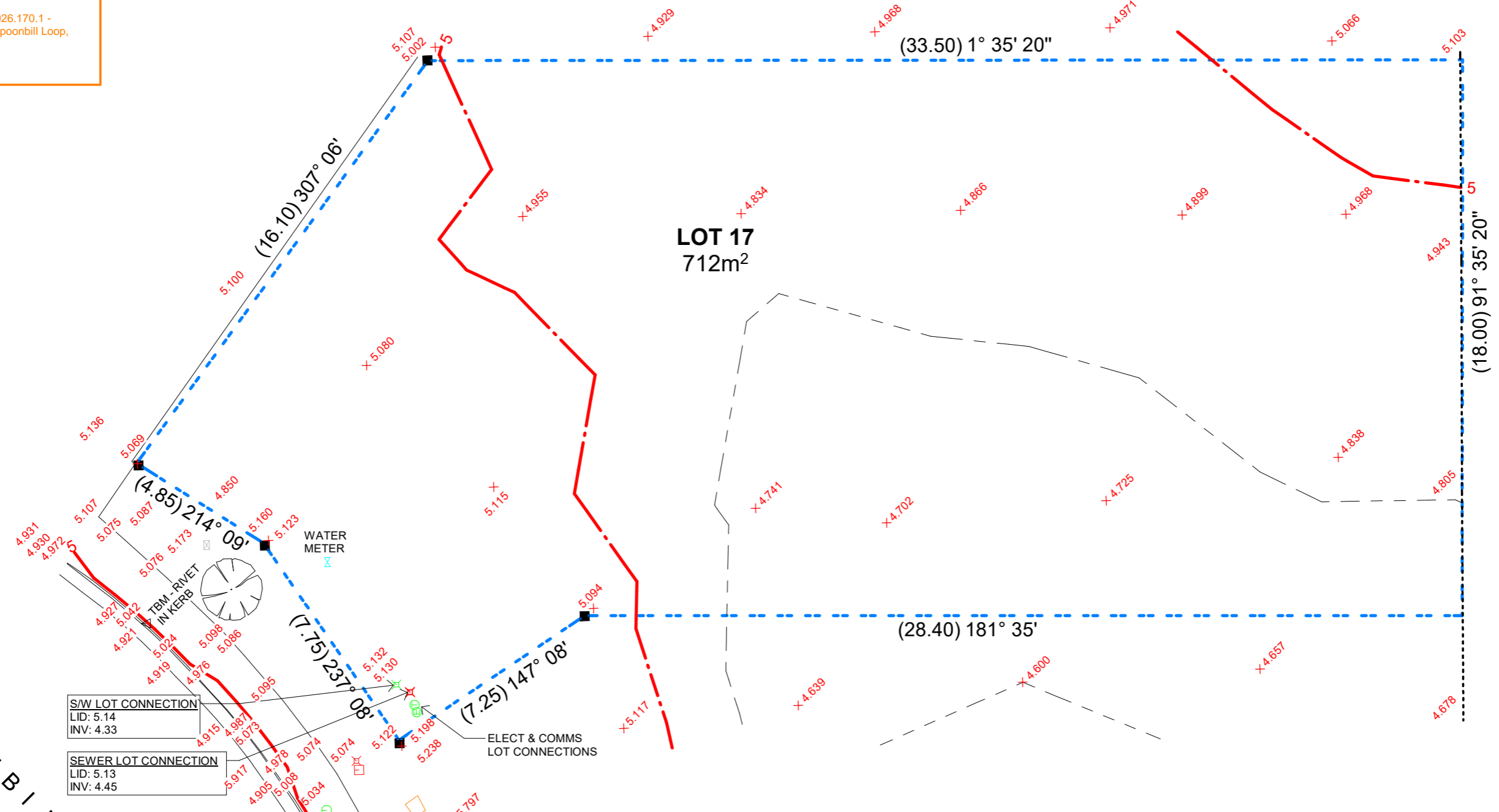
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 Drawing: **SITE EXCAVATION PLAN**

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S P O O N B I L L C R E S C E N T



S/W LOT CONNECTION
 LID: 5.14
 INV: 4.33

SEWER LOT CONNECTION
 LID: 5.13
 INV: 4.45

SURVEY PLAN
 1 : 150

SURVEY LEGENDS:			
	BOUNDARY LINE		TITLE PEG
	FENCE		NAIL
	CULVERT 300		NATURAL SURFACE
	GRATED PIT		TREE
	GUTTER LIP		STORMWATER MANHOLE
	HOUSE		STORMWATER HOUSE CONNECTION
	RIDGE LINES		ELECTRICITY MAIN UNDERGROUND
	KERB / DRIVEWAY		CABLE HYDRO UNDERGROUND
	BITUMEN EDGE / FOOTPATH		TELSTRA PIT
	SEWER UNDERGROUND		CABLE TELSTRA UNDERGROUND
			SEWER HOUSE CONNECTION
			WATER MAIN
			STOP VALVE
			FIRE HYDRANT
			METER WATER

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 Drawing: **SURVEY PLAN**

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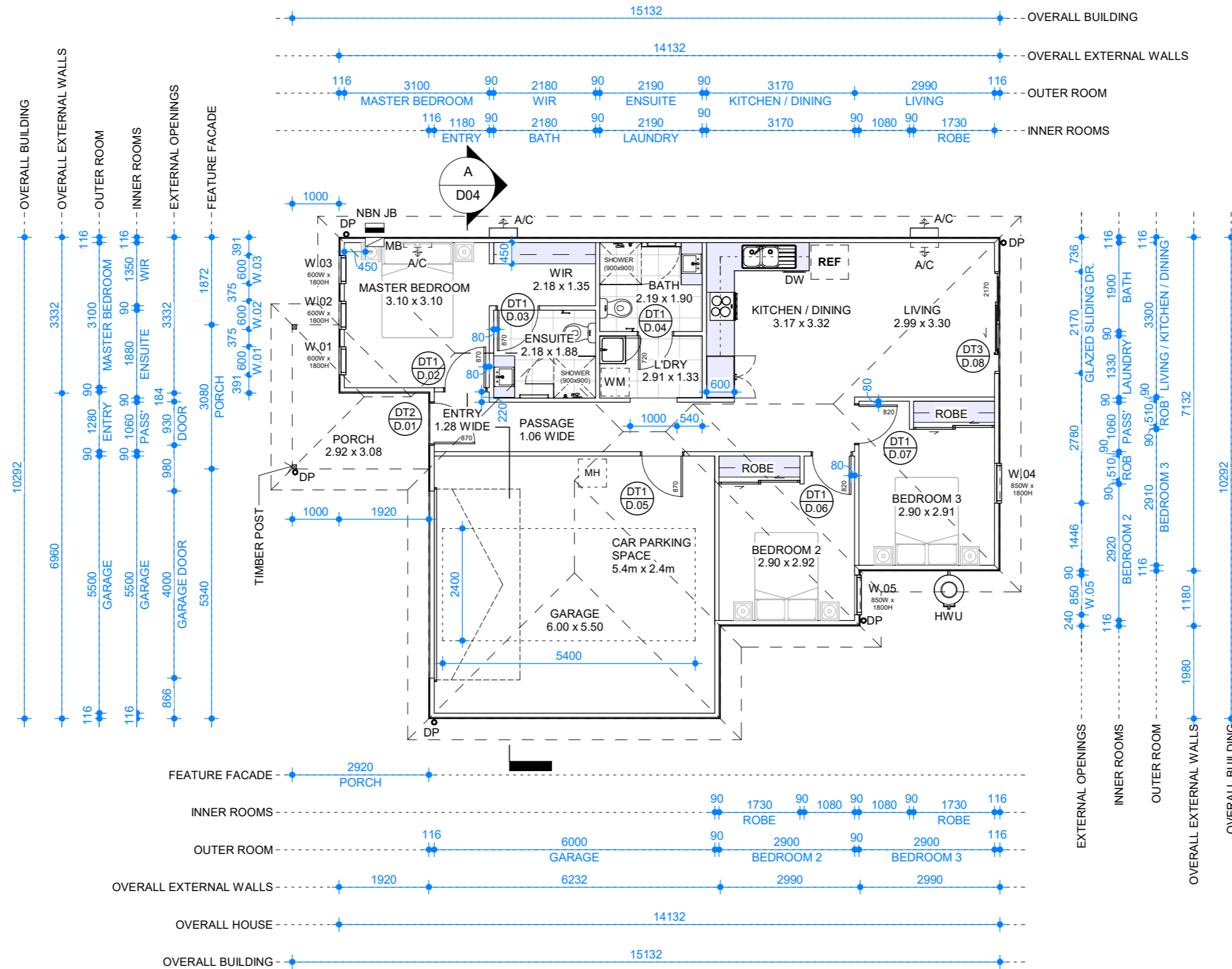
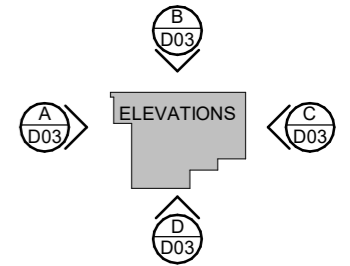
FLOOR FINISHES:
 ALL FLOOR COVERINGS TO BE FIRM AND EVEN AND FEATURE A TRANSITION BETWEEN ABUTTING SURFACES (A MAXIMUM VERTICAL TOLERANCE OF 3mm OR 5mm BETWEEN SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELED).

ALL INTERNAL FLOOR FINISHES SHALL HAVE A MINIMUM SLIP RESISTANCE OF P3 OR R10.

EXHAUST FANS:
 EXHAUST FANS TO BE 25 LITRES PER SECOND (BATHROOMS AND TOILET) OR 40 LITRES PER SECOND (KITCHEN AND LAUNDRY).



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LEGEND:

	MAN HOLE 600X600 (APPROX. POSITION)
	REVERSE CYCLE AIR CONDITIONING
	CONTROL JOINT

LEGEND - SERVICES:

	HOT WATER SERVICE
	METER BOX
	GAS METER
	NBN JUNCTION BOX

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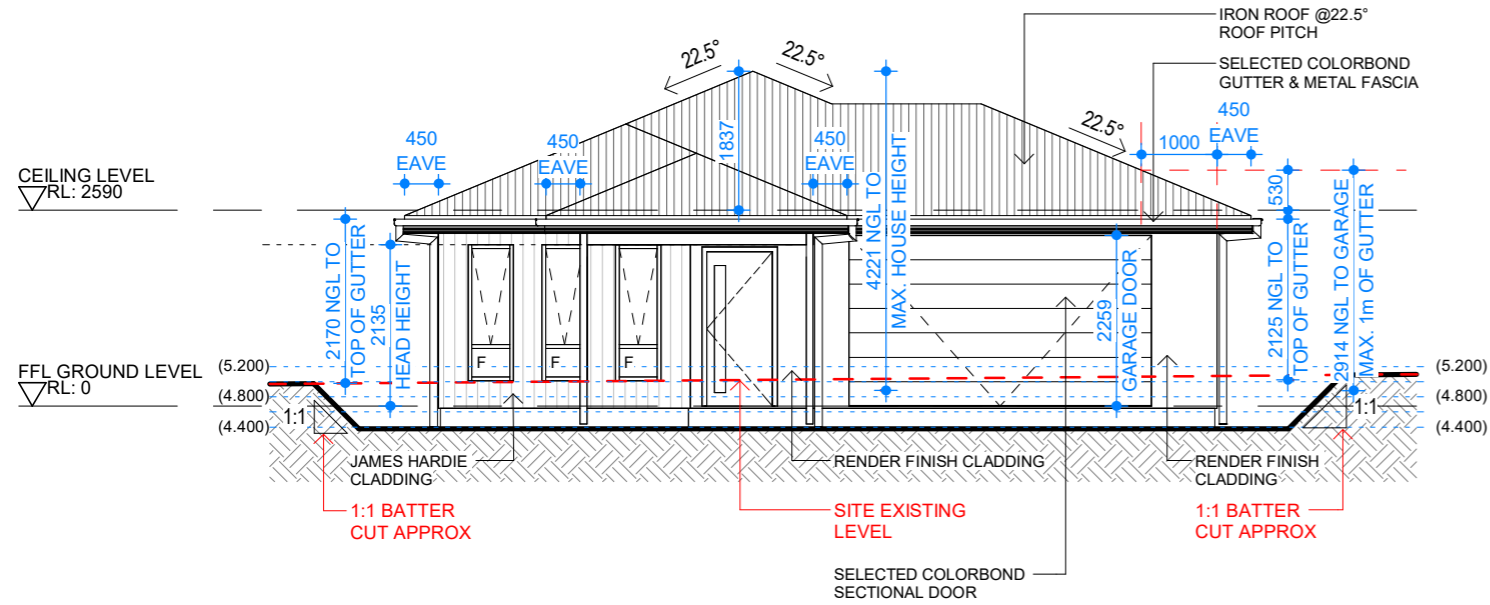
Home: **THE FOX-13.5(01)** Facade: **01A**
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 Location: **33 SPOONBILL LOOP (LOT 17), SORELL TAS**
 Drawing: **FLOOR PLAN**

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	5/25/2026 8:37:51 AM	
All dimensions to be verified on site	SCALE	SHEET SIZE
	1 : 100	A3
JOB No:	832H	
	Drwg No:	D02 Issue A03

HOUSE SIZE	10.29m x 14.13m
BLOCK SIZE	18.00m x 33.50m
AREAS	
LIVING	82.10 m ²
GARAGE	34.60 m ²
PORCH	6.20 m ²
TOTAL AREA	122.90 m²
SITE COVERAGE	17.26%

FLOOR PLAN

1 : 100



ELEVATION A

1 : 100

LOT 17 GARAGE & HOUSE HEIGHTS & AREAS

GARAGE ROOF HEIGHT AT BOUNDARY		
CEILING TO ROOF AT BOUNDARY	70	mm
CEILING HEIGHT OF HOUSE	2,590	mm
GARAGE SETDOWN	0	mm
RL OF GARAGE SLAB	4,677	mm
HIGHEST NGL RL OF GARAGE AT BOUNDARY	5,025	mm
LOWEST NGL RL OF GARAGE AT BOUNDARY	4,741	mm
AVERAGE NGL RL OF GARAGE AT BOUNDARY	4,883	mm
AVERAGE GARAGE HEIGHT AT BOUNDARY FROM NGL	2,454	mm
MAXIMUM GARAGE HEIGHT AT BOUNDARY FROM NGL	2,596	mm
ROOF RISE OVER 1m= 370mm (22.5°)	530	mm
GARAGE HT 1m IN FROM BOUNDARY FROM NGL	2,914	mm

HOUSE MAX HEIGHT

CEILING LEVEL TO THE HIGHEST POINT	1,837	mm
MAX HEIGHT OF HOUSE FROM NGL	4,221	mm

PORCH MAX HEIGHT

CEILING LEVEL TO THE HIGHEST POINT AT 4.5m SETBACK LINE	530	mm
NGL AT FORWARD MOST POINT (AT 4.5m SETBACK LINE)	5,000	mm
MAX HEIGHT OF PORCH FROM NGL	2,797	mm

LOT AREAS

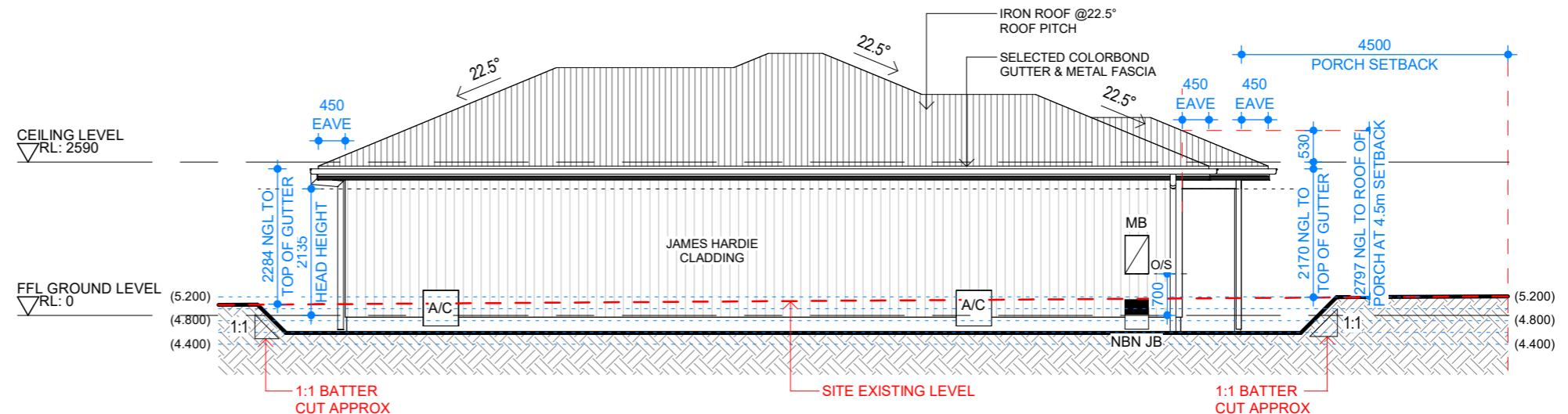
TOTAL SITE AREA	712.00	m ²	
PERMITTED BUILDING AREA	427.20	m ²	
TOTAL BUILDING AREA	122.90	m ²	17.26%
TOTAL NON-PERMEABLE AREA - DRIVEWAY AND CONCRETE PATHS	47.1	m ²	6.6%
TOTAL PERMEABLE AREA	542.0	m ²	76.1%

LEGEND - FINISHES	
	JAMES HARDIE CLADDING
	RENDER CLADDING B

LEGEND - SERVICES	
HWS	HOT WATER SERVICE
MB	METER BOX
NBN JB	NBN JUNCTION BOX

AVERAGE GARAGE WALL HEIGHT	
WALL LENGTH:	6.20m
WALL AREA:	15.93m ²
AVERAGE WALL HEIGHT:	2.57m

NOTE:
NATURAL GROUND LEVELS ARE SHOWN INDICATIVELY ONLY.



ELEVATION B

1 : 100

Sorell Council
 Development Application: 5.2026.170.1 -
 Development Application - 33 Spoonbill Loop,
 Sorell - P1.pdf
 Plans Reference:P1
 Date Received:26/05/2026

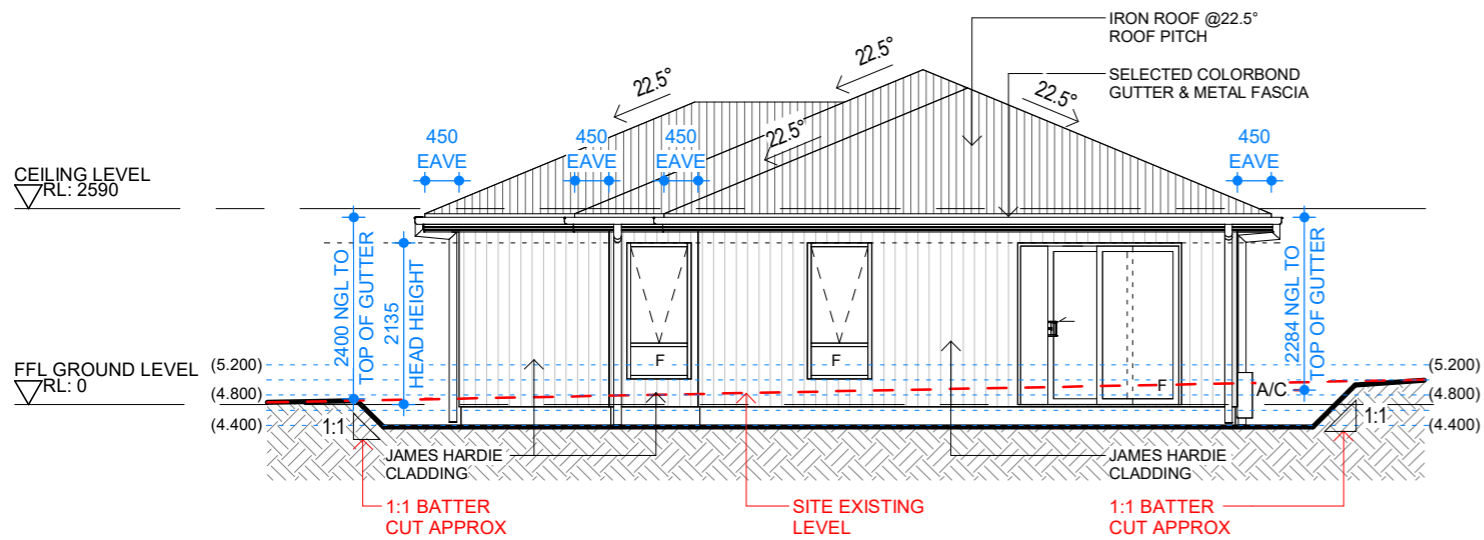
- IMPORTANT NOTES:**
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SJM property developments
 1/37 Ascot Dr, Huntingfield TAS 7055
 P +61 3 6289 6601

Home: **THE FOX-13.5(01)** Facade: **01A**
 Client: **FM3 GROUP PTY LTD**
 Location: **33 SPOONBILL LOOP (LOT 17), SORELL TAS**
 Drawing: **ELEVATIONS A & B**

DRAWING DETAILS	
5/25/2026 8:37:52 AM	
SCALE	SHEET SIZE
1 : 100	A3
JOB No:	832H
Drwg No:	D03a Issue A03

All dimensions to be verified on site



ELEVATION C
1 : 100

LOT 17 GARAGE & HOUSE HEIGHTS & AREAS

GARAGE ROOF HEIGHT AT BOUNDARY		
CEILING TO ROOF AT BOUNDARY	70	mm
CEILING HEIGHT OF HOUSE	2,590	mm
GARAGE SETDOWN	0	mm
RL OF GARAGE SLAB	4,677	mm
HIGHEST NGL RL OF GARAGE AT BOUNDARY	5,025	mm
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HOUSE MAX HEIGHT		
CEILING LEVEL TO THE HIGHEST POINT	1,837	mm
MAX HEIGHT OF HOUSE FROM NGL	4,221	mm

PORCH MAX HEIGHT		
CEILING LEVEL TO THE HIGHEST POINT AT 4.5m SETBACK LINE	530	mm
NGL AT FORWARD MOST POINT (AT 4.5m SETBACK LINE)	5,000	mm
MAX HEIGHT OF PORCH FROM NGL	2,797	mm

LOT AREAS		
TOTAL SITE AREA	712.00	m ²
PERMITTED BUILDING AREA	427.20	m ²
TOTAL BUILDING AREA	122.90	m² 17.26%
TOTAL NON-PERMEABLE AREA - DRIVEWAY AND CONCRETE PATHS	47.1	m² 6.6%
TOTAL PERMEABLE AREA	542.0	m² 76.1%

LEGEND - FINISHES

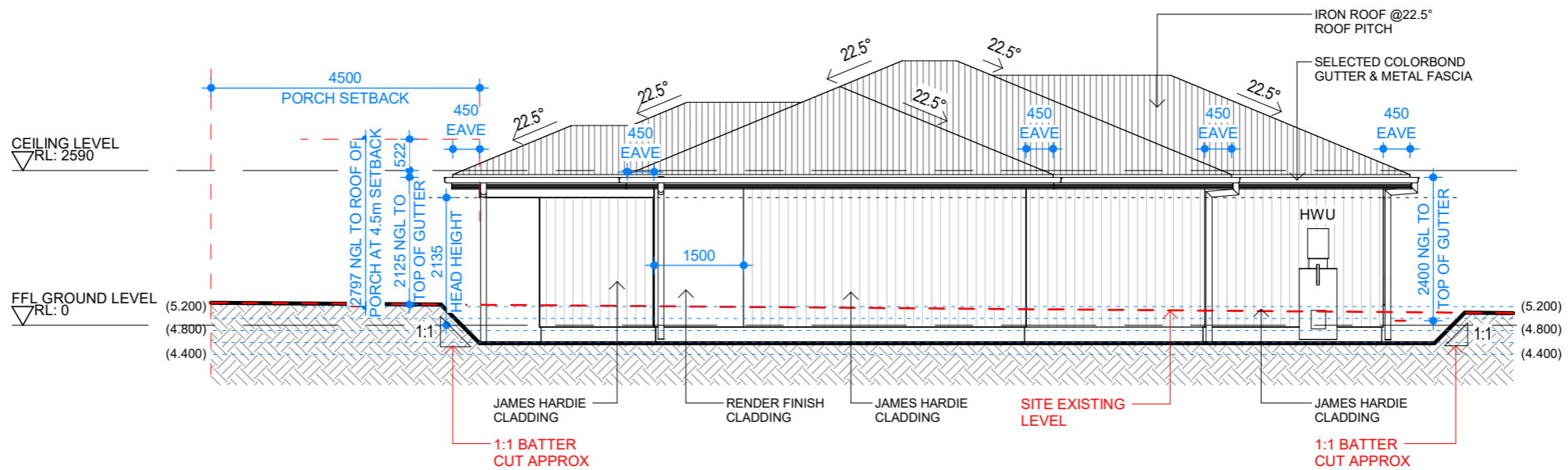
- JAMES HARDIE CLADDING
- RENDER CLADDING B

LEGEND - SERVICES

- HWS HOT WATER SERVICE
- MB METER BOX
- NBN JB NBN JUNCTION BOX

AVERAGE GARAGE WALL HEIGHT	
WALL LENGTH:	6.20m
WALL AREA:	15.93m ²
AVERAGE WALL HEIGHT:	2.57m

NOTE:
NATURAL GROUND LEVELS ARE SHOWN INDICATIVELY ONLY.



ELEVATION D
1 : 100

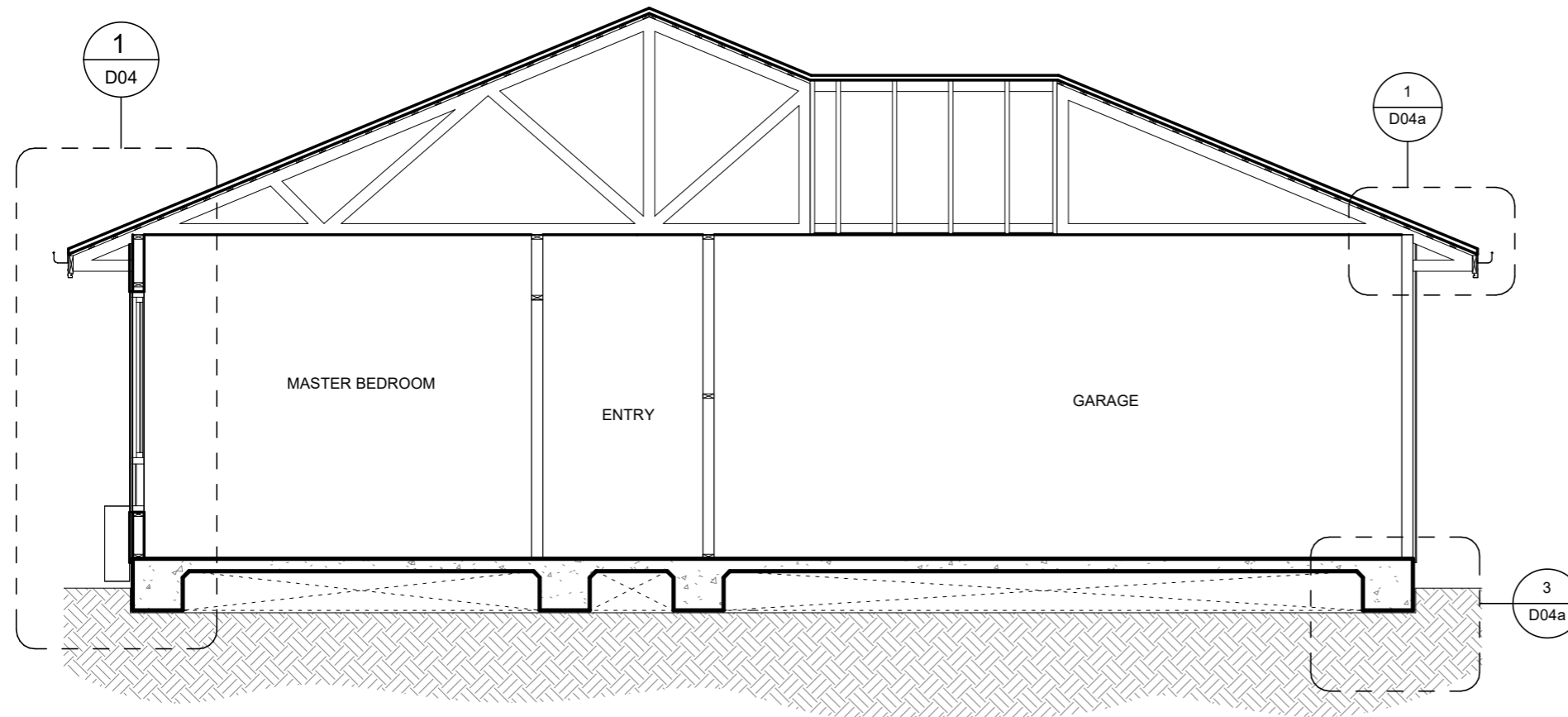
Sorell Council
Development Application: 5.2026.170.1 - Development Application - 33 Spoonbill Loop, Sorell - P1.pdf
Plans Reference:P1
Date Received:26/05/2026

- IMPORTANT NOTES:**
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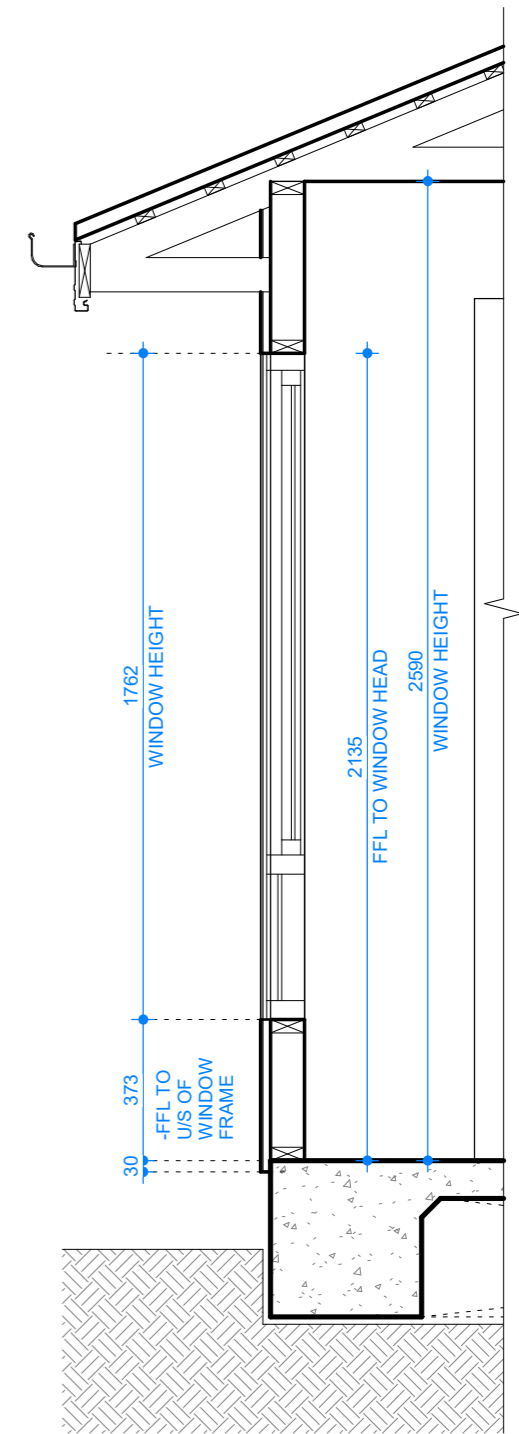
SJM property developments
1/37 Ascot Dr, Huntingfield TAS 7055
P +61 3 6289 6601

Home: **THE FOX-13.5(01)** Facade: **01A**
Client: **FM3 GROUP PTY LTD**
Location: **33 SPOONBILL LOOP (LOT 17), SORELL TAS**
Drawing: **ELEVATIONS C & D**

DRAWING DETAILS	
5/25/2026 8:37:53 AM	
SCALE	SHEET SIZE
1 : 100	A3
JOB No:	832H
Drwg No:	D03b Issue A03
All dimensions to be verified on site	



A SECTION A
D02 1 : 50



1 TYP. SLAB REBATE DETAIL
D04 1 : 20

Sorell Council
Development Application: 5.2026.170.1 -
Development Application - 33 Spoonbill Loop,
Sorell - P1.pdf
Plans Reference:P1
Date Received:26/05/2026

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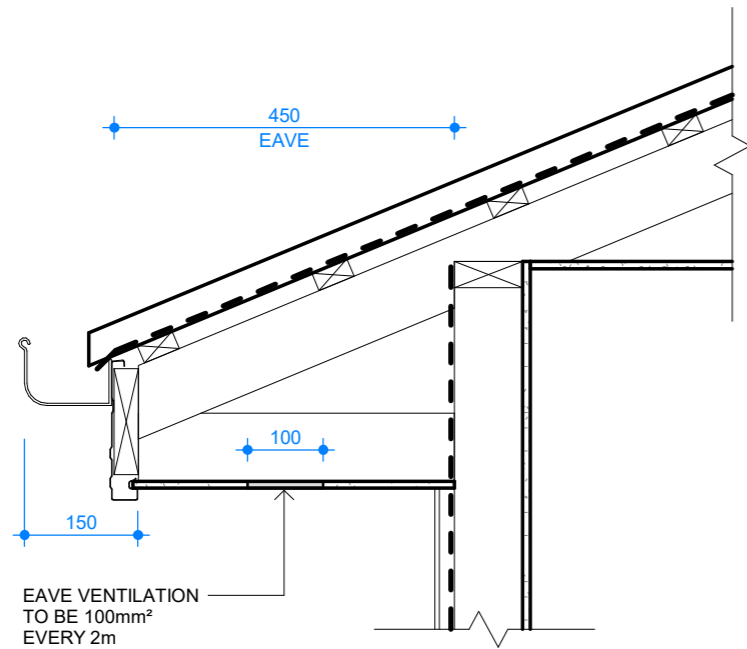
1/37 Ascot Dr, Huntingfield TAS 7055
P +61 3 6289 6601

Home: **THE FOX-13.5(01)**
Client: **FM3 GROUP PTY LTD**
Location: **33 SPOONBILL LOOP (LOT 17), SORELL TAS**
Drawing: **SECTIONS**

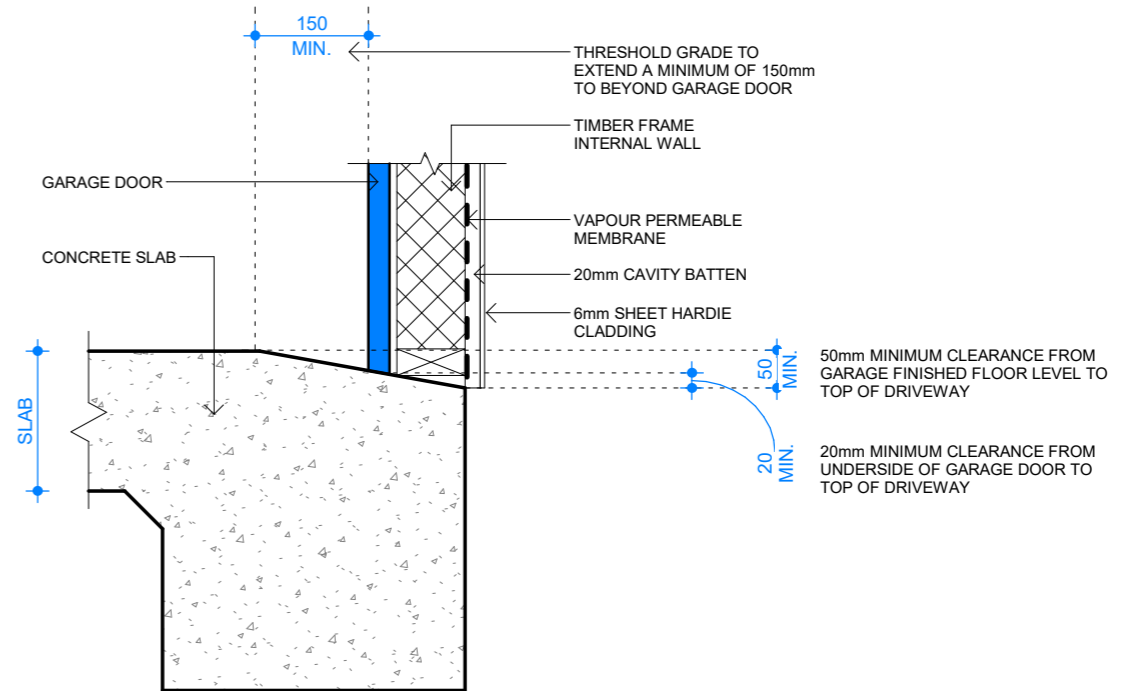
Facade: **01A**

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5/25/2026 8:37:54 AM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	832H
Drwg No:	D04 Issue A03

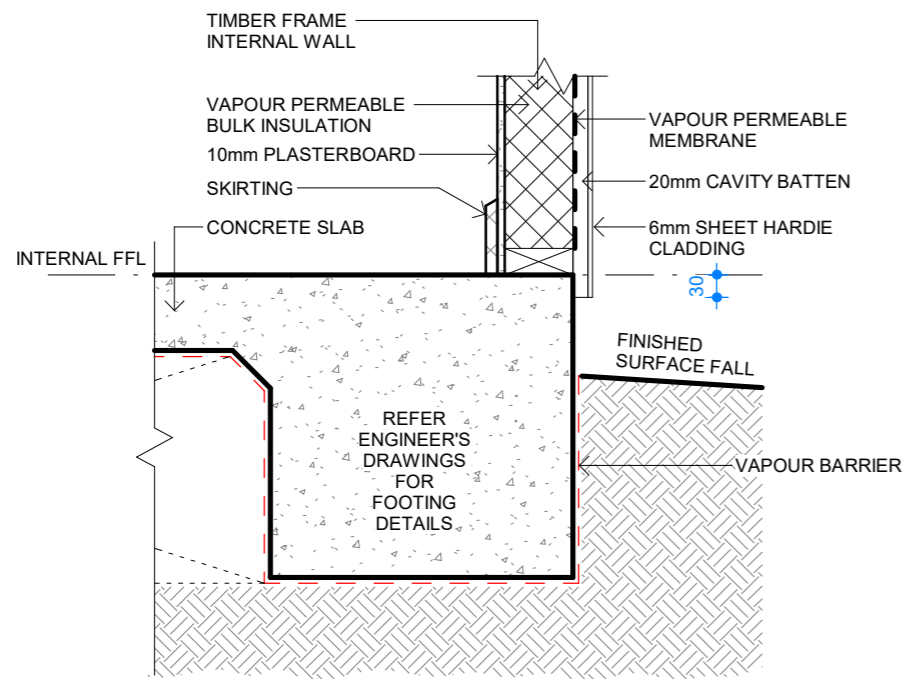
All dimensions to be verified on site



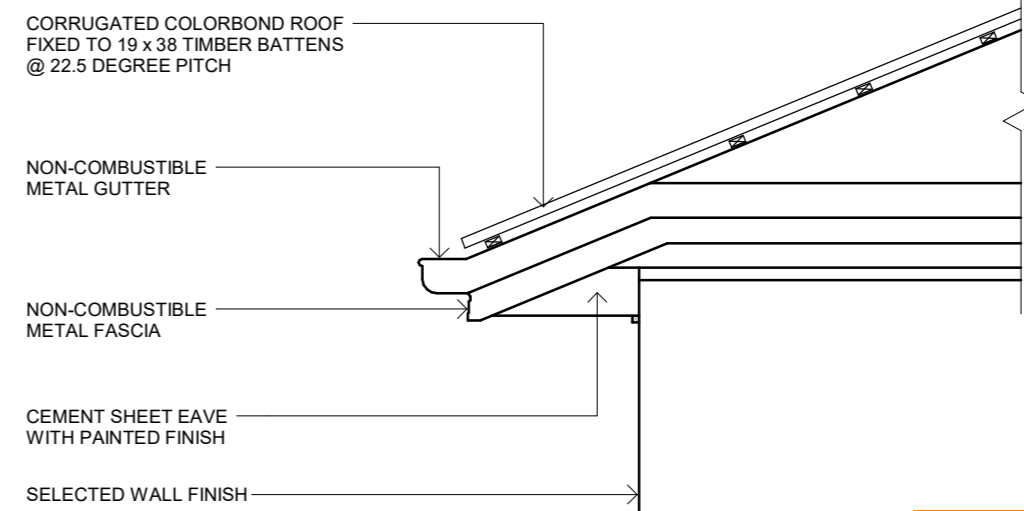
1 TYP. GUTTER DETAIL -TOP OF WALL
D04 1:10



GARAGE GRADED THRESHOLD DETAIL
1:10



3 TYP. SLAB REBATE DETAIL
D04 1:10



EAVES DETAIL 1.0m
1:10

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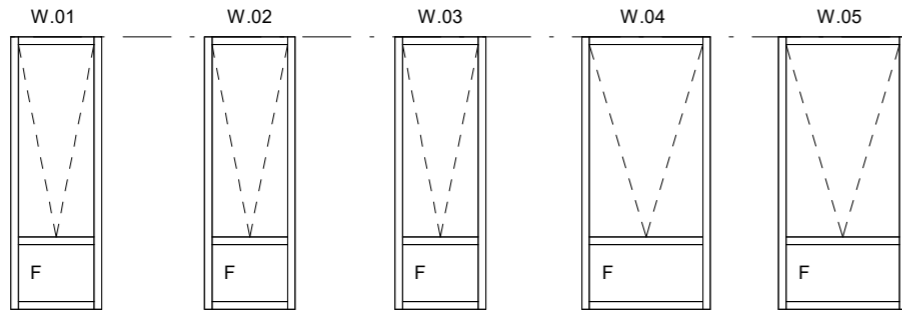
Home: **THE FOX-13.5(01)** Facade: **01A**
Client: **FM3 GROUP PTY LTD**
Location: **33 SPOONBILL LOOP (LOT 17), SORELL TAS**
Drawing: **SECTIONS - TYPICAL**

DRAWING DETAILS	
5/25/2026 8:37:55 AM	
SCALE	SHEET SIZE
1:10	A3
JOB No:	832H
Drwg No:	D04a
Issue	A03

All dimensions to be verified on site

Sorell Council
Development Application: 5.2026.170.1 - Development Application - 33 Spoonbill Loop, Sorell - P1.pdf
Plans Reference:P1
Date Received:26/05/2026

WINDOW 2135 AFFL
HEAD HT



FFL 0

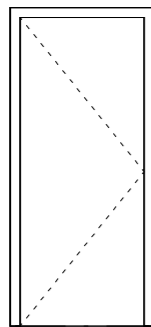
WINDOW ELEVATION

1 : 50

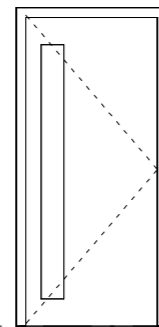
WINDOW SCHEDULE				
WINDOW NO.	DESCRIPTION	WIDTH	HEIGHT	HEAD HEIGHT
W.01	2 PANEL WIDE AWNING WINDOW - 1 OPENING SASH, 1 FIXED BOTTOM PANEL	600	1800	2135
W.02	2 PANEL WIDE AWNING WINDOW - 1 OPENING SASH, 1 FIXED BOTTOM PANEL	600	1800	2135
W.03	2 PANEL WIDE AWNING WINDOW - 1 OPENING SASH, 1 FIXED BOTTOM PANEL	600	1800	2135
W.04	2 PANEL WIDE AWNING WINDOW - 1 OPENING SASH, 1 FIXED BOTTOM PANEL	850	1800	2135
W.05	2 PANEL WIDE AWNING WINDOW - 1 OPENING SASH, 1 FIXED BOTTOM PANEL	850	1800	2135

DOOR SCHEDULE				
DOOR NO.	DOOR TYPE	DESCRIPTION	WIDTH	HEIGHT
D.01	DT2	SOLID TIMBER WITH SINGLE GLASS DOOR	870	2040
D.02	DT1	SOLID TIMBER SINGLE DOOR	870	2040
D.03	DT1	SOLID TIMBER SINGLE DOOR	870	2040
D.04	DT1	SOLID TIMBER SINGLE DOOR	720	2040
D.05	DT1	SOLID TIMBER SINGLE DOOR	870	2040
D.06	DT1	SOLID TIMBER SINGLE DOOR	820	2040
D.07	DT1	SOLID TIMBER SINGLE DOOR	820	2040
D.08	DT3	GLAZED ALUMINIUM SLIDING DOOR - 1 FIXED PANEL	2170	2135

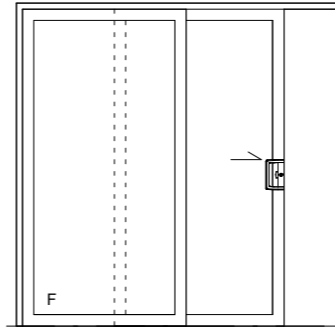
FFL 0



DT1
SOLID TIMBER
SINGLE DOOR



DT2
SOLID TIMBER WITH GLASS
SINGLE DOOR



DT3
GLAZED ALUMINIUM
SLIDING DOOR

NOTE:

FOR ORIENTATION REFER TO FLOOR PLAN.

DOOR ELEVATION

1 : 50


 **Sorell Council**
Development Application: 5.2026.170.1 -
Development Application - 33 Spoonbill Loop,
Sorell - P1.pdf
Plans Reference:P1
Date Received:26/05/2026

NOTES:

- BATH DOOR MUST HAVE LIFT OFF HINGES.
- WINDOW & DOOR GLAZING SPECIFICATIONS:

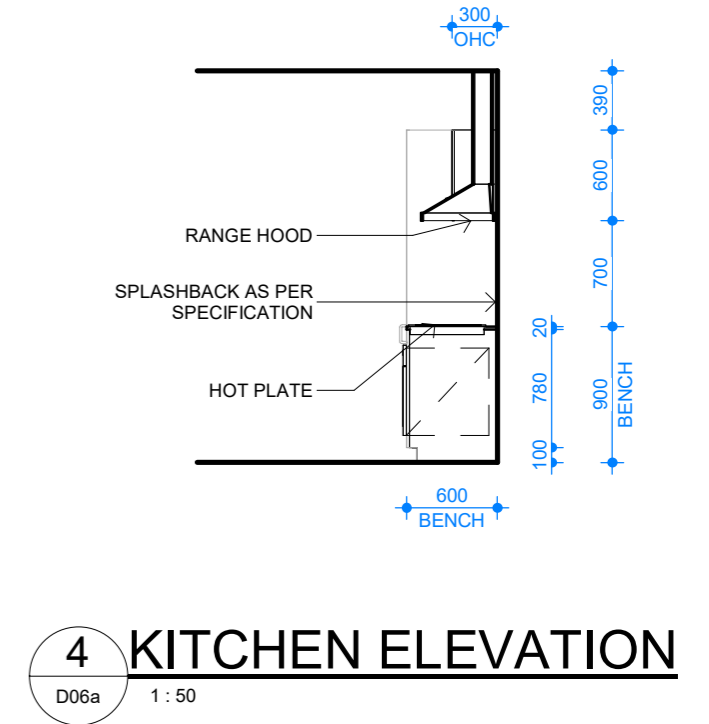
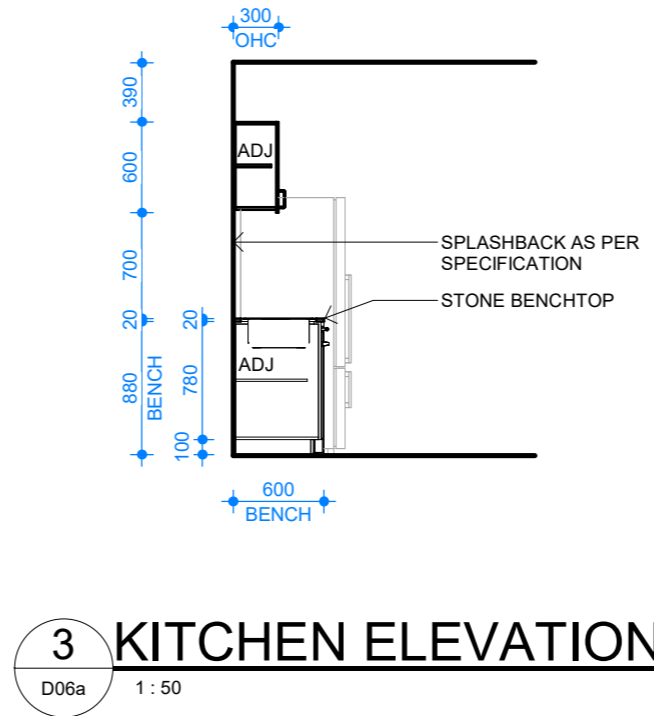
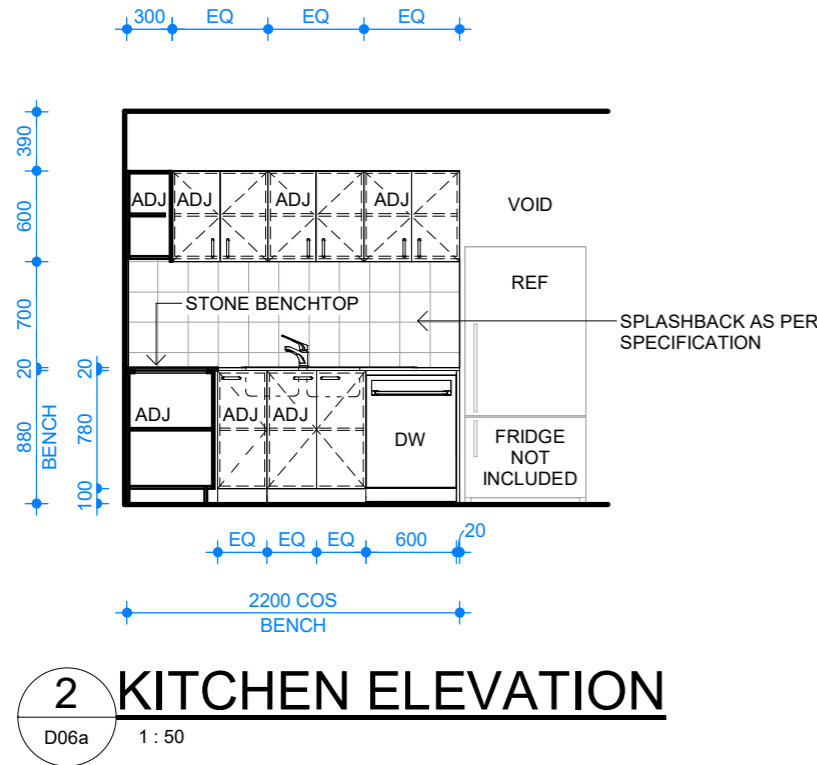
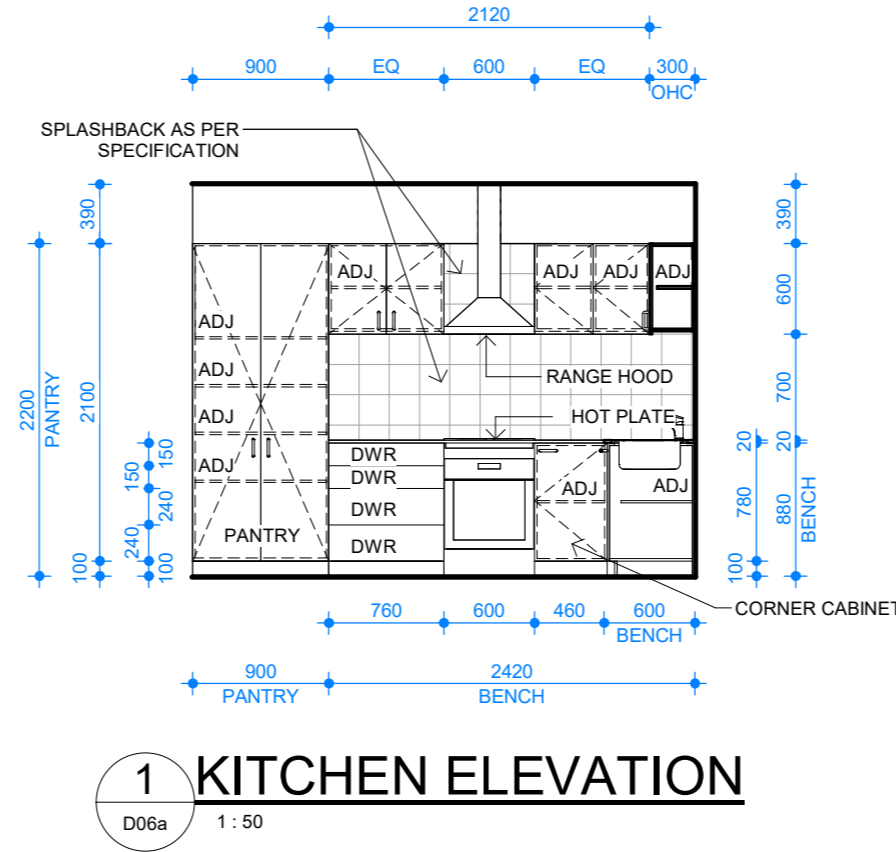
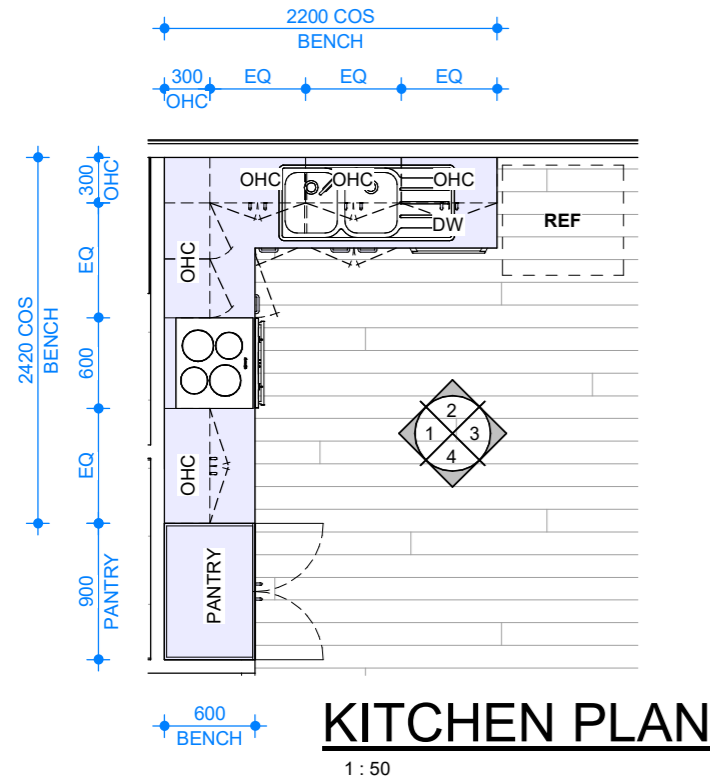
- ESSENTIAL 52mm AWNING WINDOW (CLEAR DOUBLE GLAZED) U-Value = 4.15 SHGC = 0.57
- SIGNATURE 100mm SLIDING DOOR (CLEAR DOUBLE GLAZED) U-Value = 3.7 SHGC = 0.63

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 <p>1/37 Ascot Dr, Huntingfield TAS 7055 P +61 3 6289 6601</p>	Home: THE FOX-13.5(01)	Facade: 01A	<p>DRAWING DETAILS 5/25/2026 8:37:55 AM SCALE SHEET SIZE 1 : 50 A3</p>
	Client: FM3 GROUP PTY LTD	Location: 33 SPOONBILL LOOP (LOT 17), SORELL TAS	
	Drawing: WINDOW & DOOR ELEVATION	All dimensions to be verified on site	Drwg No: D05 Issue A03

NOTE:
ALL GLAZING IN THE KITCHEN, BATHROOM, AND ENSUITE, INCLUDING SHOWER DOORS, SHOWER SCREENS AND WINDOWS AND DOORS MUST BE DENOTED TO COMPLY WITH NCC VOLUME 2 2022 PART 8.4.6.

Sorell Council
Development Application: 5.2026.170.1 -
Development Application - 33 Spoonbill Loop,
Sorell - P1.pdf
Plans Reference: P1
Date Received: 26/05/2026



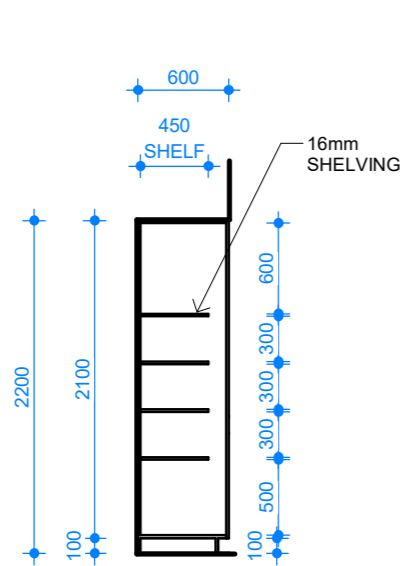
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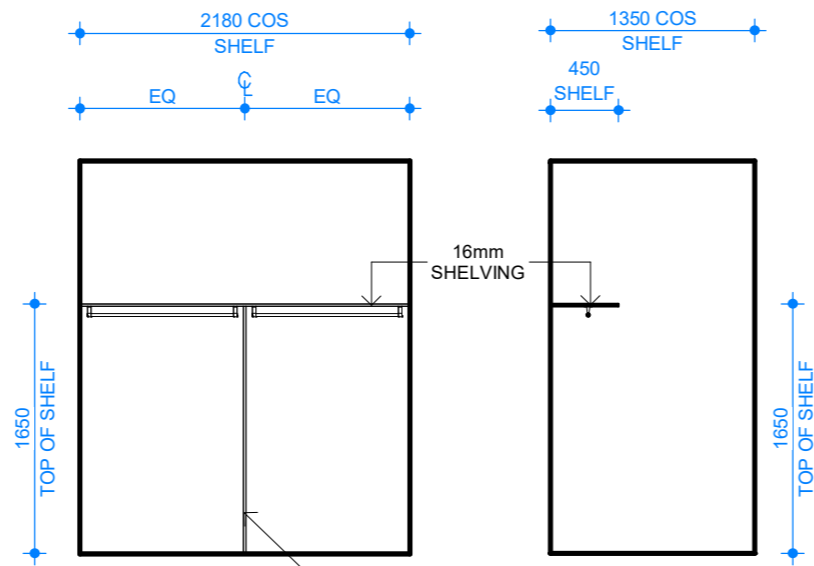
Home: **THE FOX-13.5(01)** Facade: **01A**
Client: **FM3 GROUP PTY LTD**
Location: **33 SPOONBILL LOOP (LOT 17), SORELL TAS**
Drawing: **INTERNAL ELEVATIONS - KITCHEN**

DRAWING DETAILS	
5/25/2026 8:37:56 AM	
SCALE	SHEET SIZE
1 : 50	A3
JOB No:	832H
Drwg No:	D06a Issue A03
All dimensions to be verified on site	



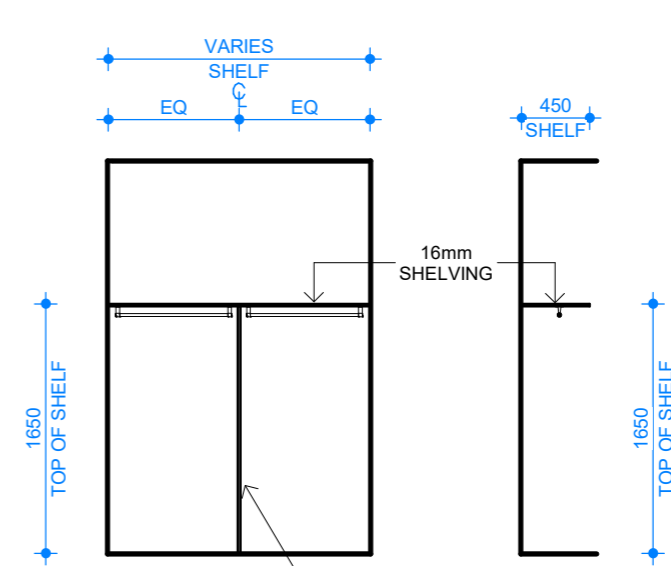
PANTRY SECTION

1 : 50



WIR SECTION

1 : 50



ROBE SECTION

1 : 50

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Home: **THE FOX-13.5(01)**

Facade: **01A**

Client: **FM3 GROUP PTY LTD**

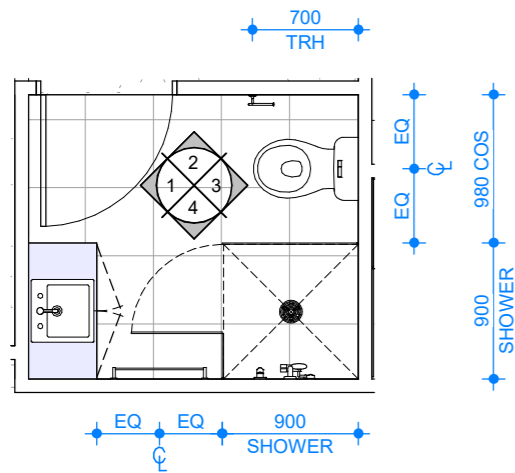
Location: **33 SPOONBILL LOOP (LOT 17), SORELL TAS**

Drawing: **INTERNAL ELEVATIONS TYPICAL**

Sorell Council
Development Application: 5.2026.170.1 -
Development Application - 33 Spoonbill Loop,
Sorell - P1.pdf
Plans Reference:P1
Date Received:26/05/2026

DRAWING DETAILS	
5/25/2026 8:37:56 AM	
SCALE	SHEET SIZE
1 : 50	A3
JOB No:	832H
Drwg No:	D06b
Issue	A03

All dimensions to be verified on site



ENSUITE PLAN

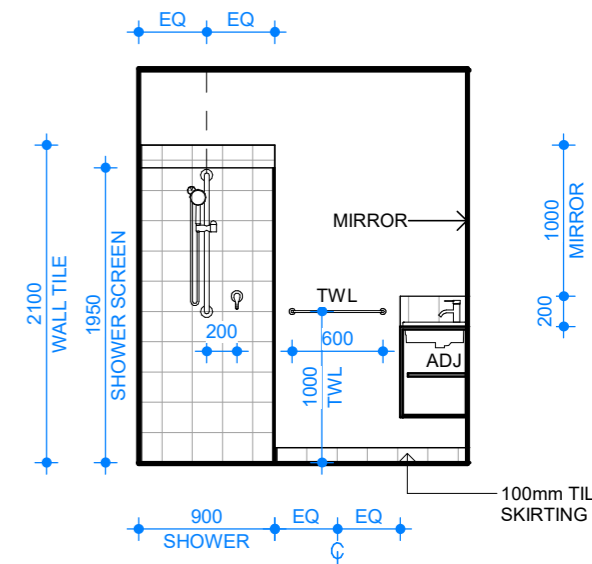
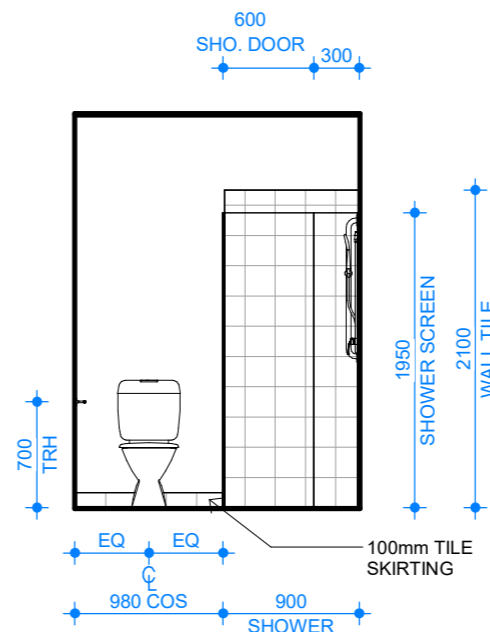
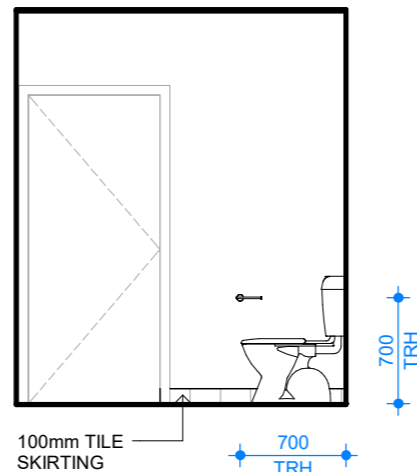
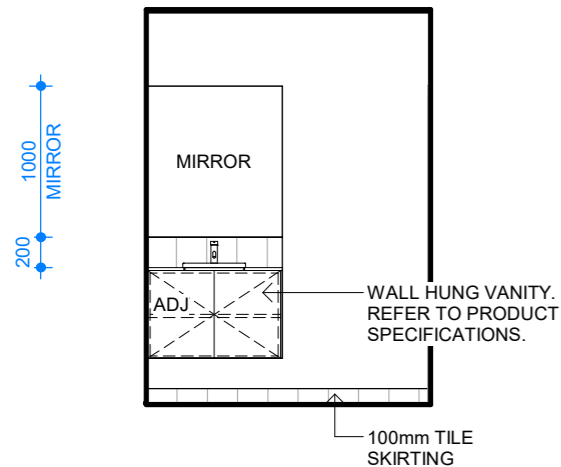
1 : 50

NOTES:

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Sorell Council

Development Application: 5.2026.170.1 -
 Development Application - 33 Spoonbill Loop,
 Sorell - P1.pdf
 Plans Reference:P1
 Date Received:26/05/2026



1 ENSUITE ELEVATION
D07a 1 : 50

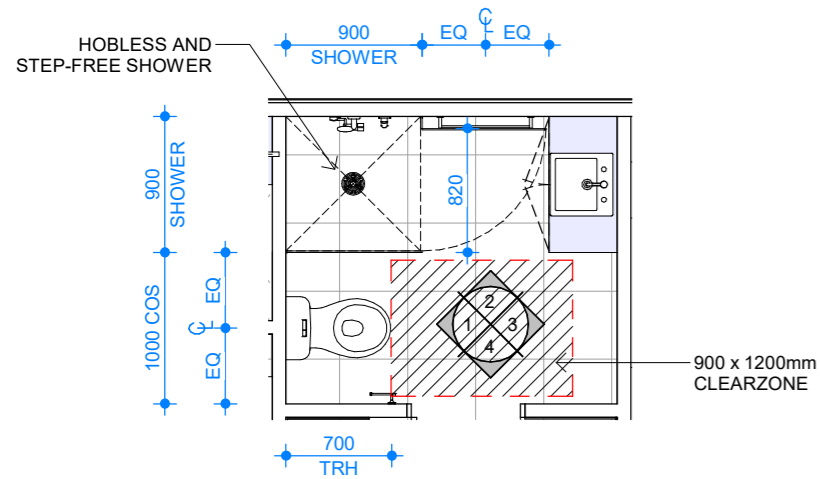
2 ENSUITE ELEVATION
D07a 1 : 50

3 ENSUITE ELEVATION
D07a 1 : 50

4 ENSUITE ELEVATION
D07a 1 : 50

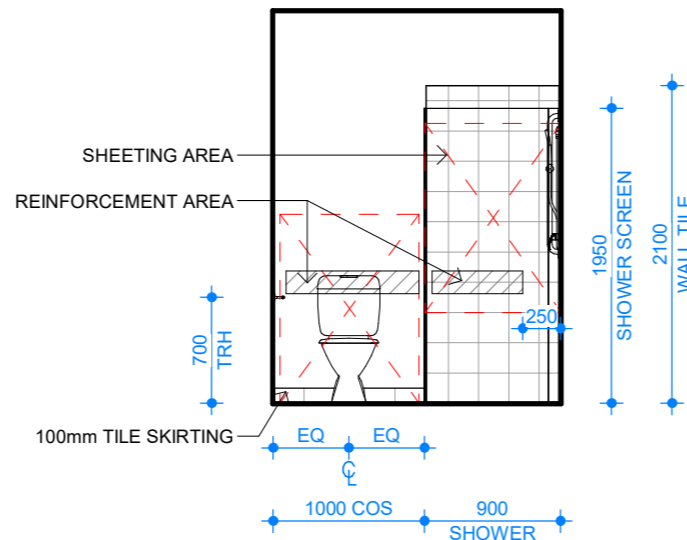
- IMPORTANT NOTES:**
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 2. ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE, ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
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	1/37 Ascot Dr, Huntingfield TAS 7055 P +61 3 6289 6601	Home: THE FOX-13.5(01) Client: FM3 GROUP PTY LTD Location: 33 SPOONBILL LOOP (LOT 17), SORELL TAS	Facade: 01A	DRAWING DETAILS 5/25/2026 8:37:57 AM SCALE: 1 : 50 SHEET SIZE: A3
	Drawing: INTERNAL ELEVATIONS - ENSUITE		JOB No: 832H Drwg No: D07a Issue: A03	All dimensions to be verified on site



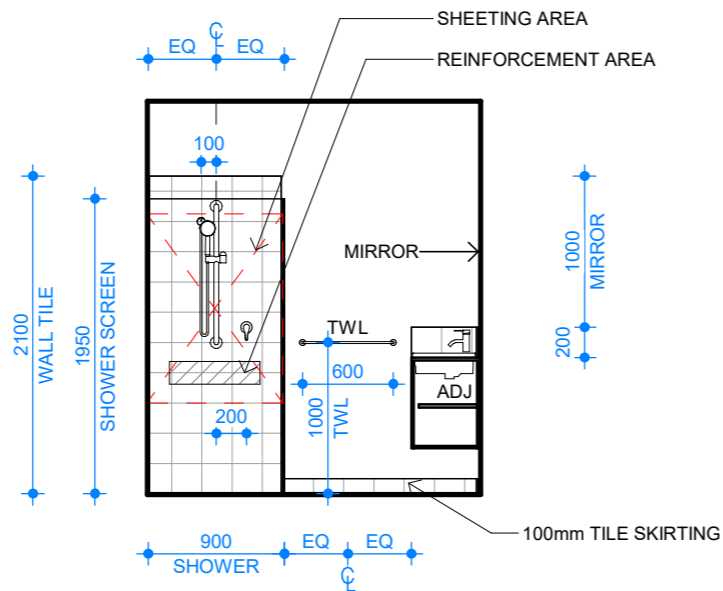
BATH PLAN

1 : 50



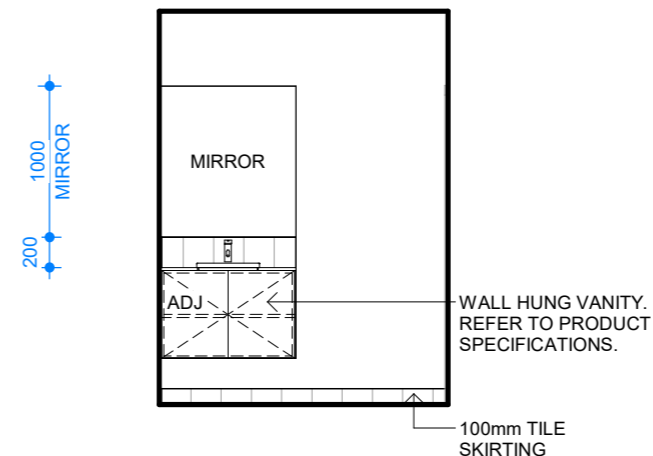
1 BATH ELEVATION

D07b 1 : 50



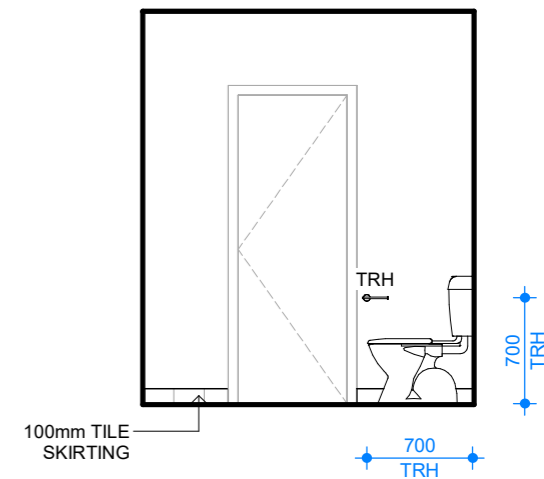
2 BATH ELEVATION

D07b 1 : 50



3 BATH ELEVATION

D07b 1 : 50



4 BATH ELEVATION

D07b 1 : 50

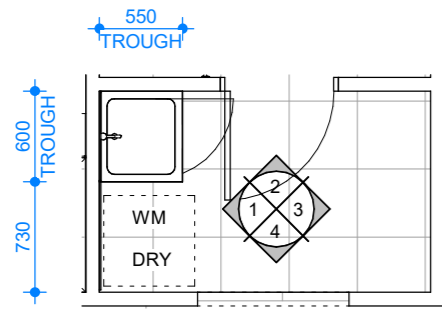
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	Client: FM3 GROUP PTY LTD	Location: 33 SPOONBILL LOOP (LOT 17), SORELL TAS	5/25/2026 8:37:58 AM	SCALE	SHEET SIZE
Drawing: INTERNAL ELEVATIONS - BATH	All dimensions to be verified on site	Drwg No: D07b	1 : 50	A3	JOB No: 832H
					Issue A03



LAUNDRY PLAN

1 : 50

NOTES:

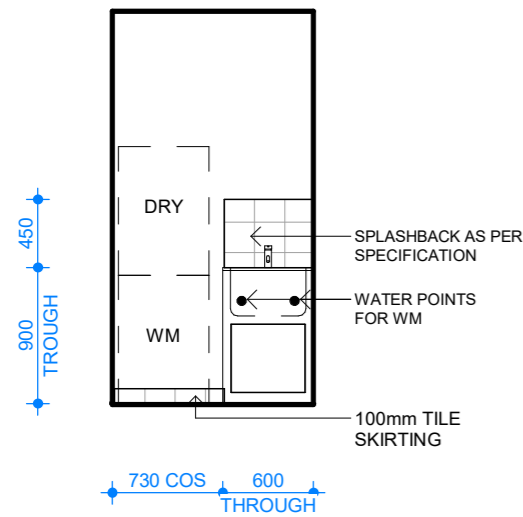
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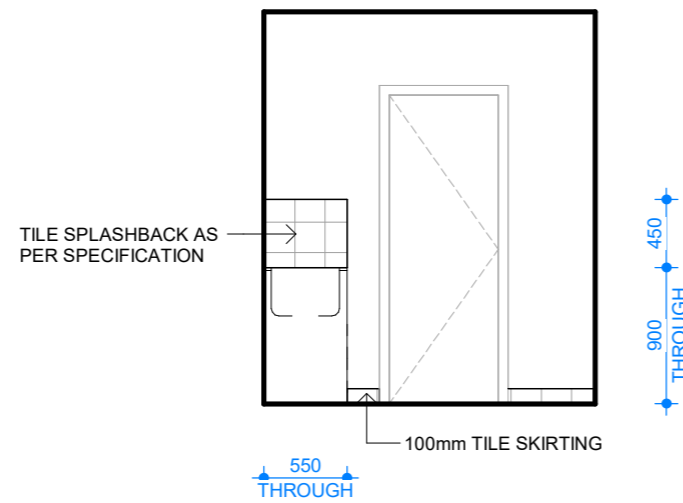
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Sorell - P1.pdf

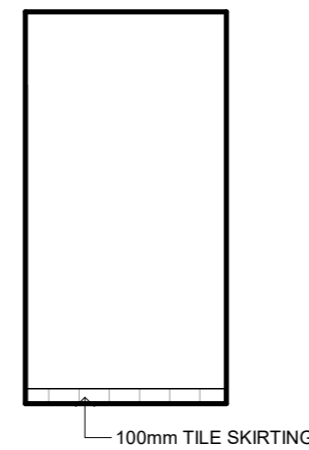
Plans Reference: P1
Date Received: 26/05/2026



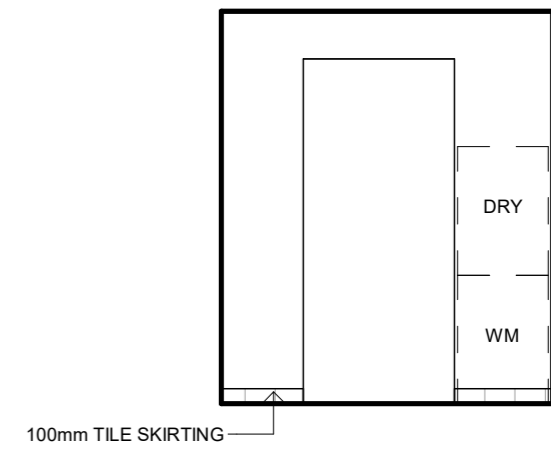
1 LAUNDRY ELEVATION
D07c 1 : 50



2 LAUNDRY ELEVATION
D07c 1 : 50




3 LAUNDRY ELEVATION
D07c 1 : 50



4 LAUNDRY ELEVATION
D07c 1 : 50

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	Client: FM3 GROUP PTY LTD	Location: 33 SPOONBILL LOOP (LOT 17), SORELL TAS	5/25/2026 8:37:58 AM	SCALE
Drawing: INTERNAL ELEVATIONS - LAUNDRY			1 : 50	A3
			JOB No: 832H	
			Drwg No: D07c	Issue A03
			All dimensions to be verified on site	

ROOF DRAINAGE CALCULATION:

THE ROOF HAS A 22.5° PITCH
 THE SLOPE FACTOR (F) = 1.21

F x ROOF PLAN AREA = 1.21 x 123.62m²
 THE TOTAL ROOF CATCHMENT AREA = 149.58m²

- A. CROSS-SECTION OF GUTTER = 6244mm²
- B. AVERAGE RAINFALL INTENSITY (ARI) = 132mm/h (20year/5mins)
- C. CATCHMENT AREA PER DOWNPIPE = 47m²
- D. EAVES OVERFLOW AVERAGE RAINFALL INTENSITY (ARI) = 187mm/h (100year/5mins)
- E. LITRES PER SECOND PER METRE = 2.5L/s

MAXIMUM ROOF AREA PER DOWNPIPE IS 47m²

MINIMUM DOWNPIPES:
 149.58/47 = 3.18 = 4 DOWNPIPES

AVERAGE CATCHMENT PER DOWNPIPE
 149.58/4 = 37.40

5 DOWNPIPES PROVIDED = MORE THAN ADEQUATE

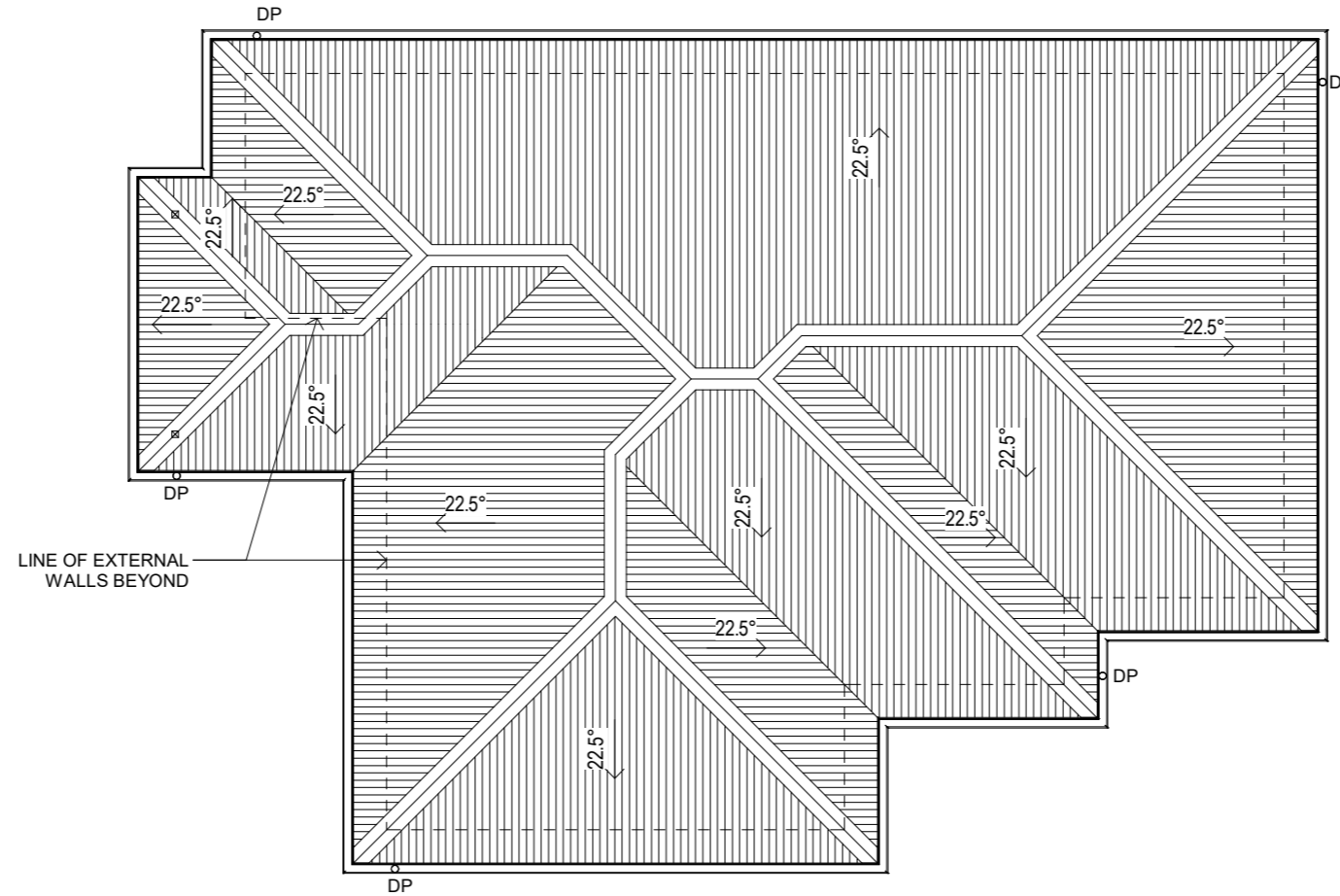
- NOTES:**
- 1. EXHAUST VENTS TO BE 1000mm MIN. FROM ROOF EDGES AND VALLEYS
 - 2. ANTI-PONDING DEVICE/BOARD TO BE INSTALLED ON THE ROOF WHERE NO EAVE OVERHANGS HAVE BEEN INSTALLED.



Sorell Council

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ROOF PLAN

1 : 100

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Home: **THE FOX-13.5(01)**

Facade: **01A**

Client: **FM3 GROUP PTY LTD**

Location: **33 SPOONBILL LOOP (LOT 17), SORELL TAS**

Drawing: **ROOF PLAN**



DRAWING DETAILS

5/25/2026 8:37:58 AM

SCALE	SHEET SIZE
1 : 100	A3

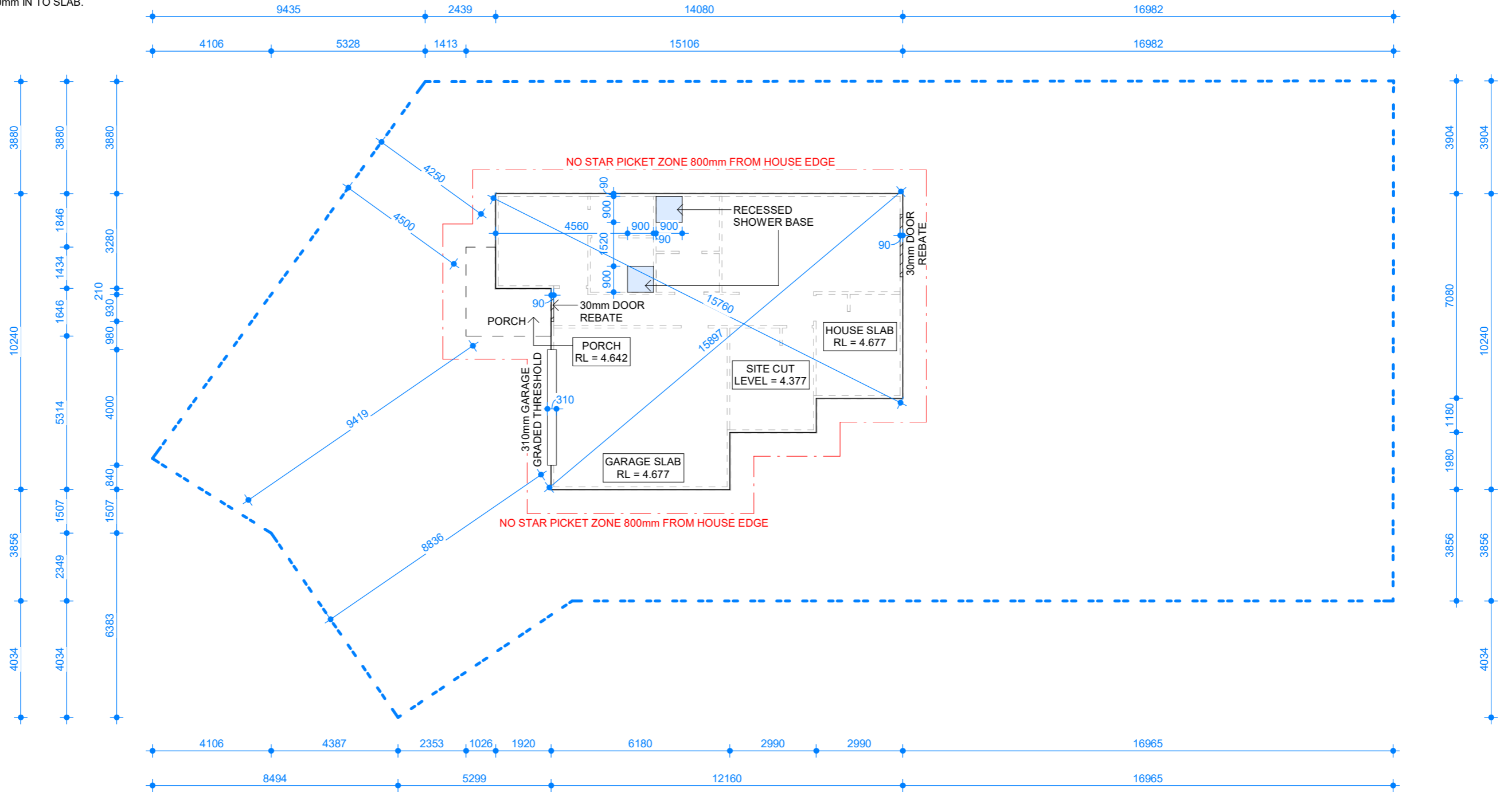
JOB No: **832H**

Drwg No: **D08** Issue **A03**

All dimensions to be verified on site

SLAB PLAN NOTE:
 REFER TO DRAWING D10 FOR SLAB PENETRATIONS.
 REFER TO STRUCTURAL ENGINEER'S PLANS FOR CONCRETE
 SLAB CONSTRUCTION. SLAB TO BE DESIGNED BASED ON
 SOIL CLASSIFICATION AS PER AS2870.

SHOWER RECESS:
 SHOWER BASES TO BE RECESSED 50mm IN TO SLAB.



SLAB PLAN

1 : 150

Sorell Council
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	Drawing: SLAB PLAN	All dimensions to be verified on site		JOB No: 832H Drwg No: D09 Issue A03	SCALE: As indicated SHEET SIZE: A3

PLUMBING LEGEND:

- - - - - 100Ø SEWER PIPE
- - - - - 100Ø STORMWATER PIPE

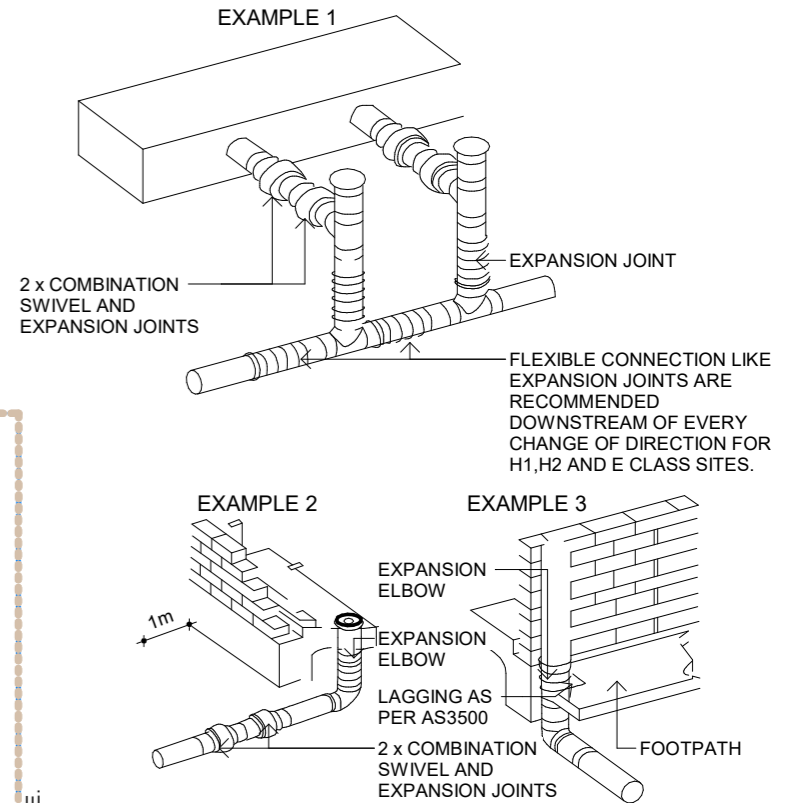
- WC Ø100 WATER CLOSER
- VP Ø50 VENT PIPE
- TR Ø50 TROUGH
- SHR Ø50 SHOWER
- SINK Ø50 SINK
- VB Ø40 VANITY/BASIN
- AAV AIR ADMITTANCE VALVE
- DP Ø90 DOWNPIPE

PLUMBING NOTES AND DRAINAGE NOTES:

1. VENTING OF DRAINS TO COMPLY WITH AS/NZS 3500.2 3.9.2.1 CLAUSE.
2. BACKFLOW PROTECTION VALVE IS REQUIRED TO BE INSTALLED TO SHOWER HOSE ASSEMBLY WHERE SHOWER HOSE CAN REACH THE TOILET BOWL.
3. HOT WATER INSTALLATION SHALL DELIVER HOT WATER TO ALL SANITARY FIXTURES USED FOR PERSONAL HYGIENE AT 50°C, KITCHEN & LAUNDRY SHALL BE 60°C TO COMPLY WITH REQUIREMENTS OF AS3500 2021. (TEMPERING VALVES TO BE INSTALLED TO SUIT).
4. PROVIDE PLASTEC DN100 SWIVEL EXPANSION JOINTS AT ALL DOWNPIPES AND SEWER CONNECTIONS TO MAIN LINES. LOCATE WITHIN 1m OF BUILDING LINE.
5. WHERE PIPEWORK PENETRATES FOUNDATION OR SLAB EDGE PROVIDE 40mm LAGGING AROUND PIPEWORK.
6. FOR CLASS 'H' AND 'E' SITES INSTALL PLASTEC DN100 SWIVEL EXPANSION JOINTS AT ALL CHANGES OF DIRECTION.
7. FOR CLASS 'P' SITES INSTALL MIN 150mm OF COMPACTED FCR IN ALL TRENCHES BEFORE PLACING PIPEWORK.
8. WHERE PIPEWORK PENETRATES SLAB VERTICALLY, PROVIDE 10mm LAGGING.

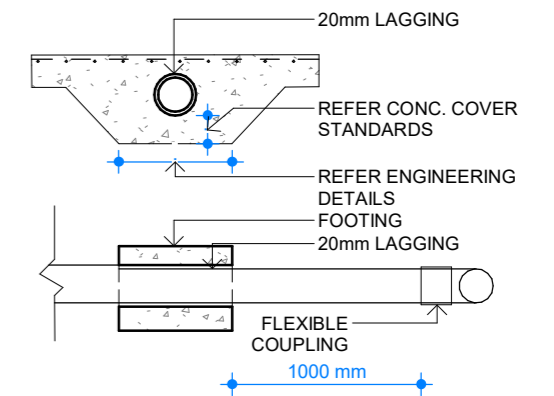
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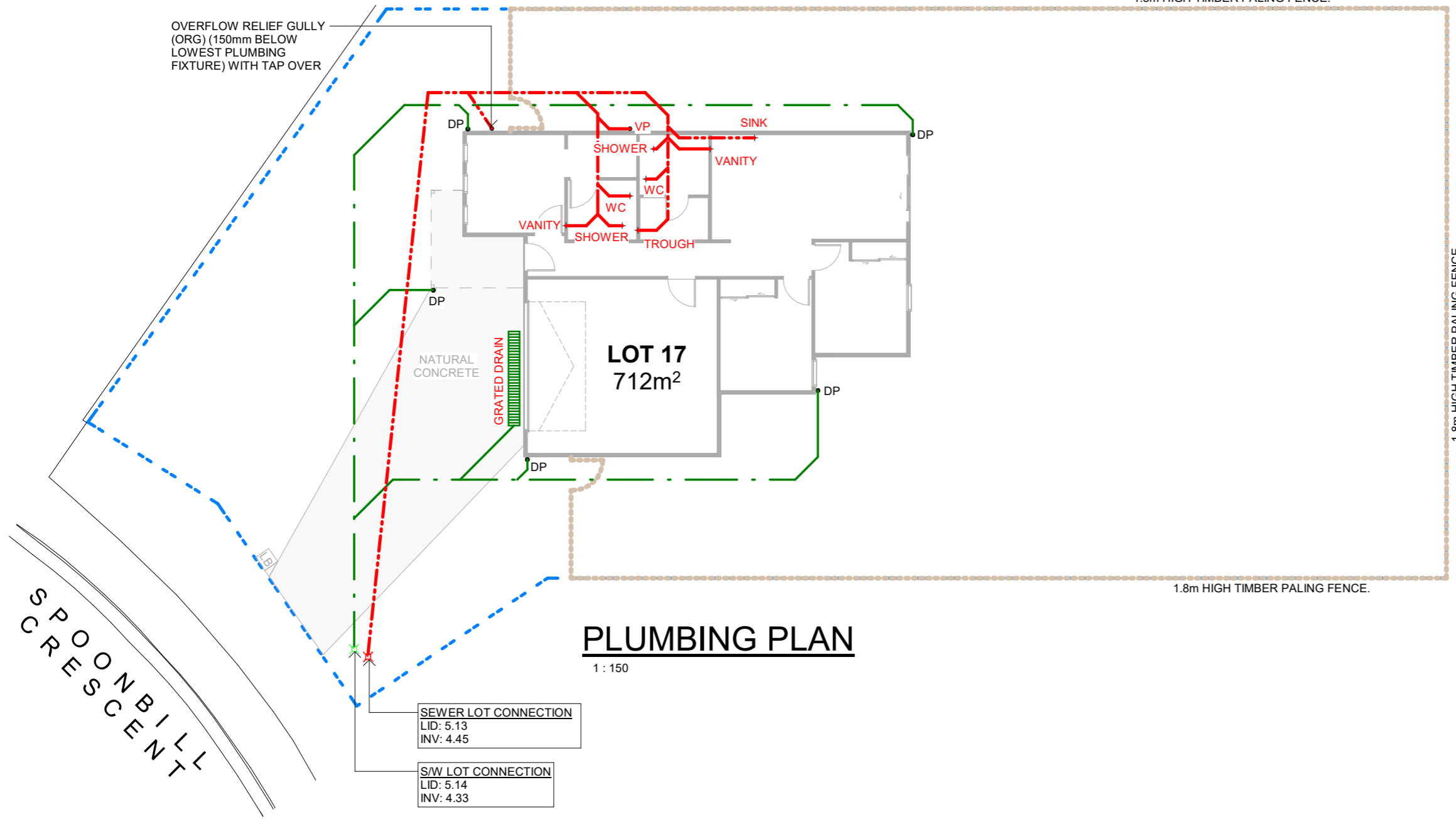
PLUMBING DETAILS 1

1: 40



PLUMBING DETAILS 2

1: 40



PLUMBING PLAN

1: 150

SEWER LOT CONNECTION
LID: 5.13
INV: 4.45

S/W LOT CONNECTION
LID: 5.14
INV: 4.33

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Drawing: **PLUMBING PLAN**

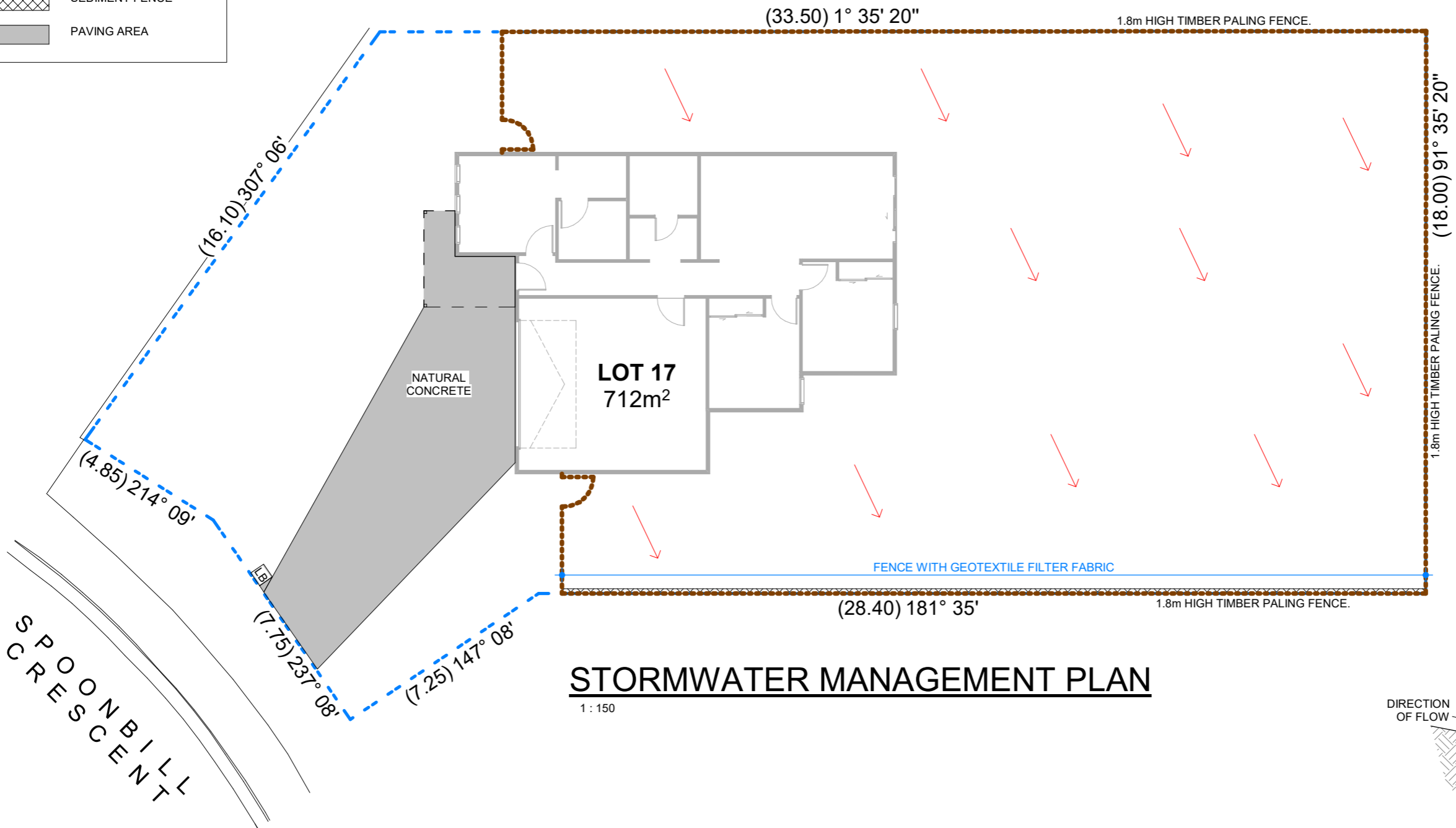
Facade: **01A**

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	5/25/2026 8:38:00 AM	
	SCALE	SHEET SIZE
	As indicated	A3
JOB No:	832H	
Drwg No:	D10b	Issue A03

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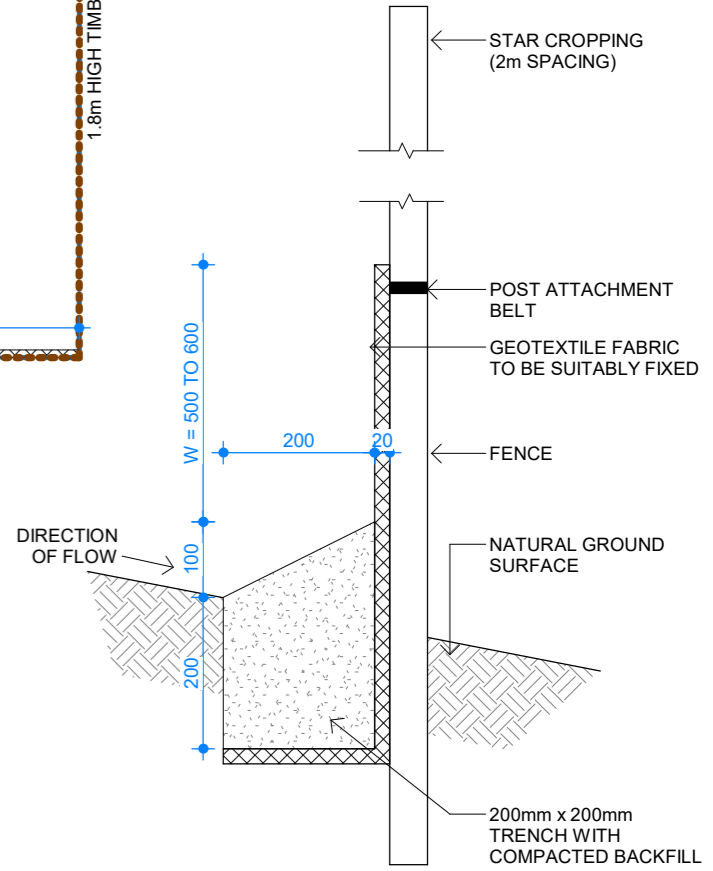
LEGEND:

- FLOW DIRECTION
- ▨ SEDIMENT FENCE
- PAVING AREA



STORMWATER MANAGEMENT PLAN

1 : 150



SIDEMENT FENCE SECTION DETAIL

1 : 10

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SJM property developments

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Home: **THE FOX-13.5(01)** Facade: **01A**

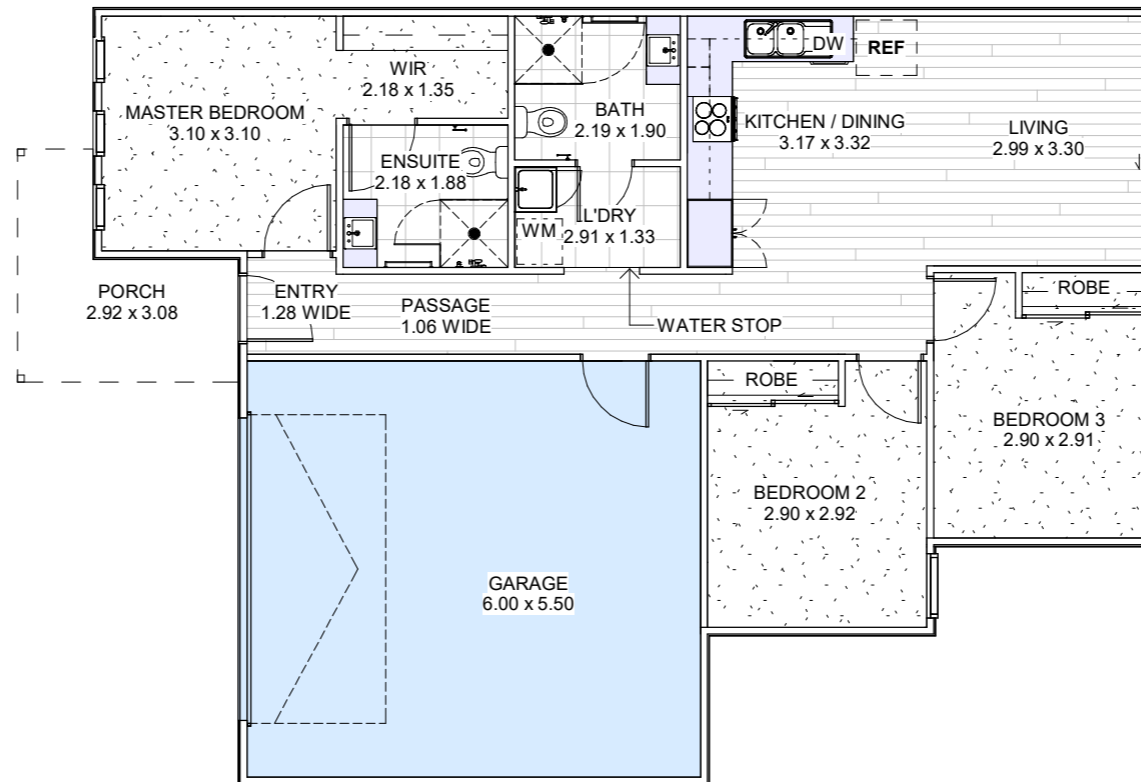
Client: **FM3 GROUP PTY LTD**

Location: **33 SPOONBILL LOOP (LOT 17), SORELL TAS**

Drawing: **STORMWATER MANAGEMENT PLAN**

DRAWING DETAILS	
5/25/2026 8:38:00 AM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	832H
Drwg No:	D10c
Issue	A03

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FLOOR FINISHES PLAN



1 : 100

NOTE:

ALL FLOOR COVERINGS TO BE FIRM AND EVEN AND FEATURE A TRANSITION BETWEEN ABUTTING SURFACES (A MAXIMUM VERTICAL TOLERANCE OF 3mm OR 5mm BETWEEN SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELED).

ALL INTERNAL FLOOR FINISHES SHALL HAVE A MINIMUM SLIP RESISTANCE OF P3 OR R10.

FLOOR FINISHES:

-  TIMBER OVERLAY - 29.35 m²
-  CARPET - 32.99m²
-  CERAMIC TILE - 10.27 m²
-  CONCRETE - 39.36m²

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Drawing: **FLOOR FINISHES PLAN**



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DRAWING DETAILS

5/25/2026 8:38:01 AM

SCALE: As indicated
SHEET SIZE: A3

JOB No: **832H**

Drwg No: **D11** Issue **A03**



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ELECTRICAL LEGEND:

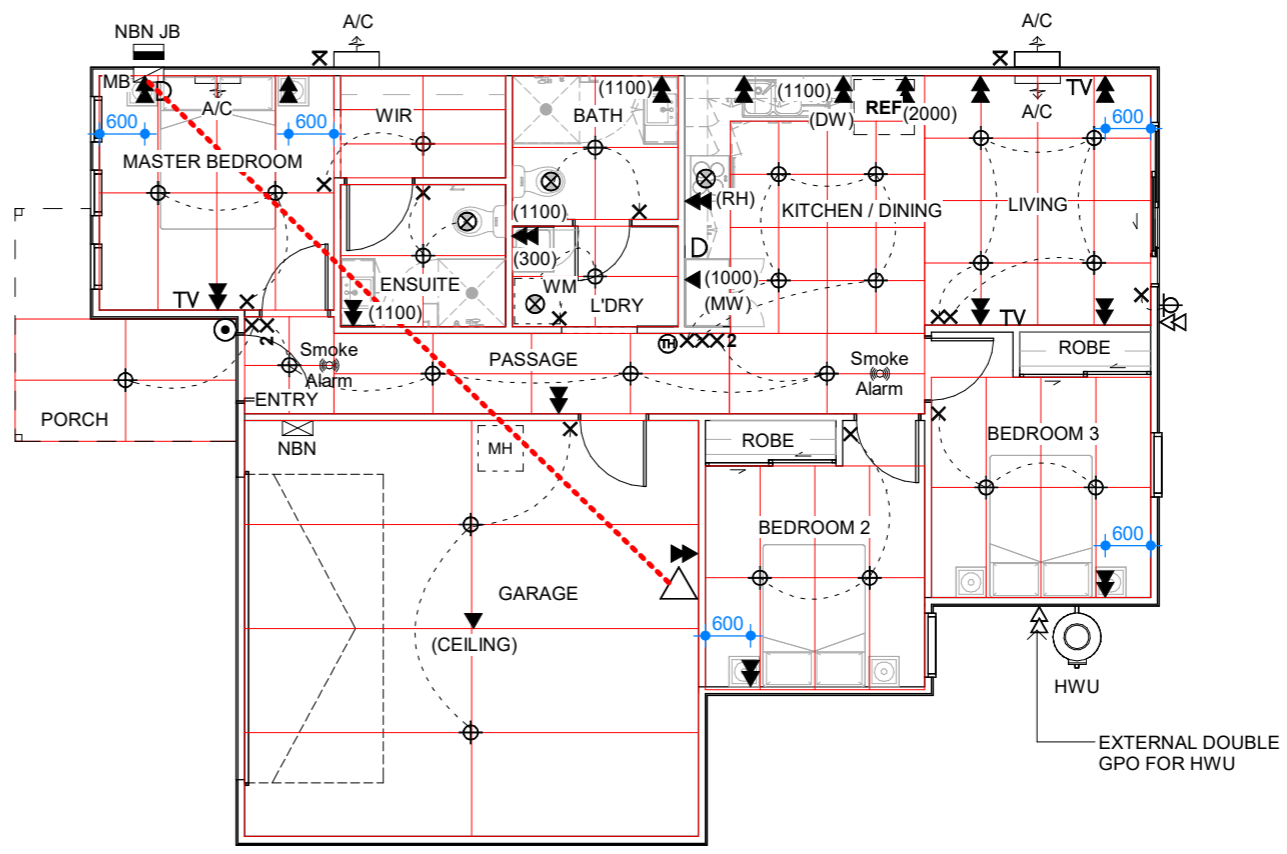
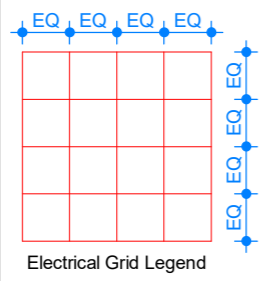
- ⊕ **Ceiling Mounted LED - 10W SEALED, IC-F RATED**
- ⊕ **Pendant Light as Selected LED - 10W**
- ⊕ **External Wall Mounted Light**
@ 1800 above adjoining floor level unless otherwise indicated by height shown in brackets
- X **Light Switch - Single**
@ 1200 above adjoining floor level unless otherwise indicated by height shown in brackets
- XD **Light Switch - Dimmer**
@ 1200 above adjoining floor level unless otherwise indicated by height shown in brackets
- X2 **Light Switch - Two Way**
@ 1200 above adjoining floor level unless otherwise indicated by height shown in brackets
- XI **Isolator Switch - 6mm 32 AMP**
- ▲ **GPO - Single**
@ 300 above adjoining floor level unless otherwise indicated by height shown in brackets
- ▲ **GPO - Double**
@ 300 above adjoining floor level unless otherwise indicated by height shown in brackets
- ▲ **GPO - Double (External)**
@ 1200 above adjoining floor level unless otherwise indicated by height shown in brackets
- ▲ **GPO - Single (Capped)**
At window head height
- ▲ **GPO - Double (Capped)**
At window head height
- ▲ **GPO - 3 Phase for Car Charge ALLOW FOR FUTURE INSTALLATION ONLY**
@ 1100 above adjoining floor level unless otherwise indicated by height shown in brackets
- **Conduit for 3 Phase Car Charge ALLOW FOR FUTURE CABLE INSTALLATION ONLY**
- TV **TV Socket**
@ 300 above adjoining floor level unless otherwise indicated by height shown in brackets
- D **Data Point**
@ 1100 above adjoining floor level unless otherwise indicated by height shown in brackets
- ⊗ **Ceiling Mounter Exhaust Fan**
250mm diameter
- ⊗ **Ceiling Fan with Light**
- ⊗ **Ceiling Fan**
- **Motion Sensor**
- ⊗ **Smoke Alarm**
- ⊕ **Reverse Cycle Air Conditioning**
- ⊕ **Thermostat**
- MH **Man Hole**
600x600 (Approx. Position)
- ⊙ **CCTV**

ILLUMINATION POWER DENSITY		
LIVING AREA:	82.10m ²	
TOTAL MAXIMUM ALLOWABLE FOR LIVING AREA AT 5WATTS/m ²	410.50 WATTS	
ACTUAL USAGE = 10WATTS x	22 DOWNLIGHTS	220.00 WATTS
TOTAL WATTS USAGE =	2.68 WATTS/m ²	

GARAGE AREA:	34.60m ²	
TOTAL MAXIMUM ALLOWABLE FOR GARAGE AREA AT 3WATTS/m ²	103.80 WATTS	
ACTUAL USAGE = 10WATTS x	2 DOWNLIGHTS	20.00 WATTS
TOTAL WATTS USAGE =	0.58 WATTS/m ²	

PORCH AREA:	6.20m ²	
TOTAL MAXIMUM ALLOWABLE FOR PORCH AREA AT 4WATTS/m ²	24.80 WATTS	
ACTUAL USAGE = 8WATTS x	1 DOWNLIGHTS	8 WATTS
TOTAL WATTS USAGE =	1.29 WATTS/m ²	

LEGEND - SERVICES	
HWS	HOT WATER SERVICE
MB	METER BOX
GAS	GAS METER
NBN	NBN HUB
NBN JB	NBN JUNCTION BOX



ELECTRICAL PLAN
1 : 100

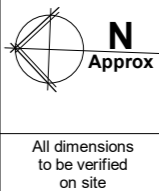
- IMPORTANT NOTES:**
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
 - ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE. ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
 - WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
 - FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
 - ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANNER AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
 - THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
 - ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.

SJM property developments
1/37 Ascot Dr, Huntingfield TAS 7055
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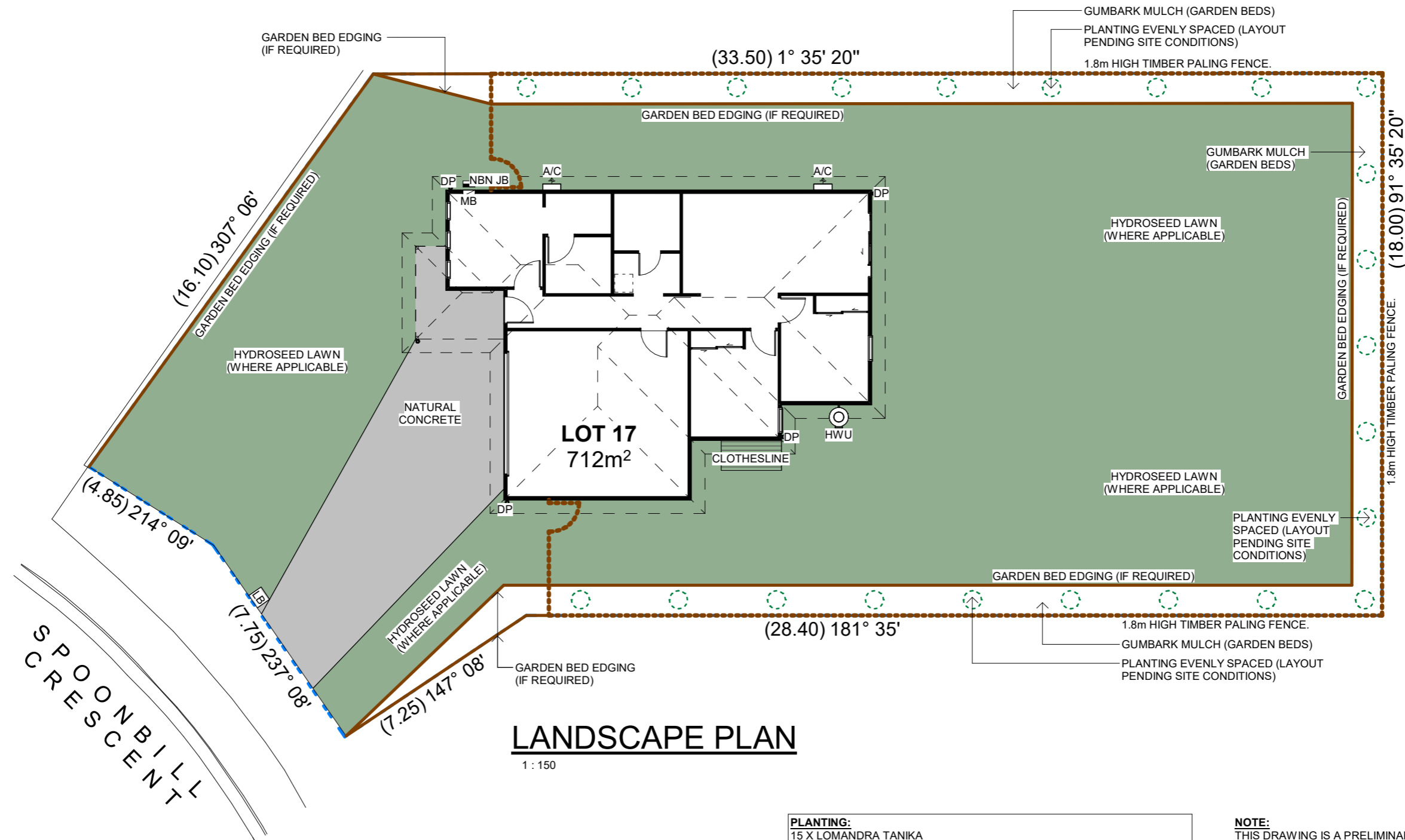
Home: **THE FOX-13.5(01)** Facade: **01A**
 Client: **FM3 GROUP PTY LTD**
 Location: **33 SPOONBILL LOOP (LOT 17), SORELL TAS**
 Drawing: **ELECTRICAL PLAN**

DRAWING DETAILS	
5/25/2026 8:38:02 AM	
SCALE	SHEET SIZE
1 : 100	A3
JOB No:	832H
Drwg No:	D12 Issue A03

Sorell Council
 Development Application: 5.2026.170.1 -
 Development Application - 33 Spoonbill Loop,
 Sorell - P1.pdf
 Plans Reference:P1
 Date Received:26/05/2026



All dimensions to be verified on site



PLANTING:
 15 X LOMANDRA TANIKA
 15 X LOMADRA LIME TUFF
 1 X PITTOSPORUM

NOTE:
 PLANTING TO BE SPACED EVENLY AROUND THE PROPERTY

LANDSCAPING NOTES:
 1. GRASSED AREAS TO BE HYDRO-SEEDED LAWN (LEVEL AREAS ONLY)
 GARDEN BEDDING TO BE PLACED IN THE FOLLOWING AREAS:
 - SLOPED EMBANKMENTS
 - TOP SIDE OF ANY WALLS OR LAWN EDGING
 - WHERE MOWING IS IMPRACTICAL

2. TREATED PINE LAWN EDGING WHERE REQUIRED.

NOTE:
 THIS DRAWING IS A PRELIMINARY INDICATION OF GENERAL LANDSCAPING LAYOUT. FINAL LAYOUT MAY CHANGE DUE TO SITE SPECIFIC LIMITATIONS.

Sorell Council
 Development Application: 5.2026.170.1 -
 Development Application - 33 Spoonbill Loop,
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Home: **THE FOX-13.5(01)**
 Client: **FM3 GROUP PTY LTD**
 Location: **33 SPOONBILL LOOP (LOT 17), SORELL TAS**
 Drawing: **LANDSCAPE PLAN**

Facade: **01A**



DRAWING DETAILS	
5/25/2026 8:38:02 AM	
SCALE	SHEET SIZE
1:150	A3
JOB No:	832H
Drwg No:	D13 Issue A03

All dimensions to be verified on site