

# NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

## SITE:

**8 MUIRFIELD COURT, MIDWAY POINT**

## PROPOSED DEVELOPMENT:

**DWELLING**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au) until **Tuesday 23rd June 2026**.

Any person may make representation in relation to the proposal by letter or electronic mail ([sorell.council@sorell.tas.gov.au](mailto:sorell.council@sorell.tas.gov.au)) addressed to the Chief Executive Officer. Representations must be received no later than **Tuesday 23rd June 2026**.

**APPLICATION NO: 5.2026-148.1**

**DATE: 5 JUNE 2026**



**Annotations**

- Polygon1

**Roads**

- DSG Roads
- Council Roads

**Property**

- property
- Titles



**Disclaimer**

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

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**Part B: Please note that Part B of this form is publicly exhibited.**

Full description of Proposal:	Use: Dwelling
	Development: Construction of a single dwelling
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal:	\$ 573,215.00

Is all, or some the work already constructed:	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address: Lot 140 Muirfield Court
	Suburb: MIDWAY POINT Postcode: 7171
	Certificate of Title(s) Volume: 189520 Folio: 140

Current Use of Site	Vacant Land
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Current Owner/s:	Name(s) Barry & Leesa Maxwell - Transfer in Progress
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Is the Property on the Tasmanian Heritage Register?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

**If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form**  
<https://www.sorell.tas.gov.au/services/engineering/>



**Sorell Council**  
 Development Application: 5.2026.148.1 -  
 Development Application - 8 Muirfield Court,  
 Midway Point P1.pdf  
 Plans Reference: P1  
 Date Received: 05/05/2026

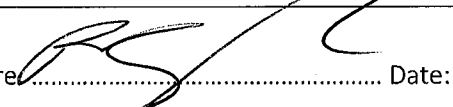
**Part B continued: Please note that Part B of this form is publicly exhibited**

**Declarations and acknowledgements**

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council’s representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the *Land Use Planning and Approvals Act 1993*, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.

*Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council’s Privacy Policy available on the Council website.*

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.
- Where the General Manager’s consent is also required under s.14 of the *Urban Drainage Act 2013*, by making this application I/we also apply for that consent.

<b>Applicant Signature:</b>	 Signature: ..... Date: .....	05/05/2026
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**Crown or General Manager Land Owner Consent**


If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the *Land Use Planning and Approvals Act 1993*).

Please note:

- If General Manager consent is required, please first complete the General Manager consent application form available on our website [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au)
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

I \_\_\_\_\_ being responsible for the administration of land at \_\_\_\_\_

declare that I have given permission for the making of this application for \_\_\_\_\_



**Sorell Council**

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 Development Application - 8 Muirfield Court,  
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<b>Signature of General Manager, Minister or Delegate:</b>	Signature: .....	Date: .....
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SEARCH OF TORRENS TITLE

VOLUME 189520	FOLIO 140
EDITION 1	DATE OF ISSUE 29-Oct-2025

SEARCH DATE : 05-May-2026

SEARCH TIME : 01.51 pm

DESCRIPTION OF LAND

Parish of SORELL Land District of PEMBROKE  
 Lot 140 on Sealed Plan 189520  
 Derivation : Part of Lot 306, 120 Acres Gtd. to John Lord  
 Prior CT 189367/1000

SCHEDULE 1


M871097 TRANSFER to JAC ESTATES PTY LTD Registered  
 17-Feb-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 SP189520 EASEMENTS in Schedule of Easements  
 SP189520 COVENANTS in Schedule of Easements  
 SP189520 FENCING COVENANT in Schedule of Easements  
 SP183934, SP184510, SP184768, SP184962, SP185905, SP186229,  
 SP186700, SP187500, SP188745, SP189273 & SP189367  
 COVENANTS in Schedule of Easements  
 SP14888, SP184510, SP184768, SP184962, SP185905, SP186229,  
 SP186700, SP187500, SP188745, SP189273 & SP189367  
 FENCING COVENANT in Schedule of Easements  
 SP183934 FENCING PROVISION in Schedule of Easements  
 SP14888 COUNCIL NOTIFICATION under Section 468(12) of the  
 Local Government Act 1962  
 M871097 FENCING CONDITION in Transfer

UNREGISTERED DEALINGS AND NOTATIONS

N142022 PRIORITY NOTICE reserving priority for 90 days  
 TRANSFER JAC ESTATES PTY LTD to BARRY JOHN MAXWELL  
 and LEESA JOAN MAXWELL  
 MORTGAGE BARRY JOHN MAXWELL and LEESA JOAN MAXWELL to  
 Commonwealth Bank of Australia Lodged by TIERNEY LAW  
 - HUON on 11-Feb-2026 BP: N142022



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 Development Application - 8 Muirfield Court,  
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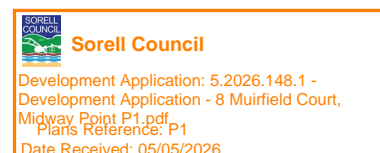
UNREGISTERED DEALINGS REPORT

SEARCH DATE : 05-May-2026

SEARCH TIME : 01:52 pm

CT: 189520/140

N142022 PRIORITY NOTICE reserving priority for 90 days  
TRANSFER JAC ESTATES PTY LTD to BARRY JOHN MAXWELL  
and LEESA JOAN MAXWELL  
MORTGAGE BARRY JOHN MAXWELL and LEESA JOAN MAXWELL to  
Commonwealth Bank of Australia Lodged by TIERNEY LAW  
- HUON on 11-Feb-2026 BP: N142022



<b>SCHEDULE OF EASEMENTS</b>	Registered Number
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 189520

PAGE 1 OF 7 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

**Taswater**

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'G' 4.00 WIDE (SP 185905) & DRAINAGE EASEMENT 'G' 4.00 WIDE (SP 185905)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'H' VARIABLE WIDTH (SP 185905)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'I' VARIABLE WIDTH (SP 185905)" as shown on the plan ("the Easement Land").


Lots 1000 is SUBJECT TO a Pipeline & Services Easement gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successor and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 184768) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 184768)" as shown on the plan ("the Easement Land").

Lots 135 & 1000 are SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'C' VARIABLE WIDTH (SP 185905) & DRAINAGE EASEMENT 'C' VARIABLE WIDTH (SP 185905)" as shown on the plan ("the Easement Land").

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: JAC ESTATES PTY LTD	PLAN SEALED BY: SORELL COUNCIL
FOLIO REF: 189367/1000	DATE: 10.10.25
SOLICITOR & REFERENCE:	SA 2020/00006 - 1
Butler McIntyre & Butler (JS:251287)	REF NO. Council Delegate
<b>NOTE:</b> The Council Delegate must sign the Certificate for the purposes of identification.	

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**Sorell Council**  
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 Development Application - 8 Muirfield Court,  
 Midway Point P1.pdf  
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<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 2 OF 7 PAGES</p>	<p>Registered Number <b>SP189520</b></p>
<p>SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189367/1000</p>	

Lots 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'C' 3.50 WIDE (SP 184510) & DRAINAGE EASEMENT 'C' 3.50 WIDE (SP 184510)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'E' 3.00 WIDE (SP 185905) & DRAINAGE EASEMENT 'E' 3.00 WIDE (SP 185905)" as shown on the plan ("the Easement Land").

Lot 78 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'D' 3.50 WIDE (SP 184510) & DRAINAGE EASEMENT 'D' 3.50 WIDE (SP 184510)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'E' VARIABLE WIDTH (SP 184962) & DRAINAGE EASEMENT 'E' VARIABLE WIDTH (SP 184962)" as shown on the plan ("the Easement Land").

Lots 44 & 1000 are SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'E' 3.50 WIDE (SP184510) & DRAINAGE EASEMENT 'E' 3.50 WIDE (SP184510)" as shown on the plan ("the Easement Land").

Lot 140 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'F' 2.00 WIDE (SP 185905)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 184510) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 184510)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'B' 3.50 WIDE (SP 185905) & DRAINAGE EASEMENT 'B' 3.50 WIDE (SP 185905)" as shown on the plan ("the Easement Land").

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP185905) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP185905)" as shown on the plan ("the Easement Land").

Director *[Signature]* .....

Director *[Signature]* .....

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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**Sorell Council**

Development Application: 5.2026.148.1 -  
Development Application - 8 Muirfield Court,  
Midway Point P1.pdf  
Plans Reference: P1  
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<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 3 OF 7 PAGES</p>	<p>Registered Number</p> <p><b>SP 18 95 20</b></p>
<p>SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189367/1000</p>	

Lot 1000 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP186229) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP186229) " as shown on the plan ("the Easement Land").

Lots 1000 & 2008 are SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 187500) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP187500)" as shown on the plan ("the Easement Land").

Lot 2008 is SUBJECT TO a Pipeline & Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd, its successors and assigns ("TasWater") over the land marked "PIPELINE AND SERVICES EASEMENT 'B' 3.50 WIDE (SP 187500) & DRAINAGE EASEMENT 'B' 3.50 WIDE (SP 187500)" as shown on the plan ("the Easement Land").

**Drainage**

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'G' 4.00 WIDE (SP 185905) & DRAINAGE EASEMENT 'G' 4.00 WIDE (SP 185905)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "DRAINAGE EASEMENT 'H' VARIABLE WIDTH (SP 185905)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 186229) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 186229) " as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP184510) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP184510)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP184768) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP184768)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'C' VARIABLE WIDTH (SP 185905) & DRAINAGE EASEMENT 'C' VARIABLE WIDTH (SP 185905)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'C' 3.50 WIDE (SP 184510) & DRAINAGE EASEMENT 'C' 3.50 WIDE (SP 184510)" as shown on the plan.

Director *[Signature]*

Director *[Signature]*

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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**Sorell Council**

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Midway Point P1.pdf  
Plan's Reference: P1  
Date Received: 05/05/2026

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 4 OF 7 PAGES	Registered Number <b>SP 189520</b>
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189367/1000	

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'E' 3.00 WIDE (SP 185905) & DRAINAGE EASEMENT 'E' 3.00 WIDE (SP 185905)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "DRAINAGE EASEMENT 'F' 3.00 WIDE (SP 185905)" as shown on the plan.

Lots 78 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'D' 3.50 WIDE (SP 184510) & DRAINAGE EASEMENT 'D' 3.50 WIDE (SP 184510)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'E' VARIABLE WIDTH (SP 184962) & DRAINAGE EASEMENT 'E' VARIABLE WIDTH (SP 184962)" as shown on the plan.

Lots 44 & 1000 are SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'E' 3.50 WIDE (SP184510) & DRAINAGE EASEMENT 'E' 3.50 WIDE (SP184510)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 185905) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 185905)" as shown on the plan.

Lot 1000 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'B' 3.50 WIDE (SP 185905) & DRAINAGE EASEMENT 'B' 3.50 WIDE (SP 185905)" as shown on the plan.

Lots 1000 & 2008 are SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'A' 3.50 WIDE (SP 187500) & DRAINAGE EASEMENT 'A' 3.50 WIDE (SP 187500)" as shown on the plan.

Lot 2008 is SUBJECT TO a Right of Drainage in gross in favour of the Sorell Council over the land marked "PIPELINE AND SERVICES EASEMENT 'B' 3.50 WIDE (SP 187500) & DRAINAGE EASEMENT 'B' 3.50 WIDE (SP 187500)" as shown on the plan.

**Pipeline**

Lot 1000 is SUBJECT TO an easement in favour of Metropolitan Water Board over the area marked "PIPELINE EASEMENT 10.06 WIDE (563/6D)" shown on the plan and fully set forth in sealed plan 14888.


Lot 1000 is SUBJECT TO an easement for pipeline rights in favour of Sorell Council over the area marked "PIPELINE EASEMENT 10.06 WIDE (563/6D)" shown on the plan and fully set forth in transfer B912948.

Director 

Director 

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<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 5 OF 7 PAGES	Registered Number <b>SP 18 95 20</b>
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189367/1000	

**Embankment**

Lot 1000 is SUBJECT TO an Embankment Easement, as defined in SP185905, in gross in favour of the Sorell Council over the land marked "EMBANKMENT EASEMENT "B" (SP 185905)" as shown on the plan.

Lot 1000 is SUBJECT TO an Embankment Easement, as defined in SP184768, in gross in favour of the Sorell Council over the land marked "EMBANKMENT EASEMENT "B" VARIABLE WIDTH (SP184768)" as shown on the plan.

**COVENANTS**

The owner of Lot 1000 on the Plan covenants in gross with the Sorell Council to the intent that the burden of this covenant may run with and bind the covenantor's lot and every part thereof and that the benefit thereof shall be in favour of the said Sorell Council to observe the following stipulation:-

- Not to construct, or allow to be constructed, any habitable room of a dwelling within the area marked A.D.E.F. on the Plan.

The owner of all lots on the Plan covenants in gross with the Sorell Council to the intent that the burden of these covenants may run with and bind the covenantor's lot and each and every part of it and that the benefit of these covenants shall be annexed to and devolve with Sorell Council to observe the following stipulation:

- not to construct on a lot a dwelling without :
  - i) A minimum 5,000 litre rain water tank fitted to collect all roof runoff; and
  - ii) Such tank shall be installed with minimum retention storage of 2000 litres and be plumbed into toilets so that re-use occurs, with top up from the reticulated water supply.

Lots 78 & 1000

The owner of Lot 1000 on the Plan covenant in gross with the Sorell Council to the intent that the burden of these covenants may run with and bind the covenantor's lot and each and every part of it and that the benefit of these covenants shall be annexed to and devolve with Sorell Council to observe the following stipulation:

- not to allow vehicular access to Penna Road.

**FENCING COVENANT**

In respect to the lots on the plan, the owners of each lot on the plan covenants with the vendor (JAC ESTATES PTY LTD) that the vendor shall not be required to fence.

**Definitions;**

"Embankment Easement" means that defined in the respective SPs 185905 and SP184768.

Director: *[Signature]*

Director: *[Signature]*

29.10.25  
*[Signature]*  
 JASON SATEC  
 SOLICITOR FOR  
 DEVELOPER

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 6 OF 7 PAGES</p>	<p>Registered Number</p> <p><b>SP 18 95 20</b></p>
<p>SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189367/1000</p>	

**"Pipeline and Services Easement"** means-

**FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY** for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
  - (a) without doing unnecessary damage to the Easement Land; and
  - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

**SECONDLY**, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

**"Infrastructure"** means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.


**"Right of Drainage"** means a right of drainage as defined within Schedule 8 of the Conveyancing and Law of Property Act 1884 (Tas).

Director: *[Signature]*

Director: *[Signature]*

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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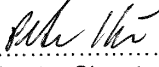



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Development Application - 8 Muirfield Court,  
Midway Point P1.pdf  
Plans Reference: P1  
Date Received: 05/05/2026

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 7 OF 7 PAGES	Registered Number <b>SP 18 95 20</b>
SUBDIVIDER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189367/1000	

**EXECUTED** by JAC ESTATES PTY LTD (ACN 638 495 182) pursuant to section 127(1) of the Corporations Act 2001 (Cth) by:

 ..... Director Signature	 ..... Director Signature
NOTR KALZ ..... Director Full Name (print)	DEAN MURRAY COCKER ..... Director Full Name



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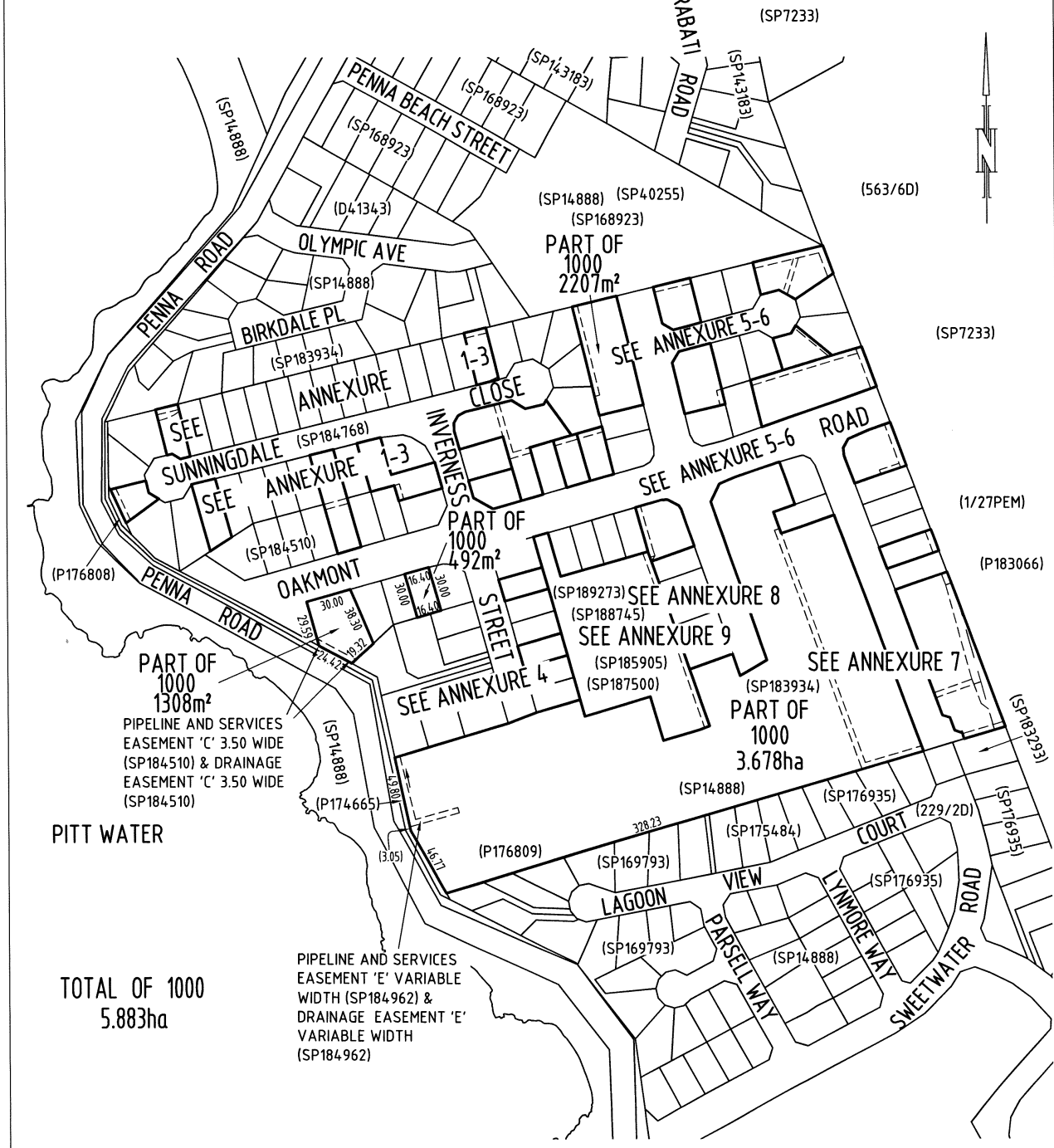
**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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OWNER: JAC ESTATES PTY LTD  FOLIO REFERENCE: 189367/1000  GRANTEE: PART OF LOT 306, 120 ACRES GTD TO JOHN LORD	<b>NEW PLAN OF SURVEY</b>		Registered Number
	BY SURVEYOR: <b>M. M. STRATTON</b> of <b>PDA</b> SURVEYORS, ENGINEERS & PLANNERS 127 BATHURST STREET, HOBART	LOCATION: <b>PEMBROKE-SORELL</b>	<b>SP 189520</b>
SCALE 1: 2500	LENGTHS IN METRES	SURVEYORS REF <b>55084MS-1</b>	APPROVED EFFECTIVE FROM <b>29 OCT 2025</b>  <i>Renner</i> Recorder of Titles

**INDEX PLAN**  
LOT 1000 IS COMPILED FROM SP189367 & THIS SURVEY

**PRIORITY FINAL PLAN** ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

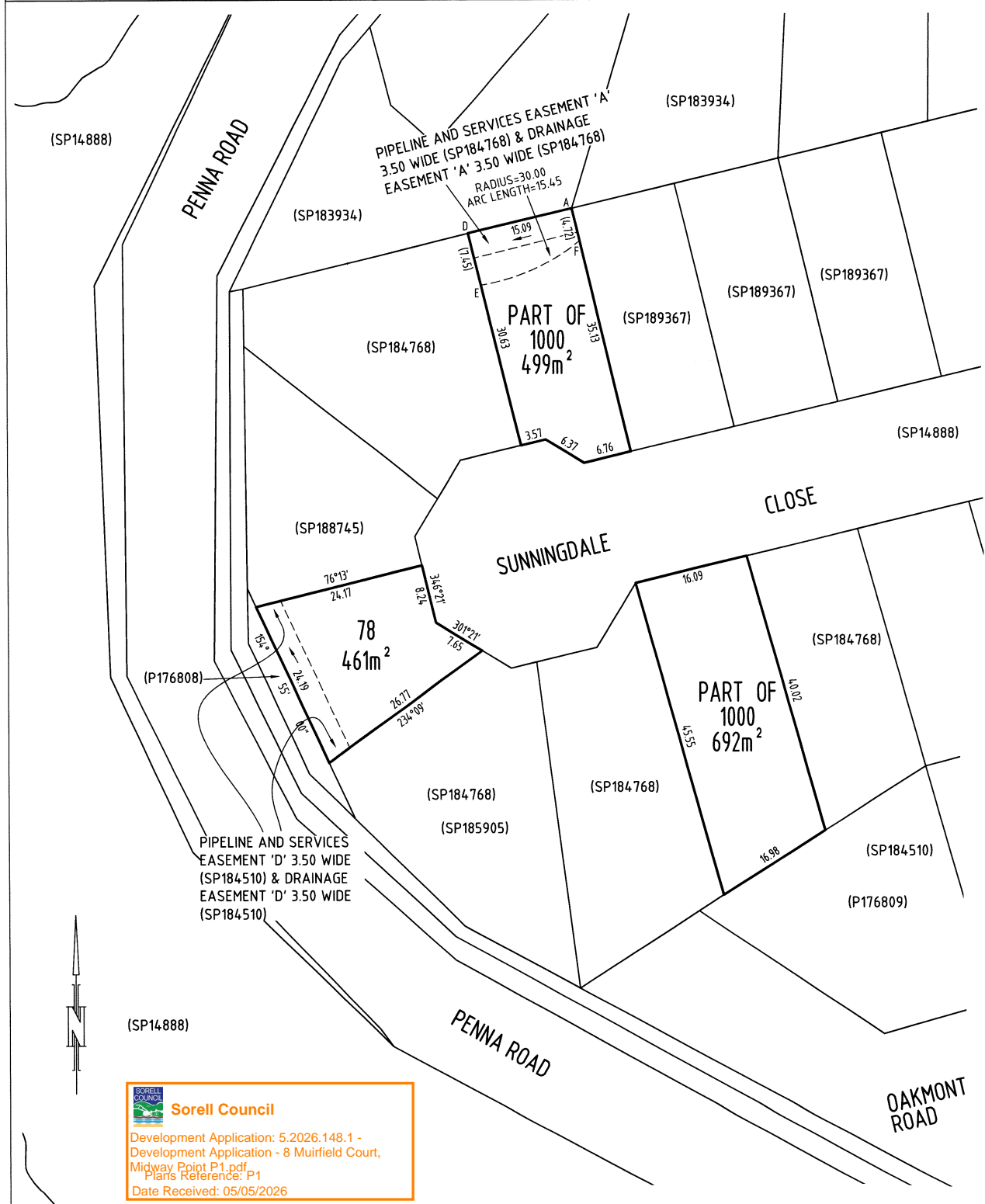


*M Stratton*  
Registered Land Surveyor  
Date: 28/10/2025

**Sorell Council**  
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Development Application - 8 Muirfield Court,  
Midway Point P1.pdf  
Plans Reference: P1  
Date Received: 05/05/2026

SEE PLAN RELATED DOCUMENTS  
Council Delegate \_\_\_\_\_ Date \_\_\_\_\_

<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 9 SHEETS</p>	<p>OWNER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189367/1000 SCALE 1:500 LENGTH IN METRES SURVEYORS REF: 55084MS-1</p>	<p>Registered Number <b>SP189520</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> 10.10.25 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. <i>[Signature]</i> 17/09/2025 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 29 OCT 2025 <i>[Signature]</i> Recorder of Titles</p>



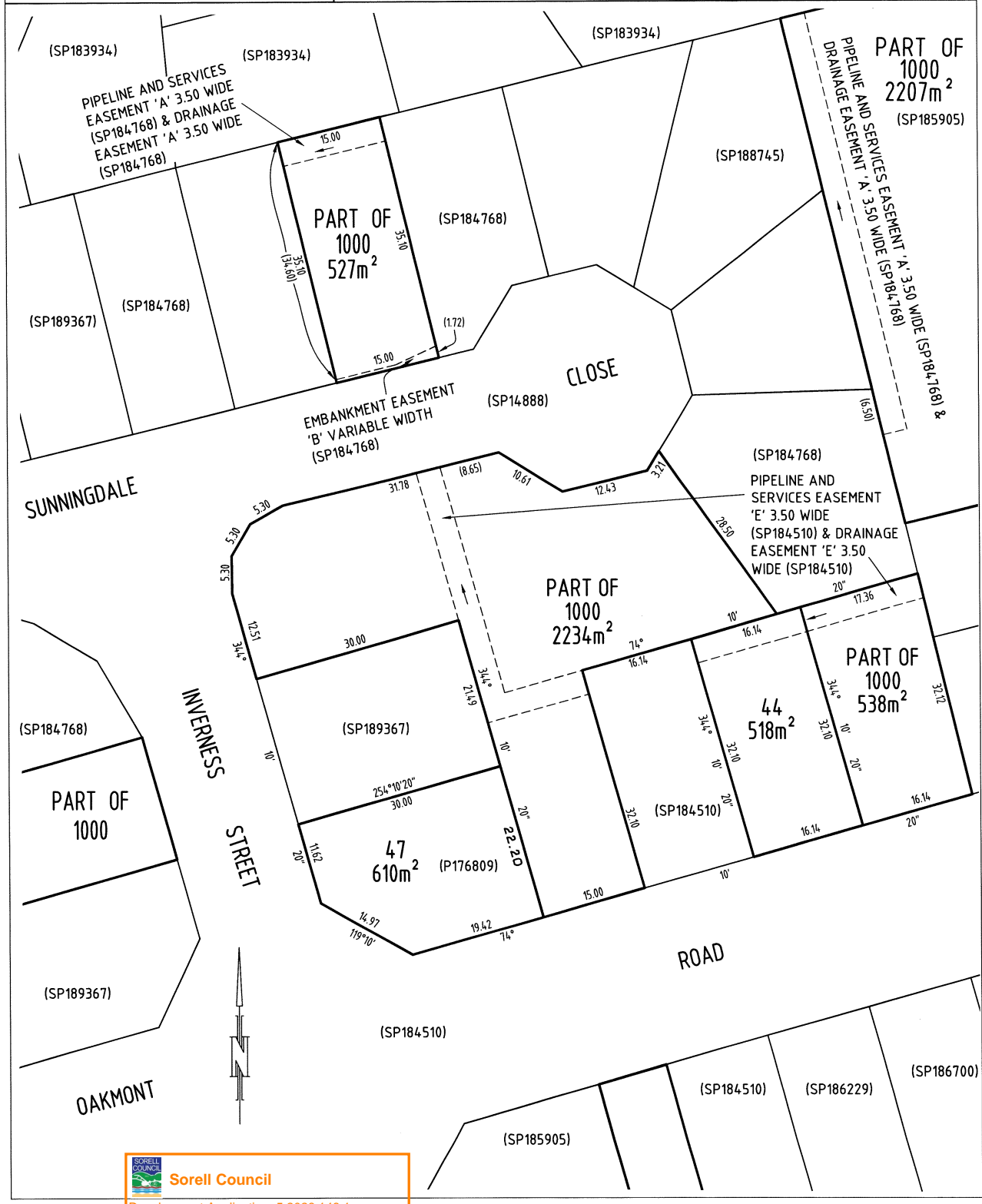
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<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 2 OF 9 SHEETS</p>	<p>OWNER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189367/1000 SCALE 1: 500 LENGTH IN METRES SURVEYORS REF: 55084MS-1</p>	<p>Registered Number <b>SP 89520</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> Council Delegate 10.10.25 Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. <i>[Signature]</i> Registered Land Surveyor 17/09/2025 Date</p>	<p>APPROVED EFFECTIVE FROM 29 OCT 2025 <i>[Signature]</i> Recorder of Titles</p>



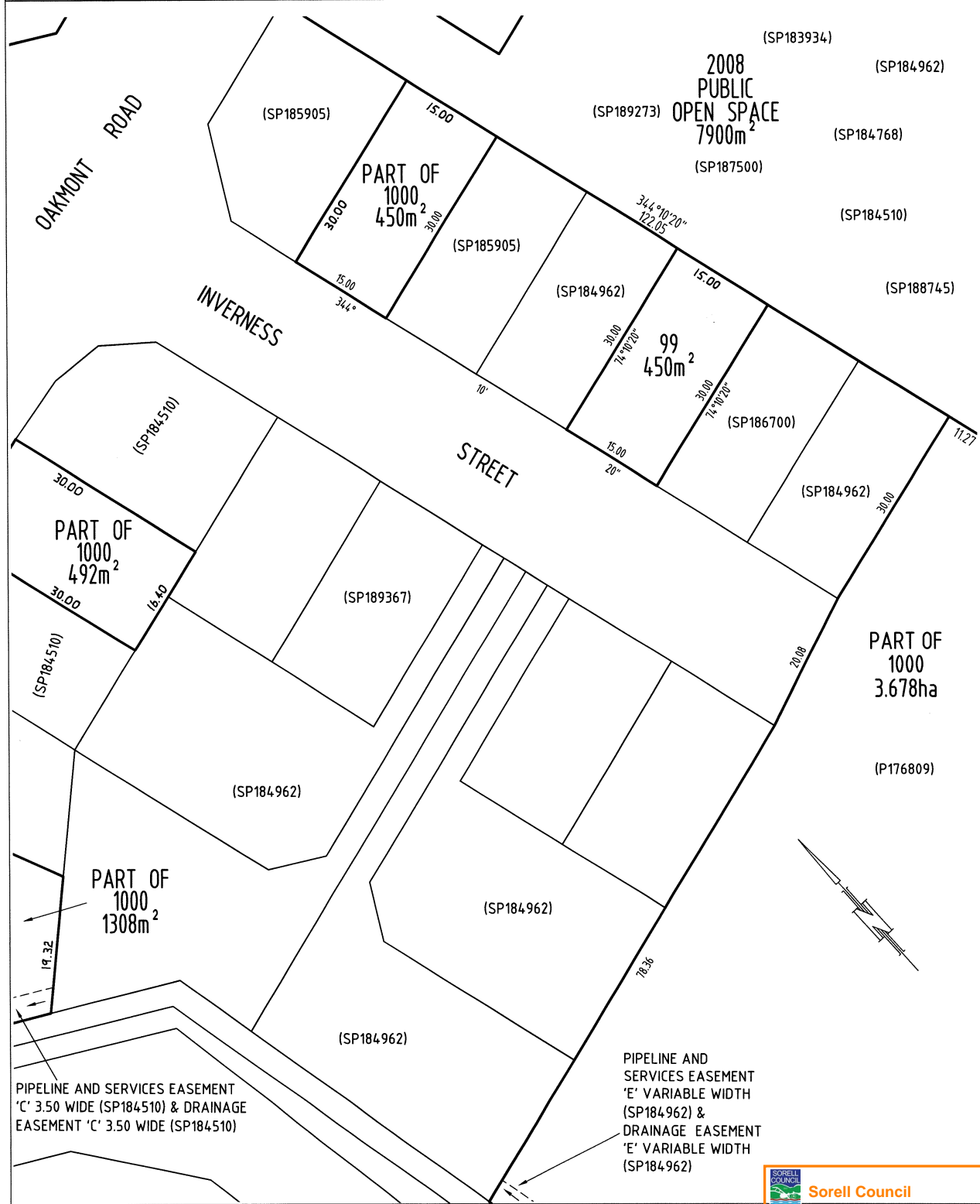
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<p><b>PLAN OF SURVEY</b> <b>ANNEXURE SHEET</b> SHEET 3 OF 9 SHEETS</p>	<p>OWNER: JAC ESTATES PTY LTD</p>	<p>Registered Number <b>SP 189520</b></p>
	<p>FOLIO REFERENCE: 189367/1000</p> <p>SCALE 1:500 LENGTH IN METRES SURVEYORS REF: 55084MS-1</p>	<p>APPROVED EFFECTIVE FROM 29 OCT 2025</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 10.10.25 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 17/09/2025 Registered Land Surveyor Date</p>	<p><i>[Signature]</i> Recorder of Titles</p>



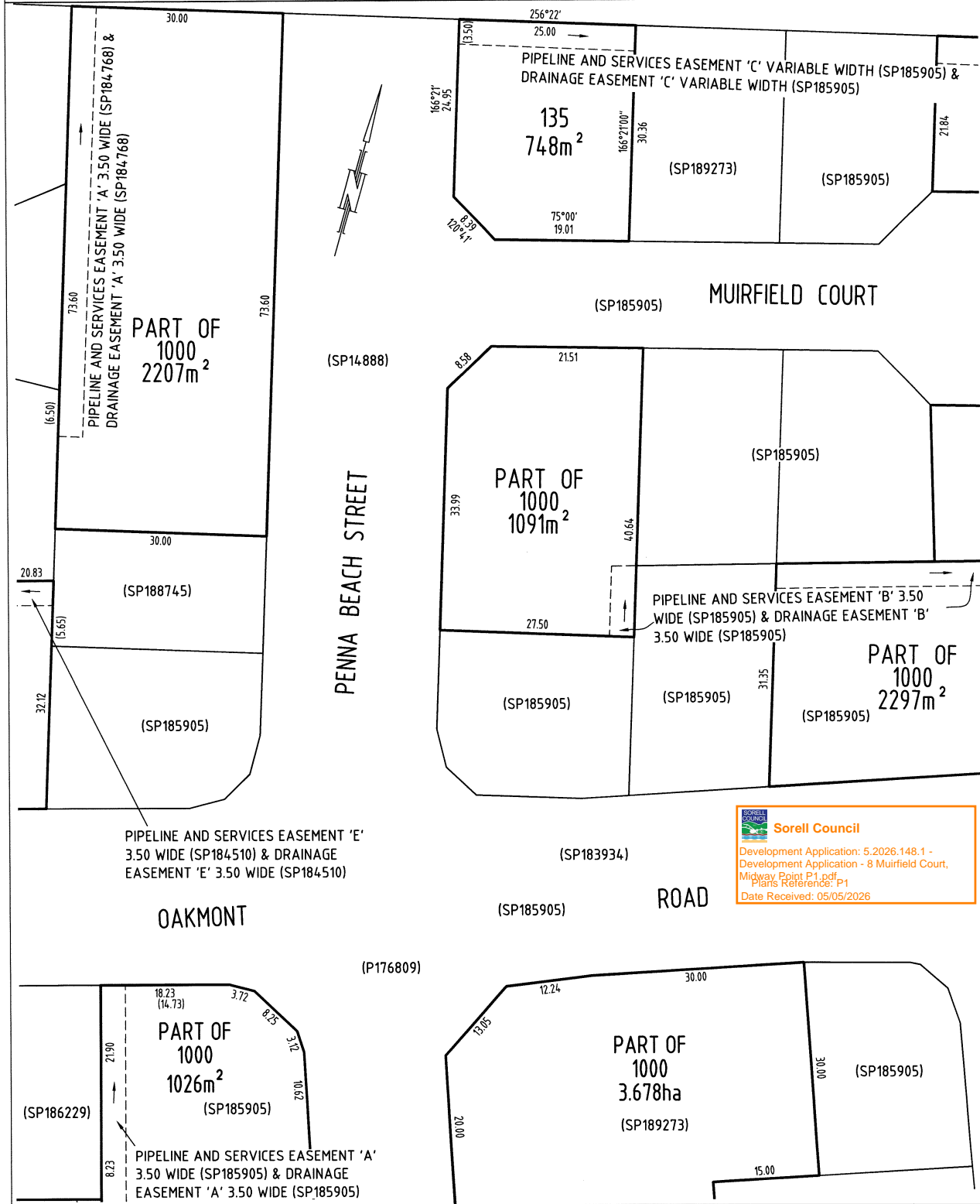
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<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 4 OF 9 SHEETS</p>	<p>OWNER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189367/1000 SCALE 1:500 LENGTH IN METRES SURVEYORS REF: 55084MS-1</p>	<p>Registered Number <b>SP189520</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> 10.10.25 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. <i>[Signature]</i> 17/09/2025 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 2-9 OCT 2025 <i>[Signature]</i> Recorder of Titles</p>



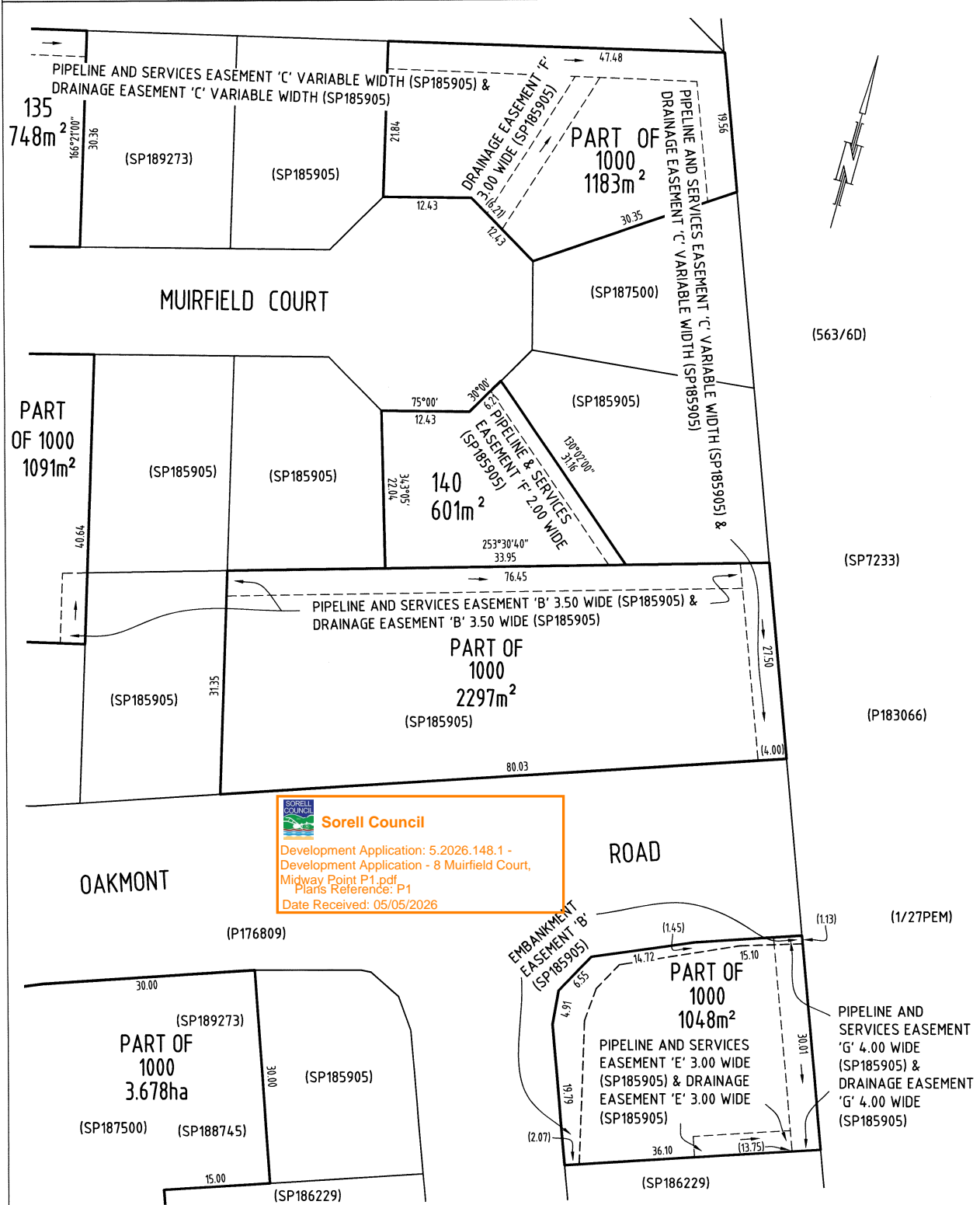
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<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 5 OF 9 SHEETS</p>	<p>OWNER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189367/1000 SCALE 1:500 LENGTH IN METRES SURVEYORS REF: 55084MS-1</p>	<p>Registered Number <b>SP 189520</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> 10.10.25 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. <i>[Signature]</i> 17/09/2025 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 29 OCT 2025 <i>[Signature]</i> Recorder of Titles</p>



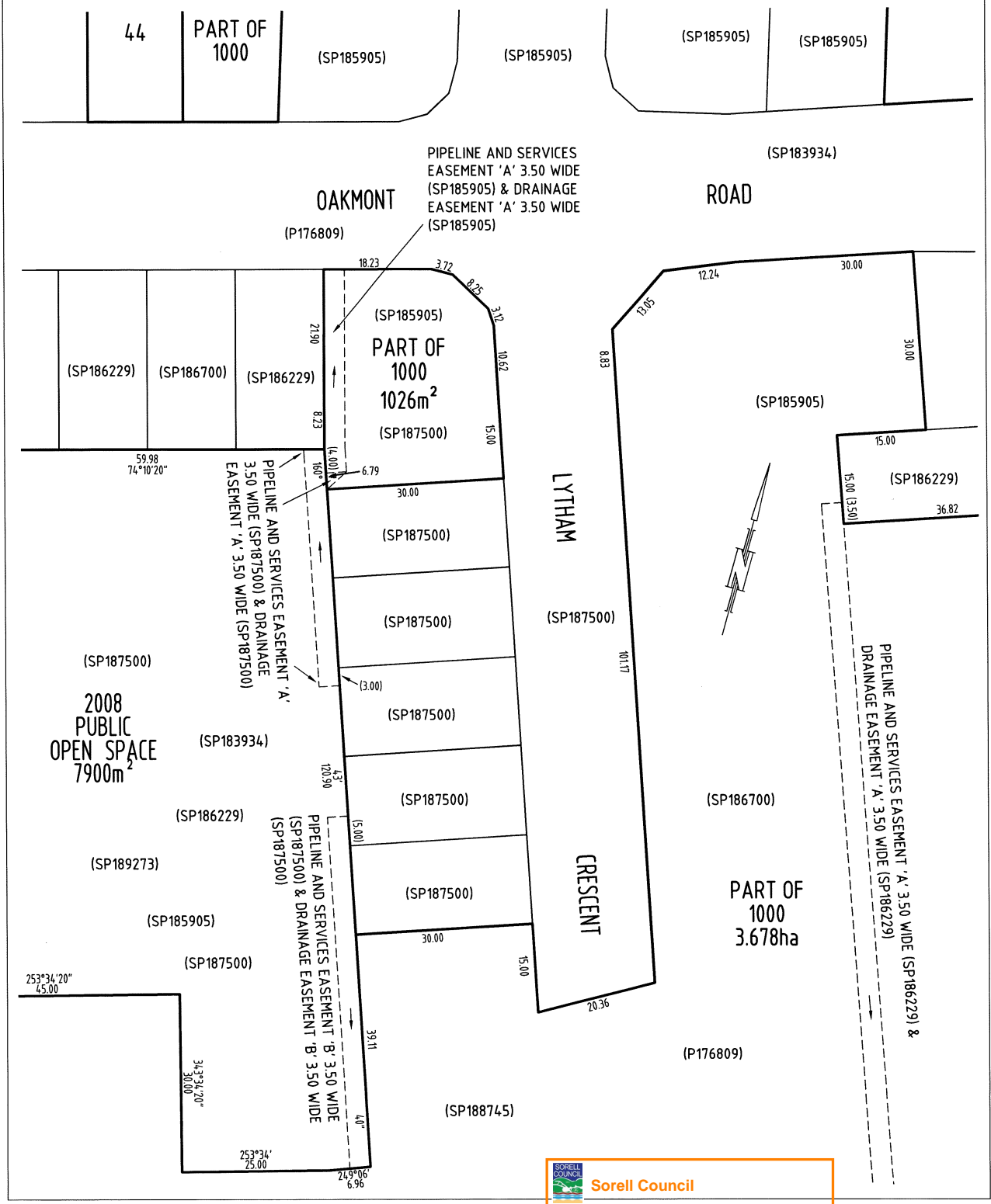
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<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 6 OF 9 SHEETS</p>	<p>OWNER: JAC ESTATES PTY LTD FOLIO REFERENCE: 189367/1000 SCALE 1:500 LENGTH IN METRES SURVEYORS REF: 55084MS-1</p>	<p>Registered Number <b>SP189520</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> 10.10.25 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. <i>[Signature]</i> 17/09/2025 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 29 OCT 2025 <i>[Signature]</i> Recorder of Titles</p>





PLAN OF SURVEY ANNEXURE SHEET  NEW SHEET 8 OF 9 SHEETS	OWNER: JAC ESTATES PTY LTD  FOLIO REFERENCE: 189367/1000  SCALE 1:600    LENGTH IN METRES    SURVEYORS REF: 55084MS-1	Registered Number  <b>SP 189520</b>
	SIGNED FOR IDENTIFICATION PURPOSES  SEE PLAN RELATED DOCUMENTS Council Delegate _____ Date _____	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.   Registered Land Surveyor    28/10/2025    Date



**Sorell Council**  
 Development Application: 5.2026.148.1 -  
 Development Application - 8 Muirfield Court,  
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 Plans Reference: P1  
 Date Received: 05/05/2026



# **AS2870:2011 SITE ASSESSMENT**

**Lot 140 Muirfield Court**

**Midway Point**

**November 2025**



GEO-ENVIRONMENTAL  
SOLUTIONS



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## Investigation Details

<b>Client:</b>	Creative Homes Hobart
<b>Site Address:</b>	Lot 140 Muirfield Court, Midway Point
<b>Date of Inspection:</b>	06/11/2025
<b>Proposed Works:</b>	New house
<b>Investigation Method:</b>	Geoprobe 540UD - Direct Push
<b>Inspected by:</b>	C. Cooper

## Site Details

<b>Certificate of Title (CT):</b>	189520/140
<b>Title Area:</b>	Approx. 595 m <sup>2</sup>
<b>Applicable Planning Overlays:</b>	Bushfire-prone areas, Airport obstacle limitation area
<b>Slope &amp; Aspect:</b>	6° NE facing slope
<b>Vegetation:</b>	Grass & Weeds

## Background Information

<b>Geology Map:</b>	MRT
<b>Geological Unit:</b>	Triassic Sandstone
<b>Climate:</b>	Annual rainfall 400mm
<b>Water Connection:</b>	Mains
<b>Sewer Connection:</b>	Serviced-Mains
<b>Testing and Classification:</b>	AS2870:2011, AS1726:2017 & AS4055:2021

## Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

### **Soil Profile Summary**

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.50	0.00-0.30	SM	<b>Silty SAND:</b> grey, brown, slightly moist, medium dense,
0.50-0.90	0.30-1.00	CI	<b>Sandy CLAY:</b> medium plasticity, grey, brown, slightly moist, stiff,
0.90-1.40	1.00	GC	<b>Clayey GRAVEL:</b> yellow, brown, slightly moist, very dense, refusal on rock/boulder.

## Site Notes

Soils on the site are developing from Triassic Sandstone. The clay fraction is likely to show moderate ground surface movement.

## Site Classification

The site has been assessed and classified in accordance with AS2870:2011 “Residential Slabs and Footings”.

The site has been classified as:

### **Class M**

$y_s$  range: **20-40mm**

Notes: that is a moderately reactive clay.

## Wind Loading Classification

According to “AS4055:2021 - Wind Loads for Housing” the house site is classified below:

<b>Wind Classification:</b>	<b>N3</b>
Region:	A
Terrain Category:	1.0
Shielding Classification:	PS
Topographic Classification:	T1
Wind Classification:	N3
Design Wind Gust Speed – m/s ( $V_{h,u}$ ):	50

## Construction Notes & Recommendations

The site has been classified as **Class M** - Moderately reactive clay or silt site, which may experience moderate ground movement from moisture changes.

It is recommended the foundations be placed on the underlying bedrock to minimise the potential for significant foundation movement.

All earthworks on site must comply with AS3798:2007, and I further recommend that consideration be given to drainage and sediment control on site during and after construction. Care should also be taken to ensure there is adequate drainage in the construction area to avoid the potential for weak bearing and foundation settlement associated with excessive soil moisture.

I also recommend that during construction that I and/or the design engineer be notified of any major variation to the foundation conditions as predicted in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD

*Director*

## Explanatory Notes

### 1 Scope of Works

The methods of description and classification of soils used in this report are based largely on Australian Standard 1726 – Geotechnical Site Investigations (AS1726:2017), with reference to Australian Standard 1289 – Methods for testing soils for engineering purposes (AS1289), for eventual Site Classification according to Australian Standard 2870 (AS2870:2011) – Residential Slabs and Footings and Australian Standard 1547 (AS1547:2012) On-site domestic wastewater management.

#### 1.1 Site Classification AS2870:2011

Site classification with reference to the above Australian Standards are based on site reactivity.

Class	Foundation Conditions	Characteristic Surface Movement
<b>A</b>	Most sand and rock sites with little or no ground movement from moisture changes.	<b>0mm</b>
<b>S</b>	Slightly reactive clay sites, which may experience only slight ground movement from moisture changes.	<b>0 – 20mm</b>
<b>M</b>	Moderately reactive clay or silt sites, which may experience moderate ground movement from moisture changes.	<b>20 – 40mm</b>
<b>H-1</b>	Highly reactive clay sites, which may experience high ground movement from moisture changes.	<b>40 – 60mm</b>
<b>H-2</b>	Highly reactive clay sites, which may experience very high ground movement from moisture changes.	<b>60 – 75mm</b>
<b>E</b>	Extremely reactive sites, which may experience extreme ground movement from moisture changes.	<b>&gt;75mm</b>

*Note: Soils where foundation performance may be significantly affected by factors other than reactive soil movement are classified as **Class P**.*

A site is classified as **Class P** when:

- The bearing capacity of the soil profile in the foundation zone is generally less than 100kpa
- If excessive foundation settlement may occur due to loading on the foundation.
- The site contains uncontrolled fill greater than 0.8m in depth for sandy sites and 0.4m in depth for other soil materials.
- The site is subject to mine subsidence, landslip, collapse activity or coastal erosion.
- The site is underlain by highly dispersive soils with significant potential for erosion
- If the site is subject to abnormal moisture conditions which can affect foundation performance

## 1.2 Soil Characterisation

This information explains the terms of phrase used within the soil description area of the report.

It includes terminology for cohesive and non-cohesive soils and includes information on how the Unified Soil Classification Scheme (USCS) codes are determined.

<b>NON COHSIVE – SAND &amp; GRAVEL</b>		
<b>Consistency Description</b>	<b>Field Test</b>	<b>Dynamic Cone Penetrometer blows/100 mm</b>
Very loose (VL)	Easily penetrated with 13 mm reinforcing rod pushed by hand.	0 - 1
Loose (L)	Easily penetrated with 13 mm reinforcing rod pushed by hand. Can be excavated with a spade; 50 mm wooden peg can be easily driven.	1 - 3
Medium dense (MD)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, - hard shovelling.	3 - 8
Dense (D)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, requires pick for excavation: 50 mm wooden peg hard to drive.	8 - 15
Very dense (VD)	Penetrated only 25 - 50 mm with 13 mm reinforcing rod driven with 2 kg hammer.	>15

<b>COHESIVE - SILT &amp; CLAY</b>		
<b>Consistency Description</b>	<b>Field Test</b>	<b>Indicative undrained shear strength kPa</b>
Very soft	Easily penetrated >40 mm by thumb. Exudes between thumb and fingers when squeezed in hand.	<12
Soft	Easily penetrated 10 mm by thumb. Moulded by light finger pressure	>12 and <25
Firm	Impression by thumb with moderate effort. Moulded by strong finger pressure	>25 and <50
Stiff	Slight impression by thumb cannot be moulded with finger.	>50 and <100
Very Stiff	Very tough. Readily indented by thumbnail.	>100 and <200
Hard	Brittle. Indented with difficulty by thumbnail.	>200

### 1.3 USCS Material Descriptions

Soils for engineering purposes are the unconsolidated materials above bedrock, they can be residual, alluvial, colluvial or aeolian in origin.

Major Divisions	Particle size mm	USCS Group Symbol	Typical Names	Laboratory Classification						
				% < 0.075 mm (2)	Plasticity of fine fraction	$C_u = \frac{D_{60}}{D_{10}}$	$C_c = \frac{(D_{30})^2}{(D_{10})(D_{60})}$	NOTES		
COARSE GRAINED SOILS (more than half of material less than 63 mm is larger than 0.075 mm)	BOULDERS	200								
	COBBLES	63								
	GRAVELS (more than half of coarse fraction is larger than 2.36 mm)	coarse	20	GW	Well graded gravels and gravel-sand mixtures, little or no fines	0-5	—	>4	Between 1 and 3	(1) Identify fines by the method given for fine-grained soils.  (2) Borderline classifications occur when the percentage of fines (fraction smaller than 0.075 mm size) is greater than 5% and less than 12%. Borderline classifications require the use of SP-SM, GW-GC.
		medium	6	GP	Poorly graded gravels and gravel-sand mixtures, little or no fines, uniform gravels	0-5	—	Fails to comply with above		
		fine	2.36	GM	Silty gravels, gravel-sand-silt mixtures (1)	12-50	Below 'A' line or PI<4	—	—	
				GC	Clayey gravels, gravel-sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—	—	
	SANDS (more than half of coarse fraction is smaller than 2.36 mm)	coarse	0.6	SW	Well graded sands and gravelly sands, little or no fines	0-5	—	>6	Between 1 and 3	
		medium	0.2	SP	Poorly graded sands and gravelly sands, little or no fines	0-5	—	Fails to comply with above		
		fine	0.075	SM	Silty sands, sand silt mixtures (1)	12-50	Below 'A' line or PI<4	—	—	
				SC	Clayey sands, sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—	—	
	FINE GRAINED SOILS (more than half of material less than 63 mm is smaller than 0.075 mm)	SILTS & CLAYS (Liquid Limit ≤50%)	ML	Inorganic silts, very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity						
			CL CI	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays						
OL			Organic silts and clays of low plasticity							
SILTS & CLAYS (Liquid Limit >50%)		MH	Inorganic silts, micaceous or diatomaceous fine sands or silts, elastic silts							
		CH	Inorganic clays of high plasticity, fat clays							
		OH	Organic silts and clays of high plasticity							
HIGHLY ORGANIC SOILS			PT	Peat and other highly organic soils						

Use the gradation curve of material passing 63 mm for classification of fractions according to the criteria given in Major Divisions'

#### Plasticity Chart

For classification of fine grained soils and fine fraction of coarse grained soils.

The Plasticity Chart plots Plastic Index (%) on the y-axis (0 to 60) against Liquid Limit (%) on the x-axis (0 to 100). Key features include:  
 - Vertical lines at Liquid Limit = 25 (Low), 40 (Medium), and 60 (High).  
 - A diagonal line labeled 'U-line' with equation  $PI = 0.73(LL - 20)$ .  
 - A diagonal line labeled 'A-line' with equation  $PI = 0.0075(LL - 4)^2 + 0.000025(LL - 4)^3$ .  
 - Classification regions: CL (low plasticity inorganic clays), CH (high plasticity inorganic clays), ML (low plasticity inorganic silts), OL (low plasticity organic silts), MH (high plasticity inorganic silts), OH (high plasticity organic silts), MI (medium plasticity inorganic silts), CI (medium plasticity inorganic clays), and CL&OL (borderline between CL and OL).

Grain size analysis is performed by two processes depending on particle size. Sand silt and clay particles are assessed using a standardised hydrometer test, and coarse sand and larger is assessed through sieving by USCS certified sieves. For more detail see the following section.

Soil Classification	Particle Size
Clay	Less than 0.002mm
Silt	0.002 – 0.06mm
Fine/Medium Sand	0.06 – 2.0mm
Coarse Sand	2.0mm – 4.75mm
Gravel	4.75mm – 60.00mm

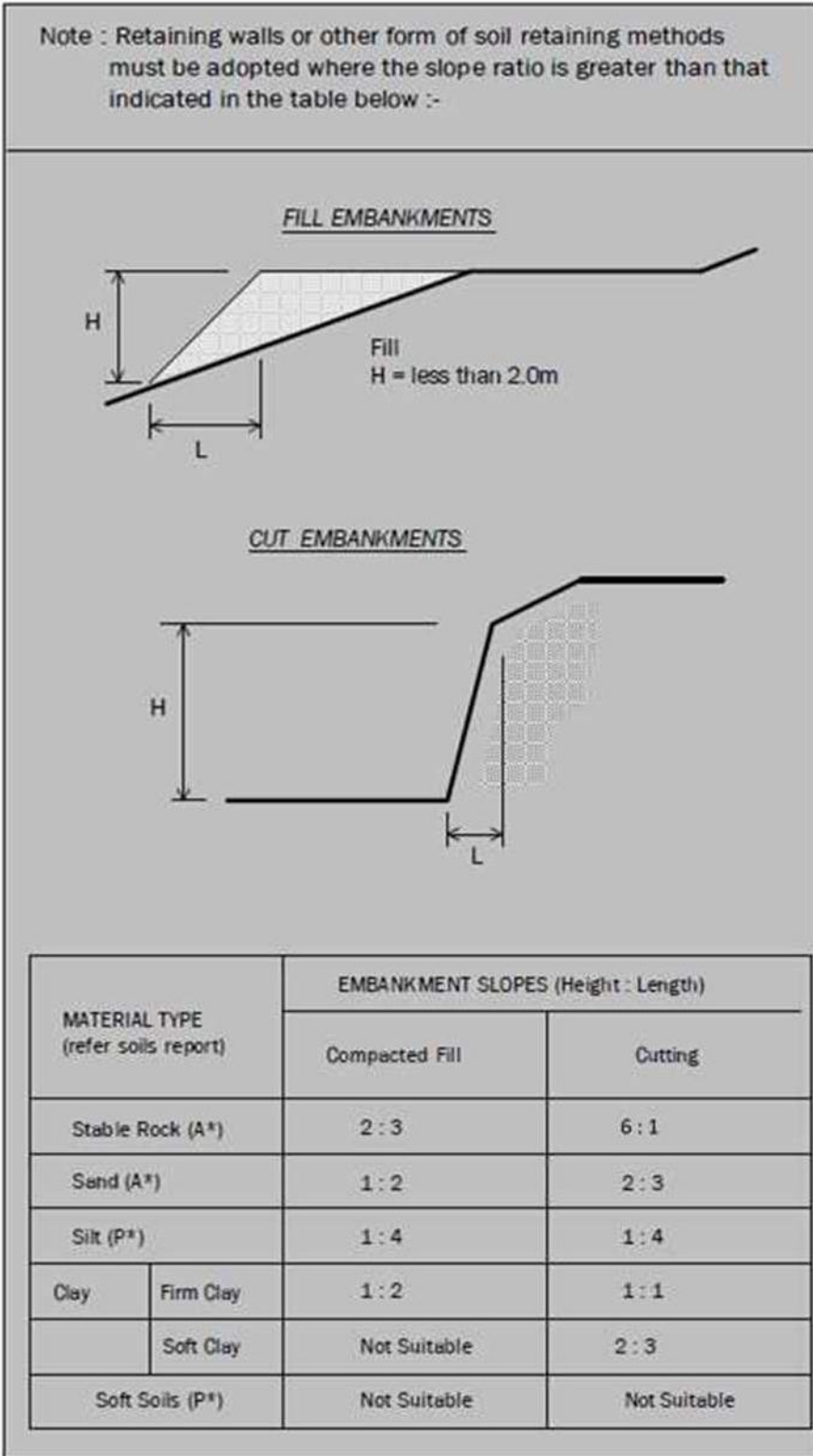
#### 1.4 Bearing Capacities and DCP testing.

DCP and PSP weighted penetrometer tests – Dynamic Cone Penetrometer (DCP) and Perth Sand Penetrometer (PSP) tests are carried out by driving a rod into the ground with a falling weight hammer and measuring the blows for successive 100mm increments of penetration. Normally, there is a depth limitation of 1.2m but this may be extended in certain conditions by the use of extension rods. The methods for the two tests are quite similar.

- Dynamic Cone Penetrometer – a 16mm rod with a 20mm diameter cone end is driven with a 9kg hammer dropping 510mm (AS 1289, Test 6.3.2).
- Perth Sand Penetrometer – a 16mm diameter flat-ended rod is driven with a 9kg hammer, dropping 600mm (AS 1289 Test 6.3.3). This test was developed for testing the density of sands and is mainly used in granular soils and filling.

Site Anomalies – During construction GES will need to be notified of any major variation to the foundation conditions as predicted in this report.

**1.5 Batter Angles for Embankments (Guide Only)**



## Glossary of Terms

**Bearing Capacity** – Maximum bearing pressure that can be sustained by the foundation from the proposed footing system under service loads which should avoid failure or excessive settlement.

**Clay** – (Mineral particles less than 0.002mm in diameter). Fine grained cohesive soil with plastic properties when wet. Also includes sandy clays, silty clays, and gravelly clays.

**Dynamic Cone Penetrometer (DCP)** – Field equipment used to determine underlying soil strength and therefore bearing capacity (kPa) by measuring the penetration of the device into the soil after each hammer blow.

**Dispersive soil** – A soil that has the ability to pass rapidly into suspension in water.

**Footing** – Construction which transfers the load from the building to the foundation.

**Foundation** – Ground which supports the building

**Landslip** – Foundation condition on a sloping site where downhill foundation movement or failure is a design consideration.

**Qualified Engineer** – A professional engineer with academic qualifications in geotechnical or structural engineering who also has extensive experience in the design of the footing systems for houses or similar structures.

**Reactive Site** – Site consisting of clay soil which swells on wetting and shrinks on drying by an amount that can damage buildings on light strip footings or unstiffened slabs. Includes sites classified as S, M, H-1, H-2 & E in accordance with AS2870-2011.

**Sand** – (Mineral particles greater than 0.02mm in diameter). Granular non-cohesive, non-plastic soil that may contain fines including silt or clay up to 15%.

**Services** – Means all underground services to the site including but not limited to power, telephone, sewerage, water & storm water.

**Silt** – (Mineral particles 0.002 – 0.02mm in diameter). Fine grained non-cohesive soil, non-plastic when wet. Often confers a silky smoothness of field texture, regularly includes clay and sand to form clayey silts, sandy silts and gravelly silts.

**Site** – The site title, as denoted by address, lot number, or Certificate of Title (CT) number, or Property Identification Number (PID).

**Surface Movement (Ys)** – Design movement (mm) at the surface of a reactive site caused by moisture changes.

## **Disclaimer**

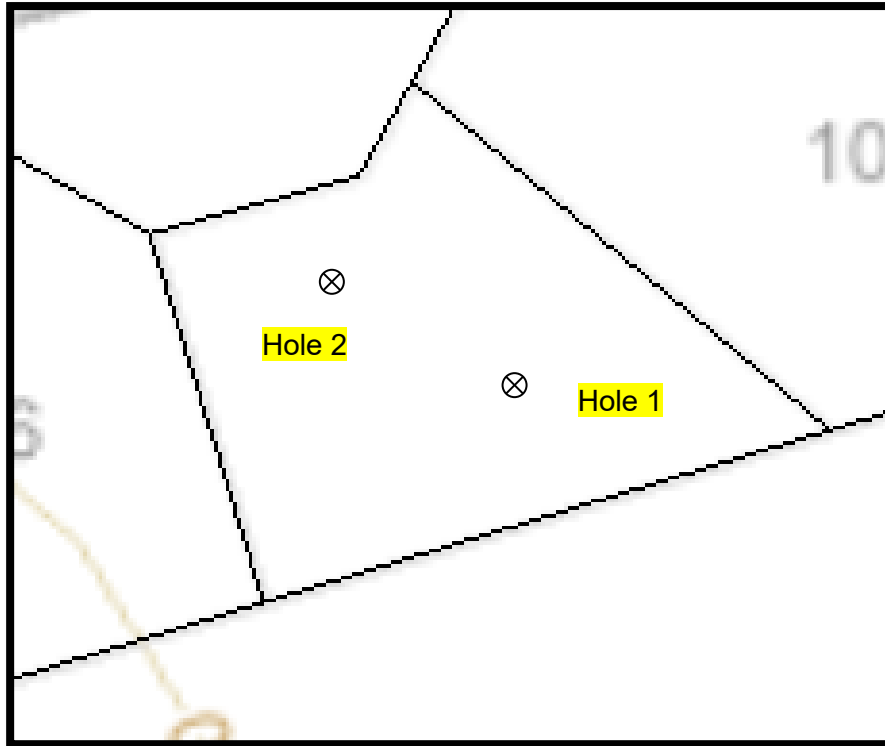
This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for use of any part of this report in any other context or for any other purpose by a third party.

**Site Plan**



**Appendix 2 – Site Photos**



# CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To:  Owner /Agent  
 Address  
  Suburb/postcode

## Qualified person details:

Qualified person:   
Address:  Phone No:   
  Fax No:   
Licence No:  Email address:

Qualifications and Insurance details:  *(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Speciality area of expertise:  *(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

## Details of work:

Address:  Lot No:   
  Certificate of title No:

The assessable item related to this certificate:  *(description of the assessable item being certified)*  
*Assessable item includes –*  

- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

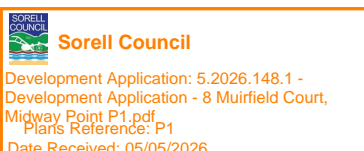
## Certificate details:

Certificate type:  *(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)*

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work   
or

a building, temporary structure or plumbing installation:



In issuing this certificate the following matters are relevant –

Documents:	The attached soil report for the address detailed above in 'details of work'
Relevant calculations:	Reference the above report.
References:	AS2870:2011 residential slabs and footings AS1726:2017 Geotechnical site investigations CSIRO Building technology file – 18.

*Substance of Certificate: (what it is that is being certified)*

Site Classification consistent with AS2870-2011.
--

*Scope and/or Limitations*

The classification applies to the site as inspected and does not account for future alteration to foundation conditions as a result of earth works, drainage condition changes or variations in site maintenance.
---

**I, John-Paul Cumming certify the matters described in this certificate.**

Qualified person:

Signed:

Certificate No:

Date:

J12305

12/11/2025



A handwritten signature in black ink, appearing to be 'John Paul Cumming', written over a light grey background.





**Sorell Council**

Development Application: 5.2026.148.1 -  
Response to Request For Information - 8  
Muirfield Court, Midway Point.pdf  
Plans Reference: P2  
Date received: 26/05/2026



# GES

geo-environmental  
solutions

## ***DISPERSIVE SOIL ASSESSMENT***

### **JOB NUMBER**

J12305

### **ADDRESS**

*Lot 140 Muirfield Court  
Midway Point*

### **CLIENT**

Creative Homes Hobart

---

GEO- ENVIRONMENTAL SOLUTIONS

29 Kirksway Place, Battery Point, Tasmania. 7004. T|62231839 E| office@geosolutions.net.au  
www.geosolutions.net.au



## Investigation Details

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<b>Client:</b>	Creative Homes Hobart
<b>Site Address:</b>	Lot 140 Muirfield Court, Midway Point
<b>Date of Inspection:</b>	06/11/2025
<b>Proposed Works:</b>	New house
<b>Investigation Method:</b>	Geoprobe 540UD - Direct Push
<b>Inspected by:</b>	C. Cooper



## Site Details

---

<b>Certificate of Title (CT):</b>	189520/140
<b>Title Area:</b>	Approx. 595 m <sup>2</sup>
<b>Applicable Planning Overlays:</b>	Bushfire-prone areas, Airport obstacle limitation area
<b>Slope &amp; Aspect:</b>	6° NE facing slope
<b>Vegetation:</b>	Grass & Weeds

## Background Information

---

<b>Geology Map:</b>	MRT
<b>Geological Unit:</b>	Triassic Sandstone
<b>Climate:</b>	Annual rainfall 400mm
<b>Water Connection:</b>	Mains
<b>Sewer Connection:</b>	Serviced-Mains
<b>Testing and Classification:</b>	AS2870:2011, AS1726:2017 & AS4055:2021



## Investigation

Boreholes were completed at selected locations across the site to characterise the subsurface conditions and assess the distribution and variability of soil materials. Borehole locations are shown on the site plan, and the interpreted soil profile conditions are summarised below. In-situ testing was undertaken at the time of investigation to provide an indication of the bearing capacity of the materials encountered.

### Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.50	0.00-0.30	SM	<b>Silty SAND:</b> grey, brown, slightly moist, medium dense
0.50-0.90	0.30-1.00	CI	<b>Sandy CLAY:</b> medium plasticity, grey, brown, slightly moist, stiff
0.90-1.40	1.00	GC	<b>Clayey GRAVEL:</b> yellow, brown, slightly moist, very dense, refusal on rock/boulder.



## Site Notes

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The soil on site has formed from Triassic sandstone. The subsoil was tested for dispersion using the Emerson Test and was found to be slightly dispersive Class 2(2) -obvious milkiness, <50% of the aggregate affected.

## Dispersive Soil Assessment

---

The dispersive soil assessment of the property considers the proposed construction area.

### Potential for dispersive soils

The site has been identified as an area subject to tunnel erosion hazard according to 'Dispersive Soils and Their Management: Technical Reference Manual'. This is due to the soils present on site that developed from Triassic Sandstone that contain considerable fine sand/silt content and medium plastic clays. Triassic Sandstone in the local area is known to produce soils with an excess of sodium on the soil exchange complex, which can cause soil dispersion. Under some circumstances the presence of dispersive soils can also lead to significant erosion, and in particular tunnel erosion. Based upon field survey of the property, no visible tunnel or gully erosion was identified. However, a soil sampling program was undertaken to identify the presence of dispersive soils in the proposed development areas.

### Soil sampling and testing

Samples were taken at the site for assessment of dispersion. An Emerson (1968) Dispersion test was conducted to determine if these samples were dispersive.

The soil samples taken from site were found to be Slightly dispersive Class 2(2) -obvious milkiness, <50% of the aggregate affected.



## Management Recommendations

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A number of site and soil management measures are recommended for development on the site.

The proposed site cut/fill and driveway areas must be managed by:

- Applying a geo-fabric, jute mesh or similar material to the exposed batters of any cutting on site and revegetating the slope
- Applying a surface layer of at least 50mm of suitable crushed rock/gravel to the driveway surface (and any proposed house pad), with adequate compaction to ensure a relatively impervious surface to maintain site surface stability
- Vegetation on any fill batters must be established and maintained, if any bare area of soil on the batter develops then it must be top-dressed with suitable topsoil and additional vegetation planted

The risk of erosion and tunnel erosion associated with construction must be minimized by:

- Any new water, power, or other service trenches within the property must ensure recommendations for dispersive soils are followed:
  - o Where possible trenches to be placed shallow in topsoil and mounded over to achieve the required cover depth
  - o If buried the trench must be backfilled in layers of no more than 200mm with clay with 5% by weight gypsum added (the clay must be sufficiently moist to allow good compaction).
  - o The trench must be finished with at least 150mm depth of non-dispersive suitable topsoil and finished to a level at least 75mm above natural ground to allow for possible settlement
- Vegetation cover must be maintained wherever possible on the property
- Foundations may be placed into the natural soil; however, care must be taken to ensure all exposed soil in the foundation area is compacted and 1Kg/m<sup>2</sup> of gypsum is applied. Excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil with natural soil and gypsum
- All stormwater runoff from the dwelling to be directed to mains connection (all the drains are to be adequately treated with gypsum)
- Drainage of any site cut must not employ conventional rock drain construction; it must adhere to recommendations for dispersive soils (unless founded entirely in rock)



- All excavation works on site should be monitored for signs of soil dispersion and remedial action taken as required – any excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil

## Conclusions

---

There is a low risk associated with dispersive soil and potential erosion on the site provided the recommendations in this report are adhered to. Efforts should be made to cover all exposed soils on cut/fill batters with topsoil and seeded with well suited pasture species to avoid rainwater, runoff, surface water flows from intercepting exposed subsoils.

A number of site management recommendations have been made in this report and further information can also be found in the publication “Dispersive soils and their management – Technical manual” (DPIWE Tas 2009)

It is recommended that during construction that GES be notified of any variation to the soil conditions as outlined in this report.

Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD  
Environmental and Engineering Soil Scientist





## APPENDIX A – Soil test results

 **Sorell Council**  
 Development Application: 5.2026.148.1 -  
 Response to Request For Information - 8  
 Muirfield Court, Midway Point.pdf  
 Plans Reference: P2  
 Date received: 26/05/2026

# Laboratory Test Results

**Sample Submitted By:** C Cooper  
**Date Submitted:** 08/11/2025  
**Sample Identification:** 2 samples – Lot 140 Muirfield Court, Midway Point  
**Soil to be tested:** Emerson soil dispersion test

### Result:

Sample	Texture	Emerson class	Description
Sample 1	clay	Class 2 (2)	Some dispersion <50% affected
Sample 2	clay	Class 2 (2)	Some dispersion <50% affected

Notes: Some dispersion with obvious milkiness affecting <50% of the aggregate.

**Sample Tested by:** C Cooper



## APPENDIX B – Disclaimer

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This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

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**GENERAL NOTES:**

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED BY SURVEY PLUS AT THE TIME OF THIS SURVEY.

3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE. IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.

4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.

5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.

6. HORIZONTAL DATUM IS MGA (GDA94).

7. VERTICAL DATUM IS AHD.

8. CONTOUR INTERVAL IS 0.2 METRE, INDEX IS 1.0 METRE.

9. SURVEY BY ROBOTIC TOTAL STATION AND RTK GPS.

10. IMPORTED DATA SHOWN ON THIS PLAN WAS OBTAINED FOR PUBLIC AVAILABLE DATA FROM VARIOUS GOVERNMENT AUTHORITIES. THIS INFORMATION IS PROVIDED FOR GUIDANCE ONLY. THE ACCURACY OF ANY IMPORTED DATA IS PER THE ACCURACY QUOTED BY THE SOURCE AND IS IN NO WAY GUARANTEED BY SURVEY PLUS. USERS MUST NOT RELY ON THIS DATA FOR ON-GROUND LOCATION OF BOUNDARIES AND/OR SERVICES.

**LIST DATA IMPORT**

- TasWater-SewerLateralLine
- TasWater-SewerMain
- TasWater-SewerMaintenanceHole
- TasWater-SewerPressurisedMain
- TasWater-WaterHydrant
- TasWater-WaterLateralLine
- TasWater-WaterMain

11. BOUNDARIES ARE COMPILED ONLY FROM SP185905 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY.

12. 3D DATA TURNED OFF IN LAYER CONTROL.

- 3D TIN
- MAJOR CONTOUR 3D
- MINOR CONTOUR 3D

•DP 90mm DOWNPIPE

**LEGEND**

NOTE: ALL PROPOSED STORMWATER TO BE DISCHARGED TO EXISTING INFRASTRUCTURE

- CLC = Communication Lot Connection
- ELC = Electricity Lot Connection
- ET = Electricity Turret
- LP = Light Pole
- WM = Water Meter

EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IMPLEMENTED ON THE SITE IN ACCORDANCE WITH COUNCIL REQUIREMENTS

**PROPOSED SITE PLAN**

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02



CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.  
DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

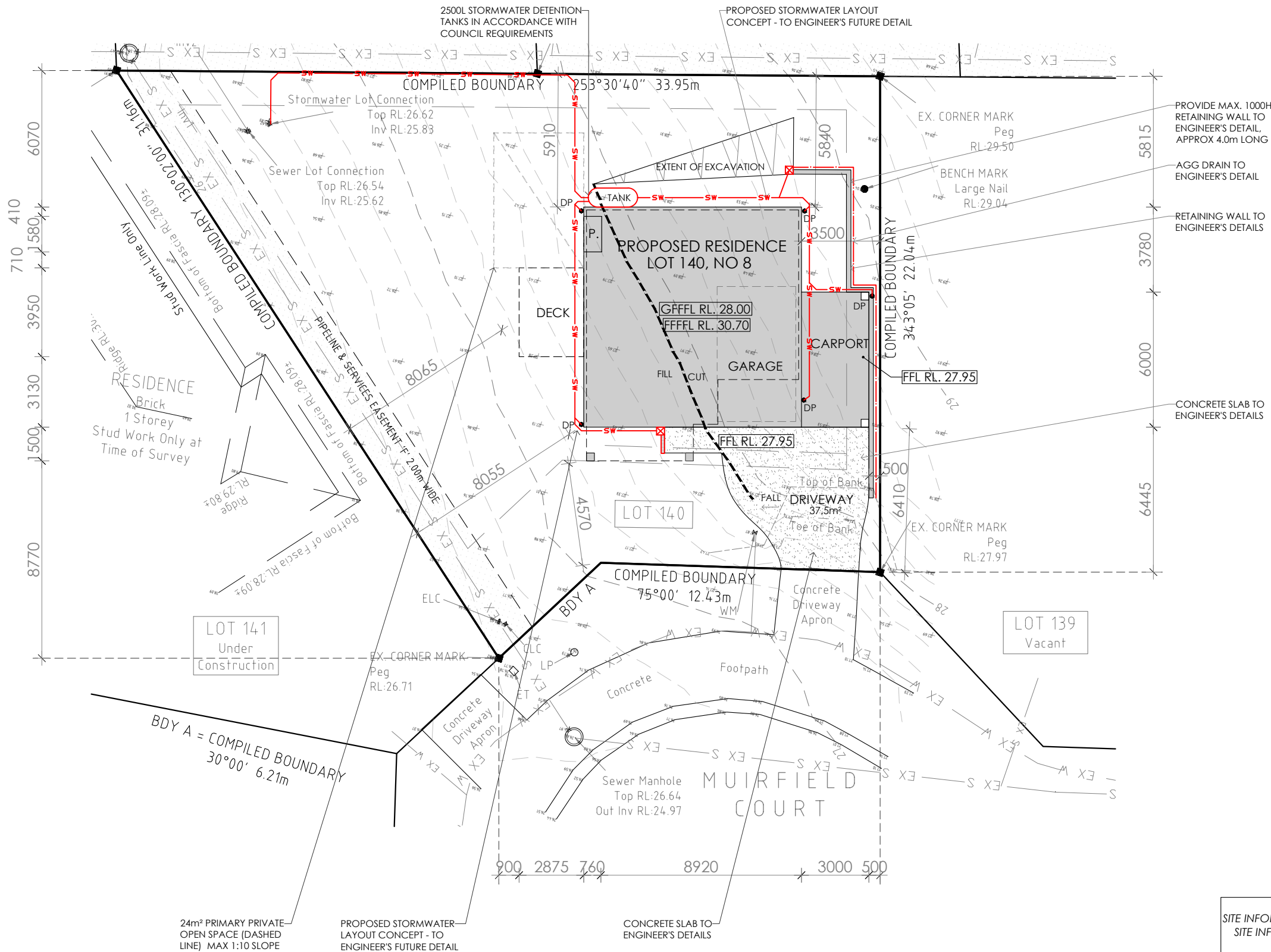
REV:	DESCRIPTION:	BY:	DATE:
C	ISSUED FOR CLIENT REVIEW	AN	27/2/26
D	ISSUED FOR CLIENT REVIEW	HT	28/4/26
E	ISSUED FOR CLIENT REVIEW	HT	04/5/26
F	ADDED WARTER TANK, ADJUSTED BUILDING ELEVATION	HT	15/5/26

**PRELIMINARY**

**CREATIVE HOMES HOBART**  
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 8 Muirfield Court Midway Point	CLIENT: Barry & Leesa Maxwell
DESIGNER: I. Brown	ACCRED. NO.: CC6652
DRAWN: H. Tran	DATE: October 2025
CHECKED:	DATE:
SCALE: 1:200	REV: F

SHEET:	2 of 10
DESIGN TYPE:	Baroque
DRAWING NO:	<b>0243</b>



**NOTES**  
**SITE PREPARATION**  
THE SITE IS TO BE DISTURBED AS MINIMALLY AS POSSIBLE TO THE EXTENT REQUIRED TO CARRY OUT THE BUILDING WORKS.  
EARTHWORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH NCC PART 3.2.  
UN-RETAINED EMBANKMENT GRADIENTS SHALL BE IN ACCORDANCE WITH NCC TABLE 3.2.1.  
DRAINAGE SHALL BE IN ACCORDANCE WITH NCC PART 3.3.2.  
THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING & UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.  
LOCATION OF ALL EXISTING SERVICES TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.  
**ATTENTION OF OWNER**  
THE OWNERS ATTENTION IS DRAWN TO THE FACT THAT FOUNDATIONS AND ASSOCIATED DRAINAGE FOR ALL SITES REQUIRES CONTINUING MAINTENANCE TO ASSIST FOOTING PERFORMANCE. ADVICE FOR FOUNDATION MAINTENANCE IS CONTAINED IN THE CSIRO BUILDING TECHNOLOGY FILE 18 AND IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE SITE IN ACCORDANCE WITH THIS DOCUMENT.  
**SOIL AND WATER MANAGEMENT NOTES:**  
DRAINAGE LINES ARE TO BE INSTALLED PRIOR TO THE PLACEMENT OF ROOF AND GUTTERING. ONCE DWELLING IS ROOFED, CONNECT IMMEDIATELY.  
APPLY TEMPORARY COVERING TO DISTURBED AREAS THAT WILL REMAIN EXPOSED FOR 14 DAYS OR MORE DURING CONSTRUCTION (EG. WATERPROOF BLANKET, VEGETATION OR MULCH)  
PROTECT ANY NEARBY OR ON-SITE DRAINAGE PITS FROM SEDIMENT BY INSTALLING SEDIMENT TRAPS AROUND THEM.  
LIMIT ENTRY/EXIT TO ONE POINT AND STABILISE. INSTALL FACILITIES TO REMOVE DIRT/ MUD FROM VEHICLE WHEELS BEFORE THEY LEAVE THE SITE.  
SITE TO BE VEGETATED AND PLANTED ACCORDING TO THE HOBART REGIONAL SOIL AND WATER MANAGEMENT CODE OF PRACTICE.

**BUILDER AND SUBCONTRACTORS TO VERIFY ALL DIMENSIONS AND LEVELS** PRIOR TO THE COMMENCEMENT OF ANY WORK. GIVE 24 HOURS MINIMUM NOTICE WHERE AMENDMENTS ARE REQUIRED TO DRAWINGS. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH DOCUMENTATION LISTED ON THE COVER PAGE. DO NOT SCALE DRAWINGS. DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE. BUILDING SPECIFICATION AND ENGINEERS DRAWINGS SHALL OVERRIDE ARCHITECTURAL DRAWINGS.

-THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWING SHEETS, CONSULTANTS DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS (AS APPLICABLE).

-THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING & UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

- LOCATION OF ALL EXISTING ON-SITE SERVICES TO BE CONFIRMED ON-SITE PRIOR TO CONSTRUCTION

**IMPORTANT!**  
SITE INFORMATION AS DRAWN IS APPROXIMATE ONLY. FINAL SITE INFORMATION IS SUBJECT TO A DETAILED CONTOUR SURVEY BY LICENSED SURVEYOR.

SOIL CLASSIFICATION:	--
WIND CLASSIFICATION:	--

SITE COVERAGE	
SITE AREA	600.8 m <sup>2</sup>
PROPOSED BUILDING FOOTPRINT	113.2 m <sup>2</sup>
PROPOSED SITE COVERAGE	18.83 %

**Sorell Council**  
Development Application: 5.2026.148.1 - Updated Plans - 8 Muirfield Court, Midway  
Point - P2.pdf  
Plans Reference: P2  
Date received: 18/05/2026

GPS DATA SCALE LOCATION JOB CONTROL POINT POINT NO: #1 DESCRIPTION: 8/5 IN MER84 SCALE FACTOR = 1.000381884 E: 542953.882 N: 5262719.499 RL: 28.224 EPU = 0.04+
---

<b>- AREAS GROUND FLOOR:</b>	
FLOOR AREA:	69.6 m <sup>2</sup>
PORCH:	1.3 m <sup>2</sup>
GARAGE:	24.3 m <sup>2</sup>
CARPORT:	18.0 m <sup>2</sup>
<b>TOTAL GF :</b>	<b>113.2 m<sup>2</sup></b>
<b>- AREAS FIRST FLOOR:</b>	
FLOOR AREA:	94.5 m <sup>2</sup>
<b>TOTAL FF :</b>	<b>94.5 m<sup>2</sup></b>
<b>TOTAL AREA:</b>	<b>207.7 m<sup>2</sup></b>
<b>DECK:</b>	<b>11.8 m<sup>2</sup></b>

**LEGEND:**

DP	DOWNPIPE LOCATION
SHR	SHOWER
BTH	BATH
VB	VANITY BASIN
WC	TOILET
WB	WALL HUNG BASIN
REF	REFRIGERATOR
P	PANTRY
RH	RANGE HOOD
UBO	UNDER BENCH OVEN
CT	COOK TOP
S	SINK
DW	DISH WASHER
T	TROUGH
WM	WASHING MACHINE
MH	MANHOLE
CSD	CAVITY SLIDING DOOR
AAW	ALUM. AWNING WINDOW
AFW	ALUM. FIXED WINDOW
ASD	ALUM. SLIDING DOOR
B/O	BEAM OVER
BAL	BALUSTRADE

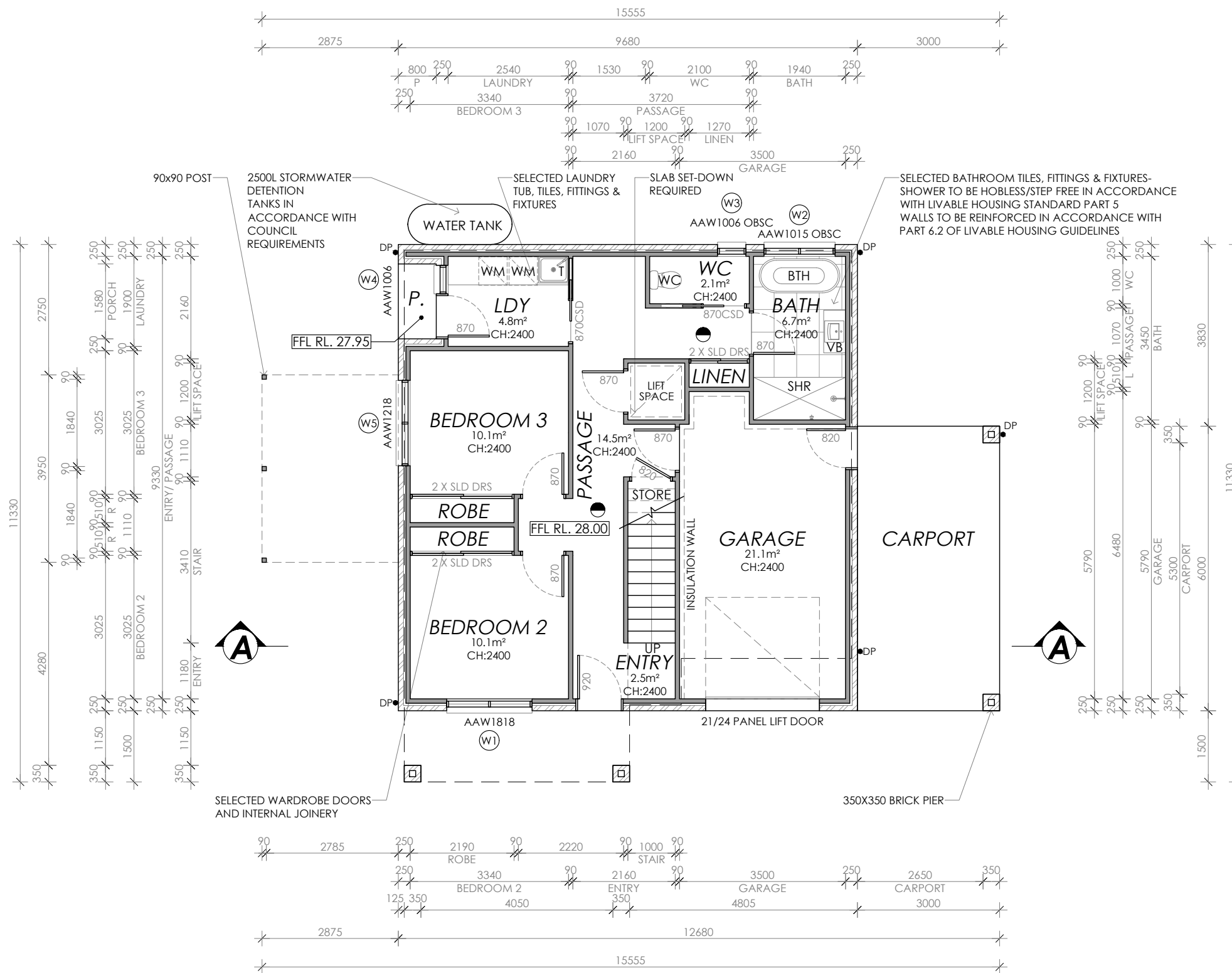
BAL SELECTED BALUSTRADE TO BUILDER'S STANDARD DETAIL INSTALLED IN ACCORDANCE WITH NCC

MASONRY ARTICULATION JOINT - LOCATION TO ENGINEER'S DETAILS

CEILING MOUNTED INTERCONNECTED SMOKE DETECTORS, MAINS WIRED WITH BATTERY BACKUP, ALL IN ACCORDANCE WITH AS 3786.

DP 90mm DOWNPIPE

NOTE: LIFT OFF HINGES TO WC TO BE INSTALLED AS REQUIRED IN ACCORDANCE WITH NCC.



**Framing NCC H1D6**  
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

**Glazing NCC H1D8**  
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3), and Part 8.4 of the ABCB Housing provisions.

**Note:**  
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

**Important notice for attention of Owners:**  
the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

**Energy efficiency:**  
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.

Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with Min R1.7 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. All downlights to be IC rated. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3.12

**General:**  
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

**Wet areas:** All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

**Sorell Council**  
Development Application: 5.2026.148.1 - Updated Plans - 8 Muirfield Court, Midway  
Point - P2.pdf  
Plans Reference: P2  
Date received: 18/05/2026

# PROPOSED GROUND FLOOR PLAN

PRELIMINARY

© COPYRIGHT IN WHOLE OR IN PART

03	PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.	REV: C	DESCRIPTION: ISSUED FOR CLIENT REVIEW	BY: AN	DATE: 27/2/26
		DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	D	ISSUED FOR CLIENT REVIEW	HT	28/4/26
			E	ISSUED FOR CLIENT REVIEW	HT	04/5/26
			F	ADDED WARTER TANK, ADJUSTED BUILDING ELEVATION	HT	15/5/26

**CREATIVE HOMES HOBART**  
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 8 Muirfield Court Midway Point	CLIENT: Barry & Leesa Maxwell
DESIGNER: I. Brown	ACCRED. NO.: CC6652
DRAWN: H. Tran	DATE: October 2025
CHECKED:	DATE:
SCALE: 1:100	REV: F
SHEET: 3 of 10	
DESIGN TYPE: Baroque	
DRAWING NO: 0243	

- AREAS GROUND FLOOR:  
 FLOOR AREA: 69.6 m<sup>2</sup>  
 PORCH: 1.3 m<sup>2</sup>  
 GARAGE: 24.3 m<sup>2</sup>  
 CARPORT: 18.0 m<sup>2</sup>

TOTAL GF : 113.2 m<sup>2</sup>

- AREAS FIRST FLOOR:

FLOOR AREA: 94.5 m<sup>2</sup>

TOTAL FF : 94.5 m<sup>2</sup>

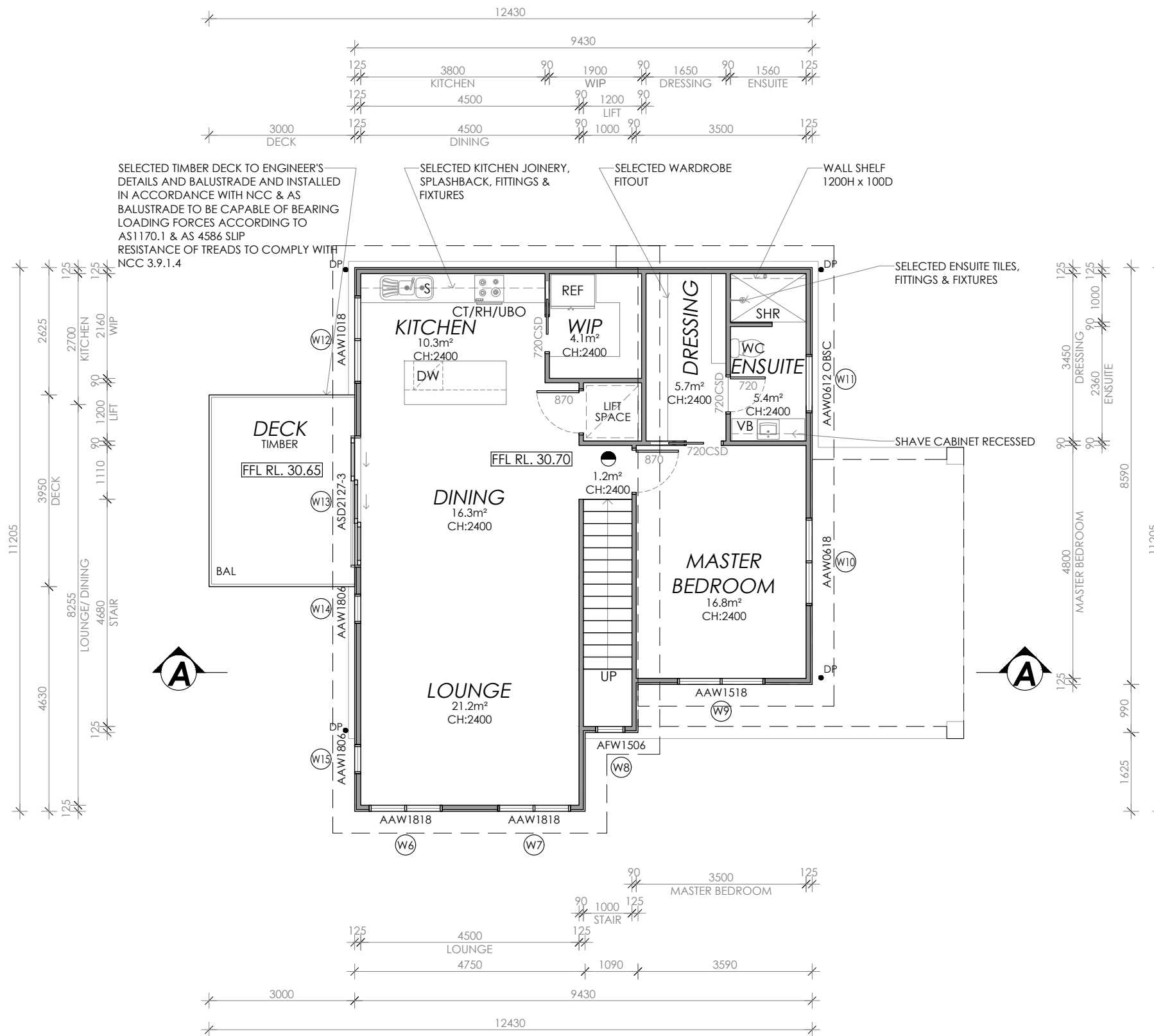
TOTAL AREA: 207.7 m<sup>2</sup>

DECK: 11.8 m<sup>2</sup>

LEGEND:

- DP DOWNPIPE LOCATION
- SHR SHOWER
- BTH BATH
- VB VANITY BASIN
- WC TOILET
- WB WALL HUNG BASIN
- REF REFRIGERATOR
- P PANTRY
- RH RANGE HOOD
- UBO UNDER BENCH OVEN
- CT COOK TOP
- S SINK
- DW DISH WASHER
- T TROUGH
- WM WASHING MACHINE
- MH MANHOLE
- CSD CAVITY SLIDING DOOR
- AAW ALUM. AWNING WINDOW
- AFW ALUM. FIXED WINDOW
- ASD ALUM. SLIDING DOOR
- B/O BEAM OVER
- BAL BALUSTRADE
- BAL SELECTED BALUSTRADE TO BUILDER'S STANDARD DETAIL INSTALLED IN ACCORDANCE WITH NCC
- MASONRY ARTICULATION JOINT - LOCATION TO ENGINEER'S DETAILS
- CEILING MOUNTED INTERCONNECTED SMOKE DETECTORS, MAINS WIRED WITH BATTERY BACKUP, ALL IN ACCORDANCE WITH AS 3786.
- 90mm DOWNPIPE

NOTE: LIFT OFF HINGES TO WC TO BE INSTALLED AS REQUIRED IN ACCORDANCE WITH NCC.



Framing NCC H1D6  
 All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

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Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

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Energy efficiency:  
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General:  
 All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

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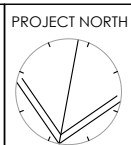
**Sorell Council**  
 Development Application: 5.2026.148.1 - Updated Plans - 8 Muirfield Court, Midway  
 Print - P2.pdf  
 Plans Reference: P2  
 Date received: 18/05/2026

# PROPOSED FIRST FLOOR PLAN

PRELIMINARY

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CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.  
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REV:	DESCRIPTION:	BY:	DATE:
C	ISSUED FOR CLIENT REVIEW	AN	27/2/26
D	ISSUED FOR CLIENT REVIEW	HT	28/4/26
E	ISSUED FOR CLIENT REVIEW	HT	04/5/26
F	ADDED WARTER TANK, ADJUSTED BUILDING ELEVATION	HT	15/5/26

**CREATIVE HOMES HOBART**  
 CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 8 Muirfield Court Midway Point	CLIENT: Barry & Leesa Maxwell
DESIGNER: I. Brown	ACCRED. NO.: CC6652
DRAWN: H. Tran	DATE: October 2025
CHECKED:	DATE:
SCALE: 1:100	REV: F
SHEET: 4 of 10	
DESIGN TYPE: Baroque	
DRAWING NO: 0243	

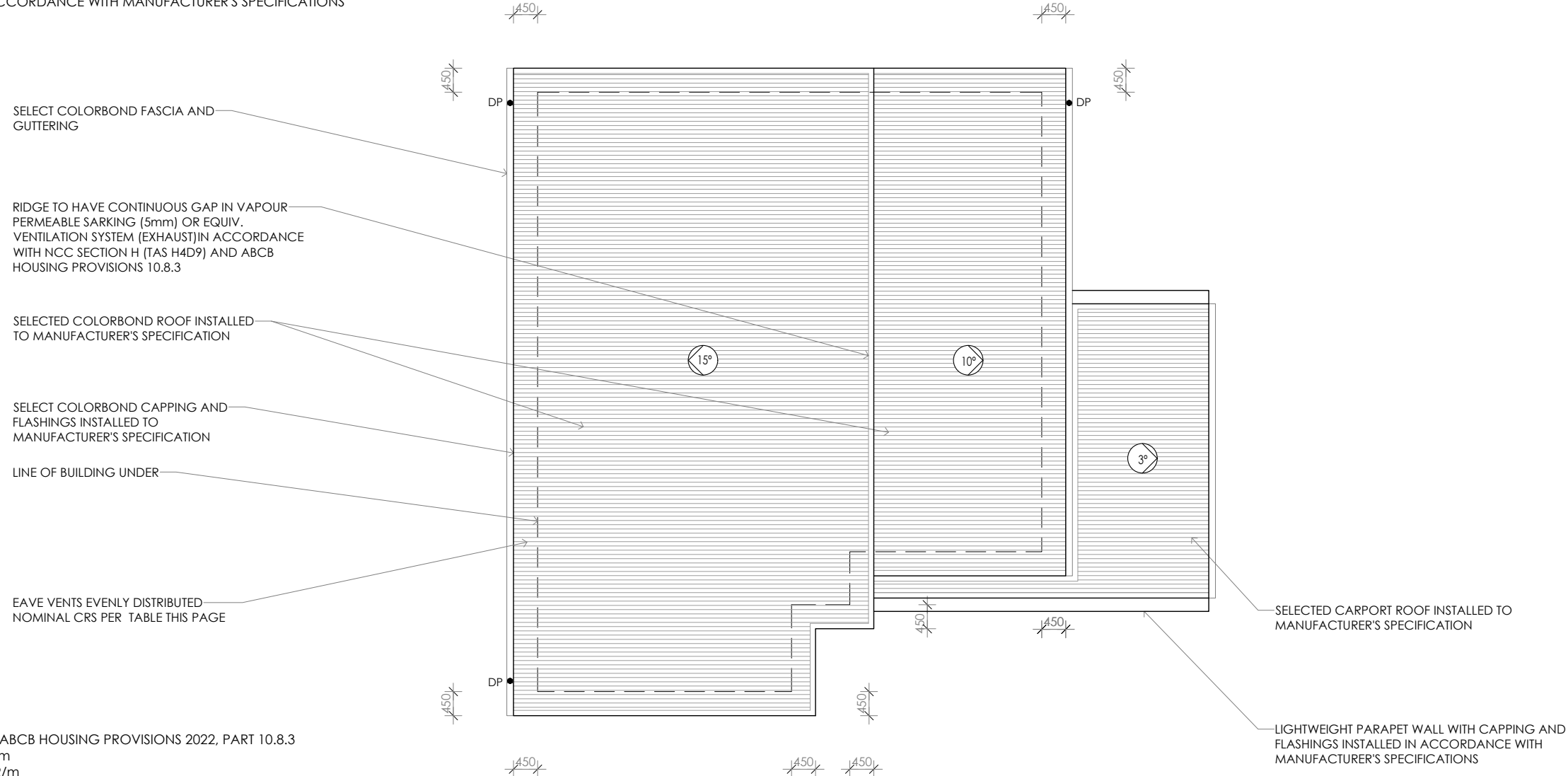
MAIN ROOF VENTILATION

COMMENTS	LENGTH(M)	AREA REQUIRED(MM2)	VENT WIDTHS (MM)	VENT LENGTHS (MM)	OPENING %	VENTS REQUIRED
SUPPLY	12,10	84700	220	420	25	7 Items
EXHAUST	12,10	60500	100	1000	100	1 Metre

VENTILATION TO COMPLY WITH ABCB HOUSING PROVISIONS 2022, PART 10.8.3

- SUPPLY AREA: 7,000mm2/m
- EXHAUST AREA: 5,000mm2/m

(INT REF 01052025)  
NOTE: ROOF VENTS TO BE EVENLY SPACED TO PREVENT ANY UNVENTILATED AREAS AND ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS



VENTILATION TO COMPLY WITH ABCB HOUSING PROVISIONS 2022, PART 10.8.3

- SUPPLY AREA: 25,000mm2/m
- EXHAUST AREA: 25,000mm2/m

(INT REF 01052025)  
NOTE: ROOF VENTS TO BE EVENLY SPACED TO PREVENT ANY UNVENTILATED AREAS AND ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

GARAGE/CARPORT ROOF VENTILATION

COMMENTS	LENGTH(M)	AREA REQUIRED(MM2)	VENT WIDTHS (MM)	VENT LENGTHS (MM)	OPENING %	VENTS REQUIRED
SUPPLY	6,00	150000	220	420	100	3 Items
EXHAUST	6,00	150000	220	420	100	3 Items

**Framing NCC H1D6**  
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

**Glazing NCC H1D8**  
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

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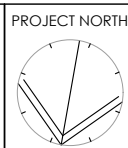
●DP 90mm DOWNPIPE

PROPOSED ROOF PLAN

PRELIMINARY

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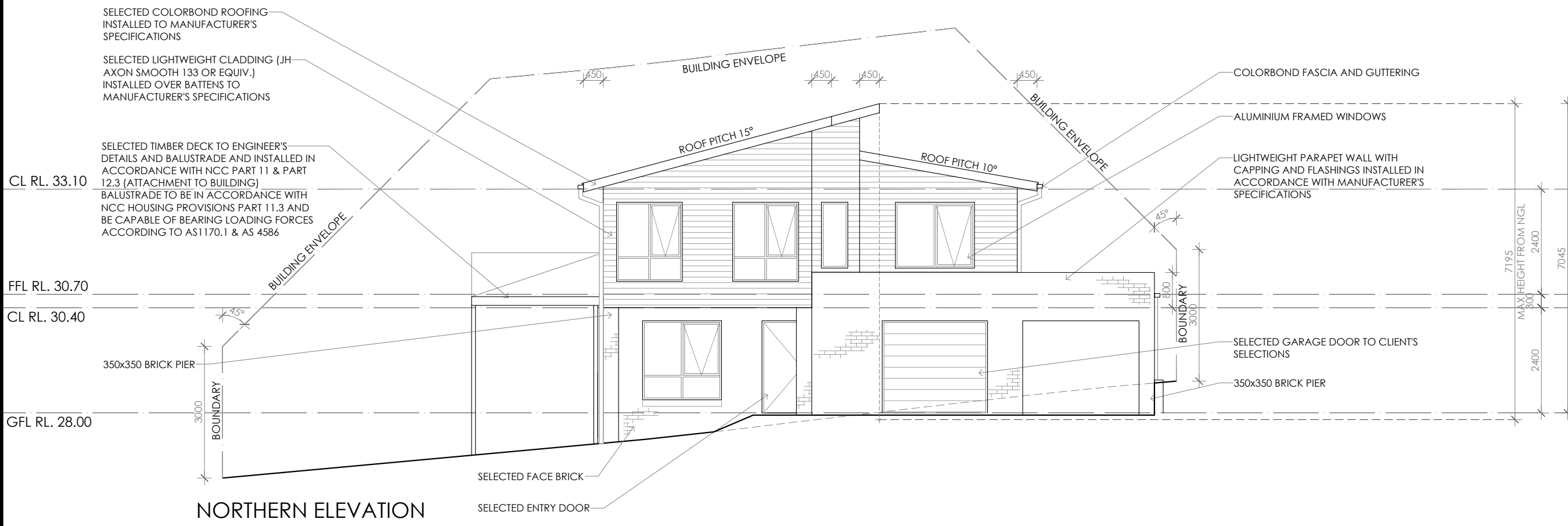


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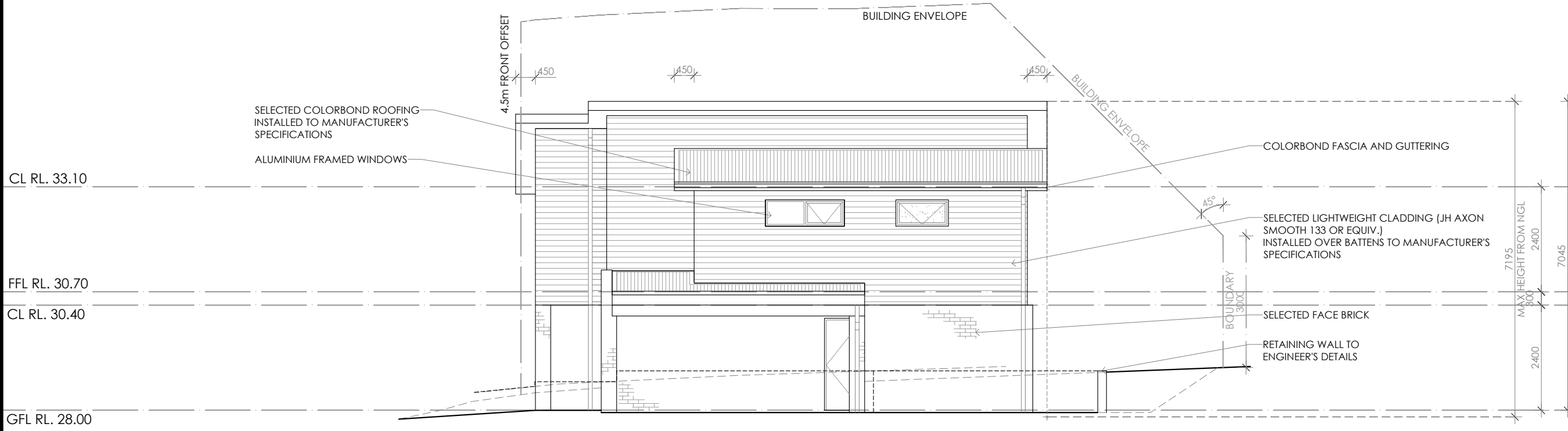
REV:	DESCRIPTION:	BY:	DATE:
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F	ADDED WARTER TANK, ADJUSTED BUILDING ELEVATION	HT	15/5/26



JOB ADDRESS: 8 Muirfield Court Midway Point		CLIENT: Barry & Leesa Maxwell
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 5 of 10
DRAWN: H. Tran	DATE: October 2025	DESIGN TYPE: Baroque
CHECKED:	DATE:	DRAWING NO: 0243
SCALE: 1:100	REV: F	



NORTHERN ELEVATION



WESTERN ELEVATION

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**Soirell Council**  
Development Application: 5.2026.148.1 - Updated Plans - 8 Muirfield Court, Midway Point - P2.pdf  
Plans Reference: P2  
Date received: 18/05/2026

PRELIMINARY

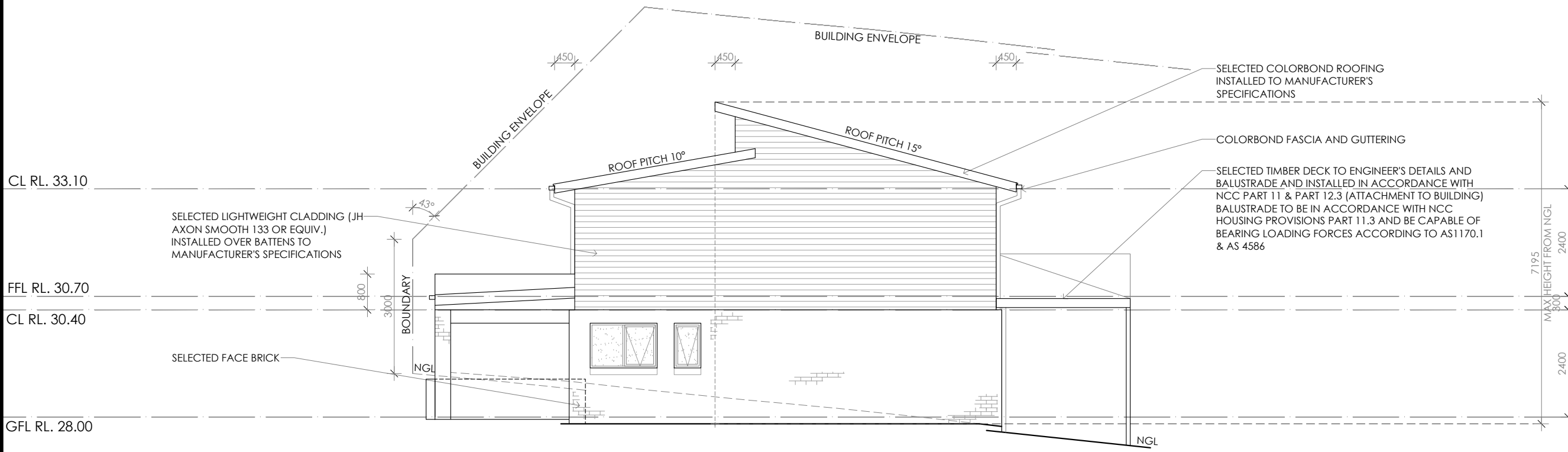
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06	PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.	REV: C	DESCRIPTION: ISSUED FOR CLIENT REVIEW	BY: AN	DATE: 27/2/26
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			E	ISSUED FOR CLIENT REVIEW	HT	04/5/26
			F	ADDED WARTER TANK, ADJUSTED BUILDING ELEVATION	HT	15/5/26

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JOB ADDRESS: 8 Muirfield Court Midway Point		CLIENT: Barry & Leesa Maxwell
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 6 of 10
DRAWN: H. Tran	DATE: October 2025	DESIGN TYPE: Baroque
CHECKED:	DATE:	DRAWING NO: 0243
SCALE: 1:100	REV: F	



SOUTHERN ELEVATION



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**Sorell Council**  
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07	PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.	REV: C	DESCRIPTION: ISSUED FOR CLIENT REVIEW	BY: AN	DATE: 27/2/26
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**CREATIVE HOMES HOBART**

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

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SHEET: 7 of 10	
DESIGN TYPE: Baroque	
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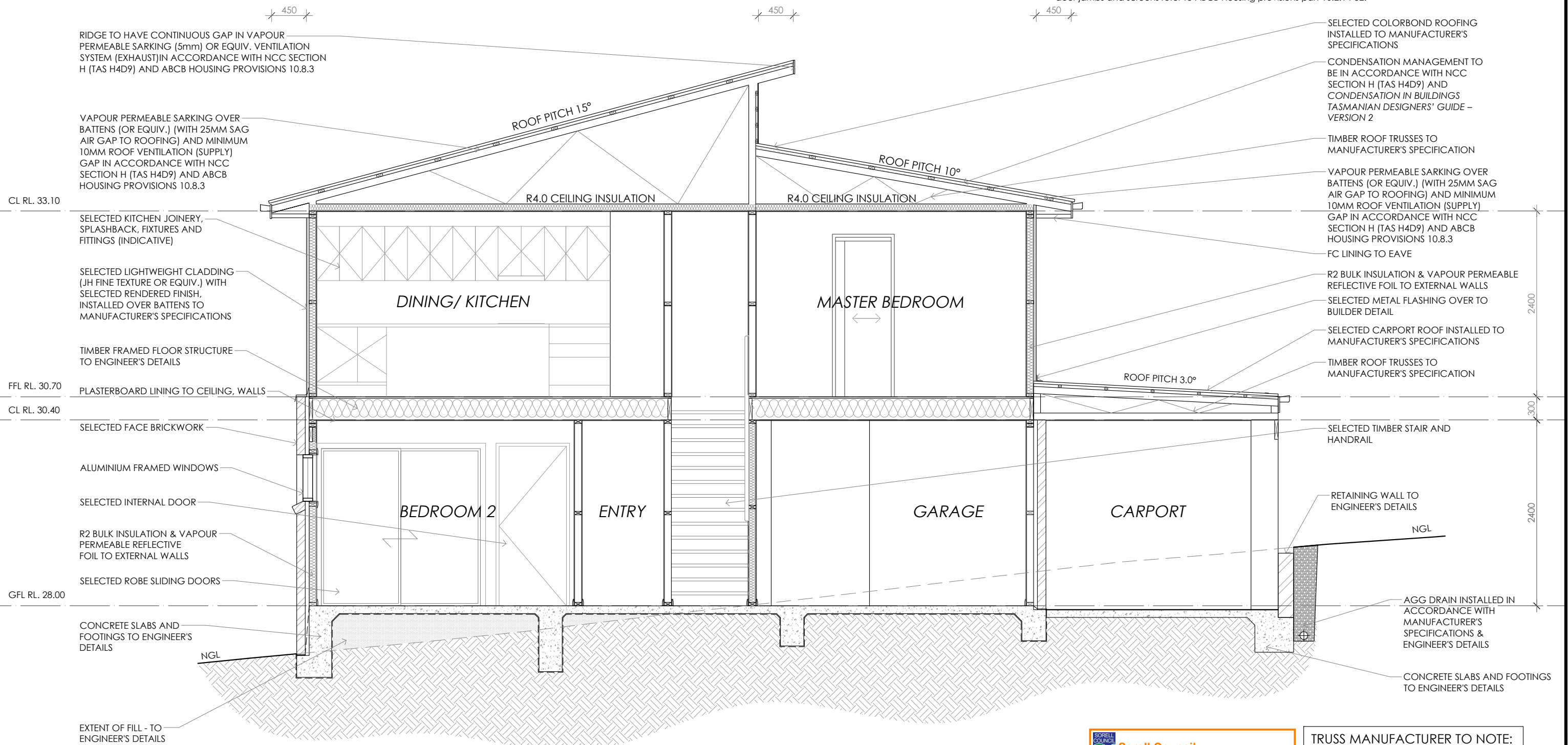
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**SECTION A-A**

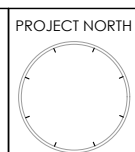
**PRELIMINARY**

**Sorell Council**  
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**TRUSS MANUFACTURER TO NOTE:**  
 ALL TRUSSES TO BE DESIGNED TO BE SUPPORTED BY ALL EXTERNAL WALLS FOR BOTH DEAD AND WIND LOADS.

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**08**

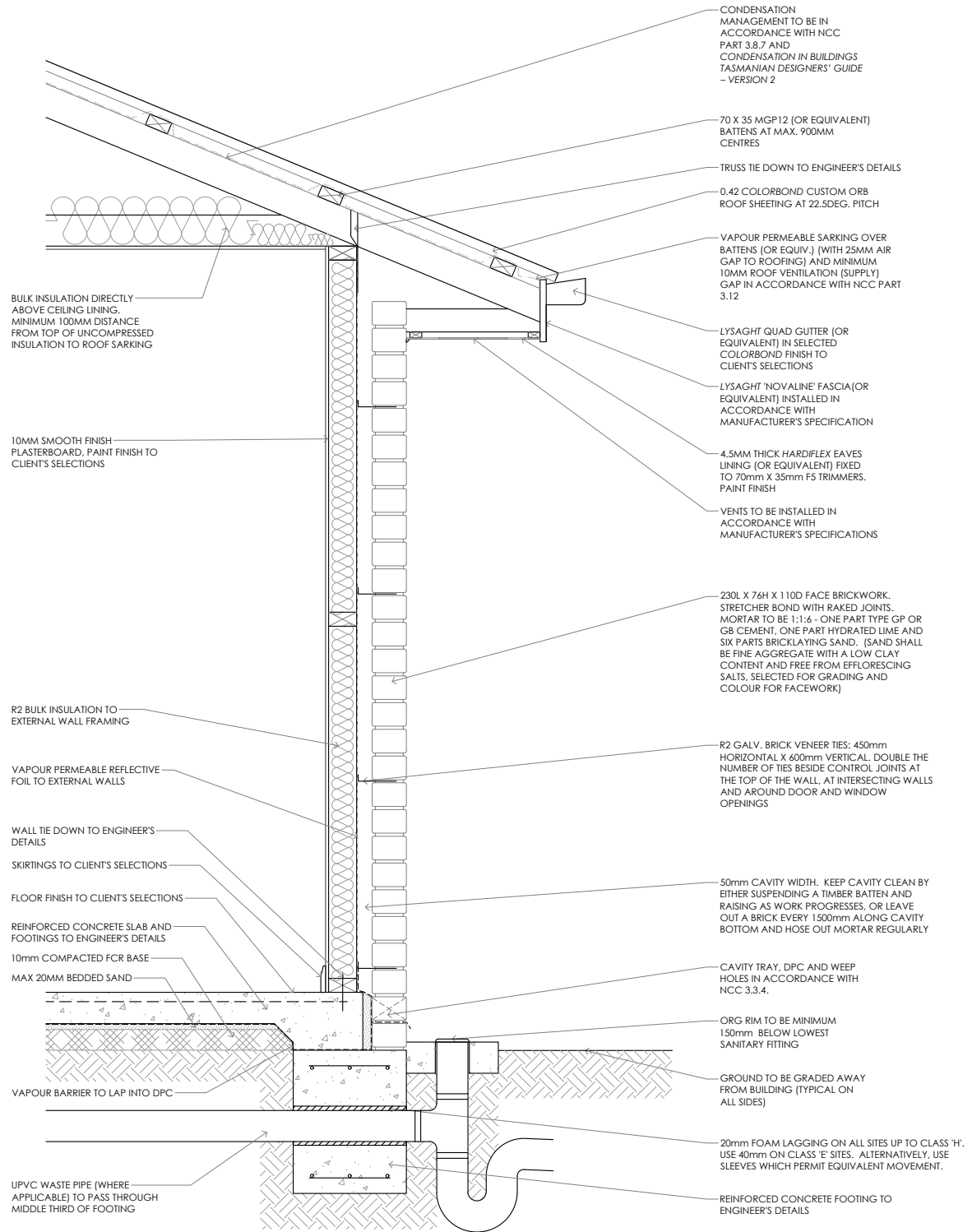


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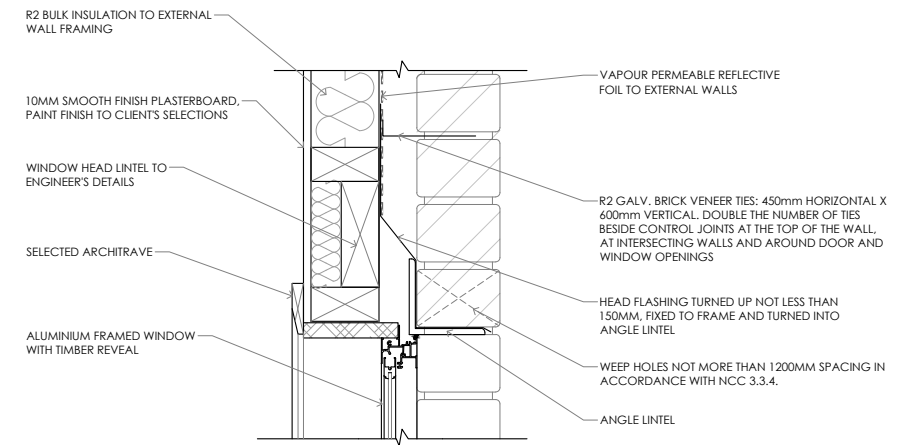
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C	ISSUED FOR CLIENT REVIEW	AN	27/2/26
D	ISSUED FOR CLIENT REVIEW	HT	28/4/26
E	ISSUED FOR CLIENT REVIEW	HT	04/5/26
F	ADDED WARTER TANK, ADJUSTED BUILDING ELEVATION	HT	15/5/26

**CREATIVE HOMES HOBART**  
 CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

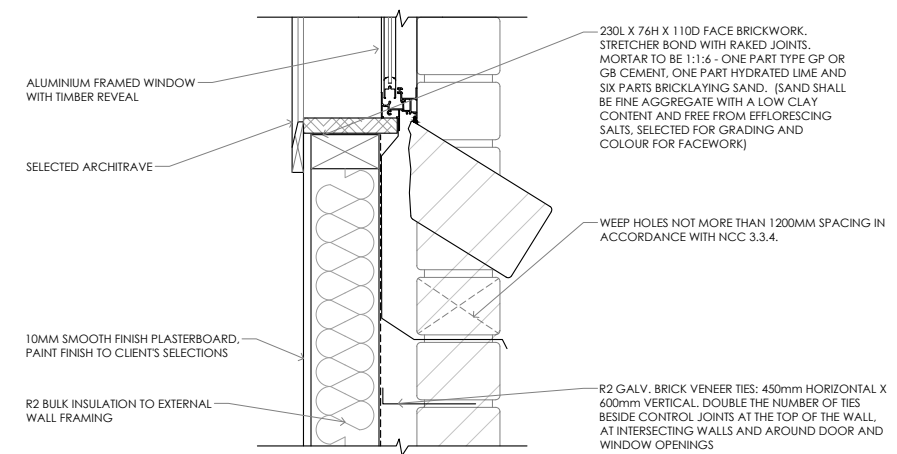
JOB ADDRESS: 8 Muirfield Court Midway Point		CLIENT: Barry & Leesa Maxwell
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 8 of 10
DRAWN: H. Tran	DATE: October 2025	DESIGN TYPE: Baroque
CHECKED:	DATE:	DRAWING NO: 0243
SCALE: 1:50	REV: F	



FLOOR, WALL & ROOF DETAIL SCALE 1:20



WINDOW HEAD DETAIL SCALE 1:10



WINDOW SILL DETAIL SCALE 1:10

TYPICAL SECTION DETAILS

**Sorell Council**  
 Development Application: 5.2026.148.1 - Updated Plans - 8 Muirfield Court, Midway Point - P2.pdf  
 Plans Reference: P2  
 Date received: 18/05/2026

PRELIMINARY

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09	PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.	REV: C	DESCRIPTION: ISSUED FOR CLIENT REVIEW	BY: AN	DATE: 27/2/26
		DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	D	ISSUED FOR CLIENT REVIEW	HT	28/4/26
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DESIGNER: I. Brown	ACCRED. NO.: CC6652
DRAWN: H. Tran	DATE: October 2025
CHECKED:	DATE:
SCALE: AS SHOWN	REV: F
SHEET: 9 of 10	
DESIGN TYPE: Baroque	
DRAWING NO: 0243	

Framing NCC HD6  
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC HD6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC HD6 (4). Structural steel members shall comply with the requirements of clauses in NCC HD6 (3). Refer to Engineer's details where provided.

Glazing NCC HD8  
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC HD8.

Human impact safety requirements shall comply with NCC HD8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:  
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners:  
the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:  
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.

Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with Min R1.7 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. All downlights to be IC rated. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3.12

General:  
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance with NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.



# WINDOW SCHEDULE

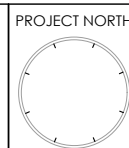
PRELIMINARY

**Sorell Council**  
Development Application: 5.2026.148.1 -  
Updated Plans - 8 Muirfield Court, Midway  
Point - P2.pdf  
Plans Reference: P2  
Date received: 18/05/2026

fg FIXED GLAZING

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10



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CLIENT: Barry & Leesa Maxwell	SHEET: 10 of 10
DESIGN TYPE: Baroque	DRAWING NO: 0243