

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:

412 SUGARLOAF ROAD, CARLTON RIVER

PROPOSED DEVELOPMENT:

DWELLING & OUTBUILDING

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Tuesday 23rd June 2026**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received no later than **Tuesday 23rd June 2026**.

APPLICATION NO: 5.2026-147.1

DATE: 5 JUNE 2026



Annotations

- Polygon7

Roads

- DSG Roads
- Council Roads

Property

- property
- Titles



Disclaimer

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

100 m



Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use: Family Home
	Development: Construction of a 5 Bedroom House and Barn
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal:	\$ 488,600

Is all, or some the work already constructed:	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address: 412 Sugarloaf Road
	Suburb: Carlton River Postcode:
	Certificate of Title(s) Volume: 126990 Folio: 10

Current Use of Site	Paddock
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Current Owner/s:	Name(s) Adam Martin and Belinda Harper
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Is the Property on the Tasmanian Heritage Register?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form
<https://www.sorell.tas.gov.au/services/engineering/>



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Part B continued: Please note that Part B of this form is publicly exhibited


Declarations and acknowledgements

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council’s representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the *Land Use Planning and Approvals Act 1993*, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.

Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council’s Privacy Policy available on the Council website.

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

- Where the General Manager’s consent is also required under s.14 of the *Urban Drainage Act 2013*, by making this application I/we also apply for that consent.

Applicant Signature:	Signature:  Date: 5-5-26
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Crown or General Manager Land Owner Consent

If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the *Land Use Planning and Approvals Act 1993*).

Please note:

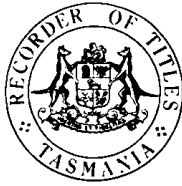
- If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

I _____ being responsible for the administration of land at _____

declare that I have given permission for the making of this application for _____



Signature of General Manager, Minister or Delegate:	Signature: Date:
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SCHEDULE OF EASEMENTS

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS AND PROFITS

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits à prendre described hereunder.

Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits à prendre described hereunder.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

FENCING COVENANTS:-

The Owner of each Lot on the plan covenants with the Vendors, John Howard Lawrence, Margaret Anne Lawrence, John Andrew Munnings and Reginald David Taylor, that the Vendors shall not be required to fence.

COVENANTS AS TO USER:-

The Owner or Owners of each Lot on the plan covenants with the Vendors and the Owners for the time being of each and every other Lot shown on the plan to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other lot shown on the plan to observe the following stipulations:

- 1. Not to erect or permit to be erected on such lot any dwelling house or other permanent structure the exterior walls of which are constructed of any material other than brick, brick veneer, concrete masonry or precut natural sandstone blocks and the roof thereof of other than non-reflective materials;



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2. Not to erect or permit to be erected on such lot any building consisting in whole or in part of unpainted galvanised iron or any other material which contrasts rather than blends with the rural environment;
3. Not to erect on such lot more than one private dwelling house with the usual outbuildings of a permanent nature;
4. Not to erect on such lot a private dwelling house which is less than 112m2 in size;
5. Not to use or permit to be used the dwelling house erected on such lot for any other purpose than as a private dwelling house;
6. Not to carry on or permit to be carried on such lot (or any part thereof) any trade or noisome, noxious or offensive behaviour or any other activity, manufacturing or otherwise, which could constitute either a public nuisance or a private annoyance, or disturbance of the rural amenity of such Lot and other lots on the plan;
7. Not to erect or permit to be erected on such lot or any part thereof, or attach or permit to be attached, to the dwelling house or outbuildings erected thereon, any advertisement, hoarding, bill or poster or any similar erection of any unsightly nature (other than a notice that such lot is for sale or any notice required by law to be exhibited);
8. Not to keep or permit to be kept on such lot at any time any dangerous dog as the same is defined by the Dog Control Act 1987 ("a dog which has a propensity to attack humans or domestic animals or farm animals") and not to fail to observe at all times the relevant provisions of the said Act relating to control of and responsibility for dogs.
9. Not to park or permit to be parked on such Lot a caravan or other movable dwelling unit for use as permanent or semi permanent residential accommodation and not to bring to or onto such lot or any part thereof any building previously detached from a Hydro-Electric Commission or Housing Department or other site;
10. The Vendors reserve the right to sell any Lot or Lots shown on the said survey plan, freed and exempt from any one or more of the restrictive covenants or to waive or alter any of such restrictive covenants;



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EASEMENTS

Lot 1 on the plan is together with a Right of Carriage Way over that part of Lot 2 shown as Right of Way (Private) 10.00 wide 'A' on the Plan;

Lot 1 on the Plan is together with a Right of Carriage Way over that part of Lot 3 shown as Right of Way (Private) 10.00 wide 'B' on the Plan;

Lot 2 on the Plan is together with a Right of Carriage Way over that part of Lot 3 shown as Right of Way (Private) 10.00 wide 'B' on the Plan;

Lot 3 on the Plan is together with a Right of Carriage Way over that part of Lot 2 shown as Right of Way (Private) 10.00 wide 'A' on the Plan;

Lot 4 on the Plan is together with a Right of Carriage Way over that part of Lot 2 shown as Right to Way (Private) 10.00 wide 'A' on the Plan.

Lot 4 on the Plan is together with a Right of Carriage Way over that part of Lot 3 shown as Right of Way (Private) 10.00 wide 'B' on the Plan;

Lot 12 on the Plan is together with a Right of Carriage Way over that part of Lot 11 shown as Right of Way (Private) 10.00 wide 'E' on the Plan.

Lot 2 on the plan is Subject to a Right of Carriage Way over the strip of land marked Right of Way (Private) 10.00 wide 'A' on the plan appurtenant to Lots 1 ^{and 4} on the Plan and each and every part thereof;

Lot 3 on the Plan is Subject to a Right of Carriage Way over the strip of land marked Right of Way (Private) 10.00 wide 'B' on the plan appurtenant to Lots 1 ^{and 4} on the Plan and each and every part thereof;

Lot 3 on the Plan is Subject to a Right of Carriage Way over the strip of land marked Right of Way (Private) 10.00 'B' on the plan appurtenant to Lot 2 on the plan and each and every part thereof;

Lot 3 on the Plan is Subject to a Right of Carriage Way over the strip of land marked Right of Way (Private) 10.00 wide 'B' on the plan appurtenant to Lot 4 on the plan and each and every part thereof;



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Handwritten initials and marks on the left side of the page.

Lot 2 on the Plan is Subject of a Right of Carriage Way over the strip of land marked Right of Way (Private) 10.00 wide 'A' on the plan appurtenant to Lot 3 on the plan and each and every part thereof;

Lot 11 on the plan is Subject to a Right of Carriage Way over the strip of land marked Right of Way (Private) 10.00 wide 'E' on the plan appurtenant to Lot

12 on the plan and each and every part thereof;

Lot 13 on the plan is subject to a right created by and more fully set forth in Conveyance No. 46/1662 for Carlton House Pty. Ltd. its successors and assigns and the owners and occupiers of 90.67 ha of land as therein mentioned to lay down one pipe within and under the Water Supply Easement 3.00 wide shown on the plan passing through each lot

Signed by JOHN HOWARD LAWRENCE]
MARGARET ANNE LAWRENCE JOHN]
ANDREW MUNNINGS AND REGINALD]
DAVID TAYLOR AS REGISTERED]
PROPRIETORS OF THE LANDS COMPRISED]
IN FOLIO OF THE REGISTER VOLUME]
114668 FOLIO 1, FOLIO OF THE REGISTER]
VOLUME 37539 FOLIO 1, FOLIO OF THE]
REGISTER VOLUME 114669 FOLIO 1,]
AND FOLIO OF THE REGISTER VOLUME]
235889 FOLIO IN THE PRESENCE OF:]

Handwritten signatures and initials corresponding to the names in the list above.

Handwritten signature and name: Kevin David Taylor

Kevin David Taylor
KATRINA MOSSUTO
277 WILLIAM ST MELBOURNE
BANK CLERK

Handwritten signature of Kevin David Taylor.

Sorell Council
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This is the schedule of easements attached to the plan of J. H. LAWRENCE MA LAWRENCE
(Insert Subdivider's Full Name)
J. A. MUNNINGS & R. D. TAYLOR affecting land in
114668/1, 37539/1, 114669/1 & 235889/1
(Insert Title Reference)

Sealed by SORELL COUNCIL on 31 January 1997
Solicitor's Reference CAROLINE MUNNINGS & CO Council Clerk/Town Clerk

SEARCH OF TORRENS TITLE

VOLUME 126990	FOLIO 10
EDITION 5	DATE OF ISSUE 11-Nov-2025

SEARCH DATE : 14-Apr-2026

SEARCH TIME : 03.14 pm

DESCRIPTION OF LAND

Parish of CARLTON, Land District of PEMBROKE
 Lot 10 on Sealed Plan [126990](#)
 Derivation : Part of 2 000-0-0 Located to J. Steele
 Prior CT [114669/1](#)

SCHEDULE 1

[N285227](#) TRANSFER to BELINDA ANNE HARPER and ADAM LINDSAY
 MARTIN Registered 11-Nov-2025 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP [126990](#) COVENANTS in Schedule of Easements
 SP [126990](#) FENCING COVENANT in Schedule of Easements
 SP [126990](#) COUNCIL NOTIFICATION under Section 83(5) of the
 Local Government (Building and Miscellaneous
 Provisions) Act 1993.

UNREGISTERED DEALINGS AND NOTATIONS

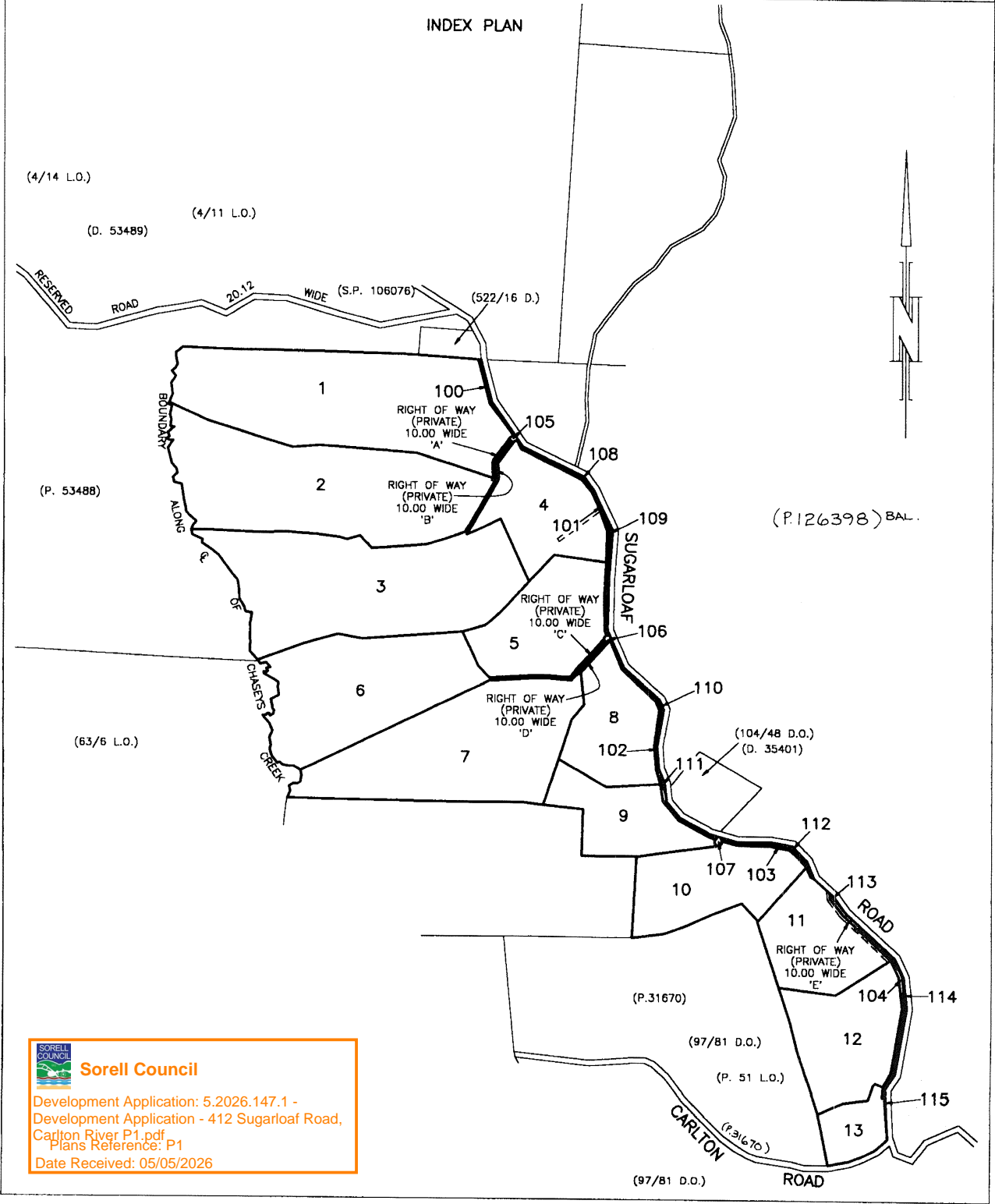
No unregistered dealings or other notations



Sorell Council

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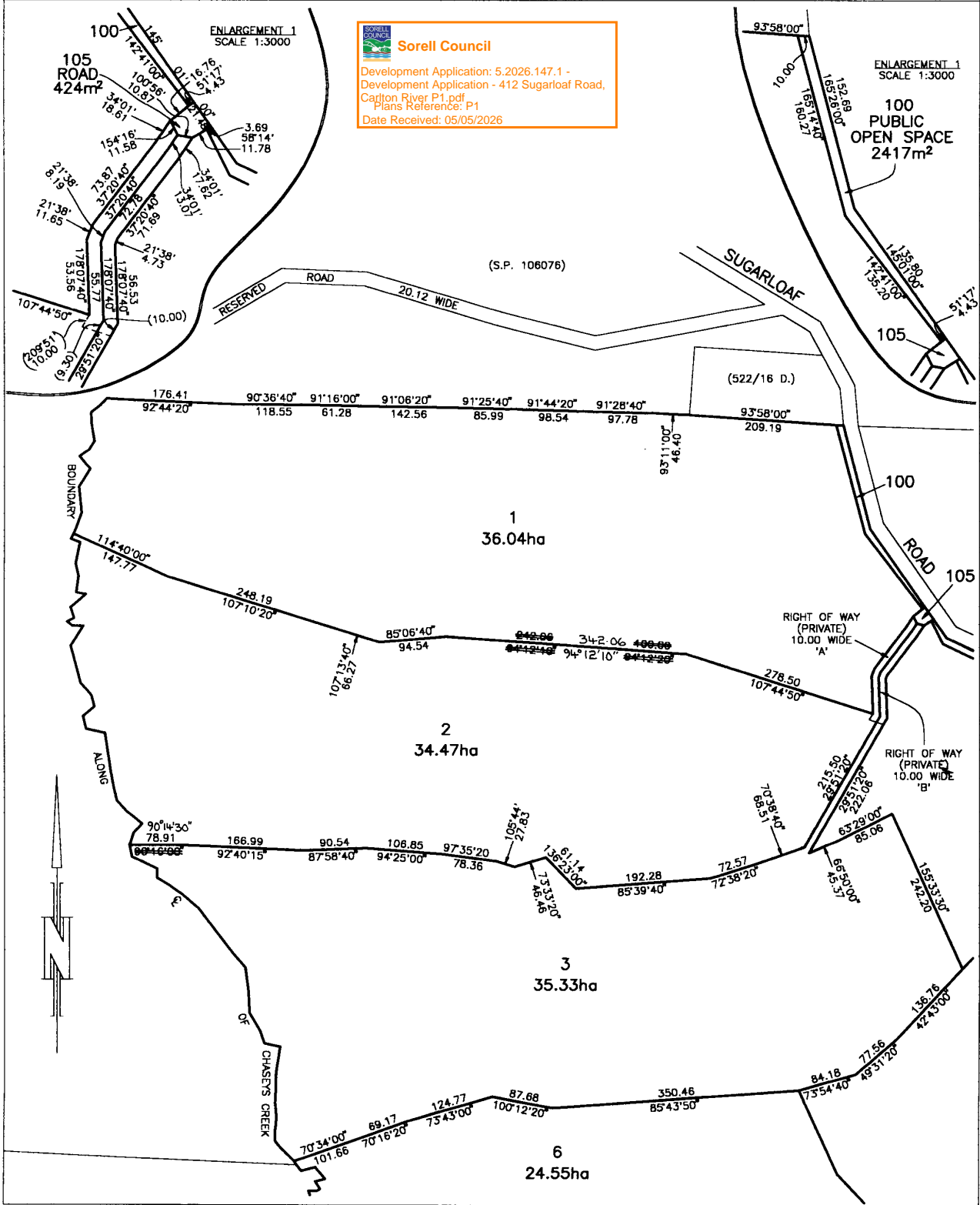
OWNER JOHN HOWARD LAWRENCE, MARGARET ANNE LAWRENCE, JOHN ANDREW MUNNINGS & REGINALD DAVID TAYLOR FOLIO REFERENCE OF 3304/35-0 F/R 235009/1 CONV. 40/1002 F/R 114669/1		PLAN OF SURVEY BY SURVEYOR CRAIG B. ROGERSON <small>181 ELIZABETH STREET, HOBART A DIVISION OF CCAR PTY.LTD. ACN 008521984</small>		REGISTERED NUMBER SP 126990
GRANTEE WHOLE OF LOT 89 CTD. TO F.C. STEELE, WHOLE OF LOT 2057, CTD. TO JAMES STEELE. 574-1-0 PART OF 2000AC. LOC. TO JOSEPH STEELE		LOCATION LAND DISTRICT OF PEMBROKE PARISH OF CARLTON SCALE 1:12500 LENGTHS IN METRES		REGISTERED NUMBER APPROVED EFFECTIVE FROM - 6 MAR 1997 Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 124 (5425)	LAST UPI No. 2900930 2900933	LAST PLAN No. P.114669	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

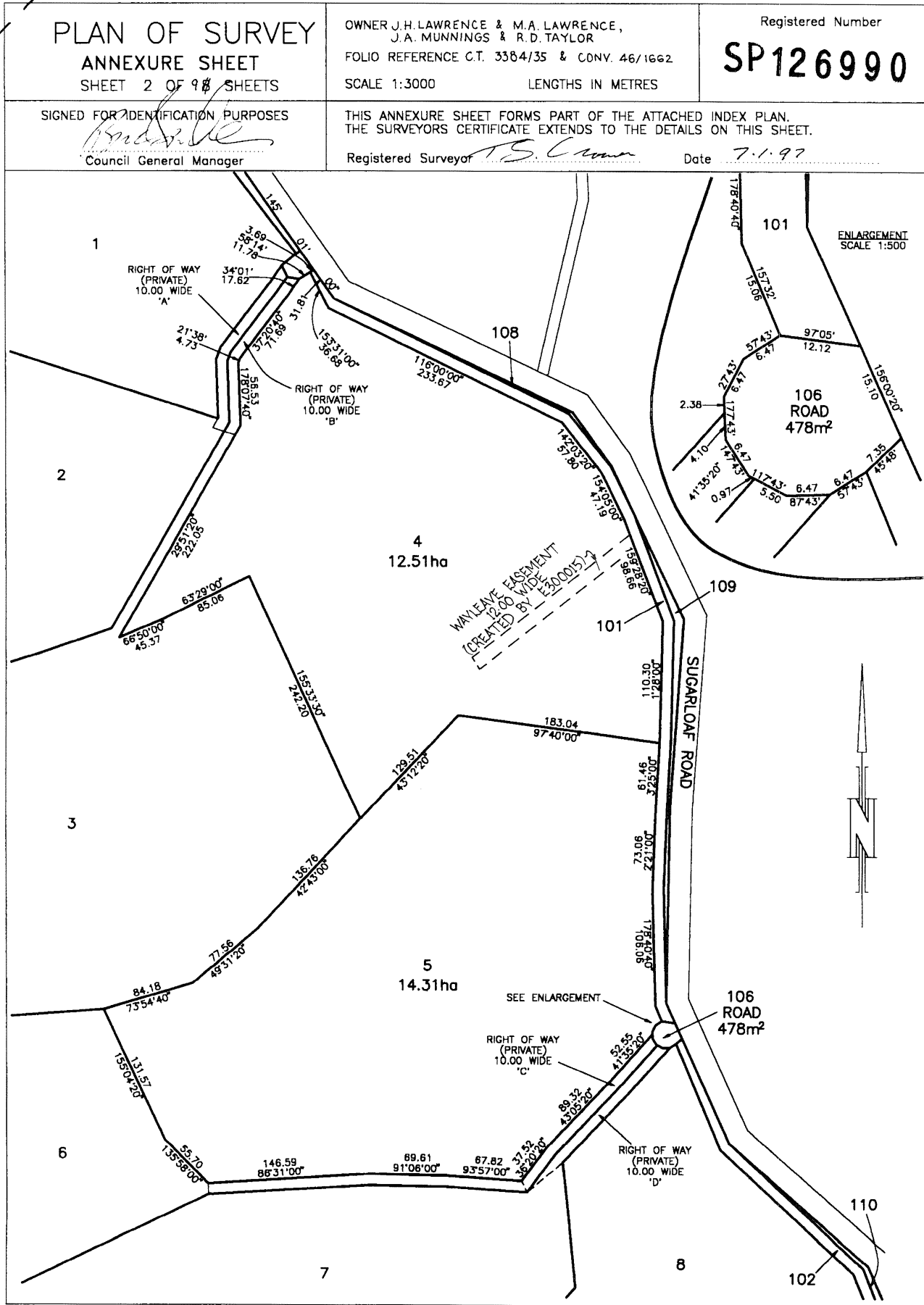


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<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 89 SHEETS</p>	<p>OWNER J. H. & M. A. LAWRENCE, J. A. MUNNINGS & R. D. TAYLOR. FOLIO REFERENCE 3384/35 & CONV. 46/1662. SCALE 1:5000 LENGTHS IN METRES</p>	<p>Registered Number SP 126990</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> Council General Manager</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET. Registered Surveyor <i>[Signature]</i> DATE 7.1.97</p>	

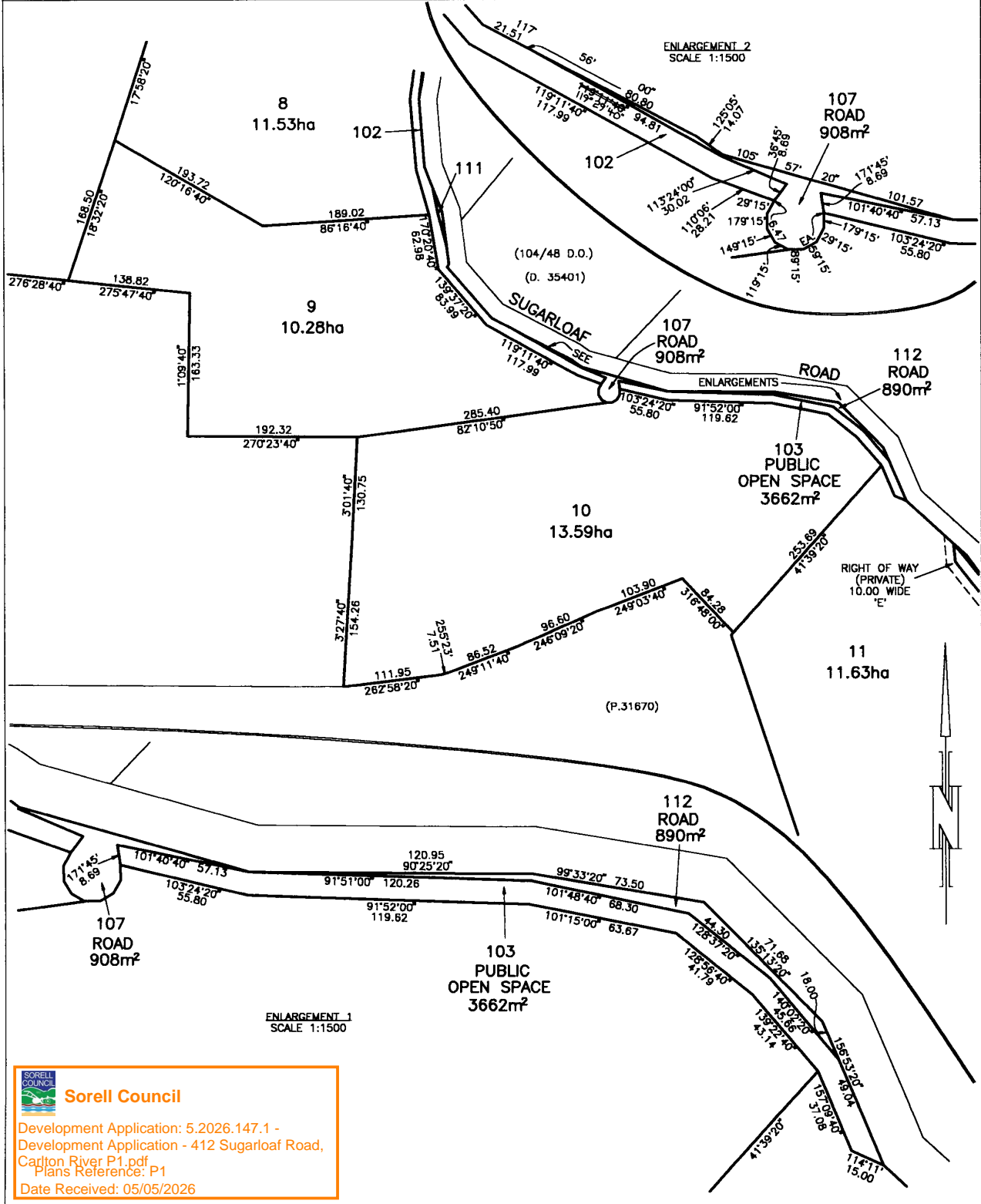




Sorell Council

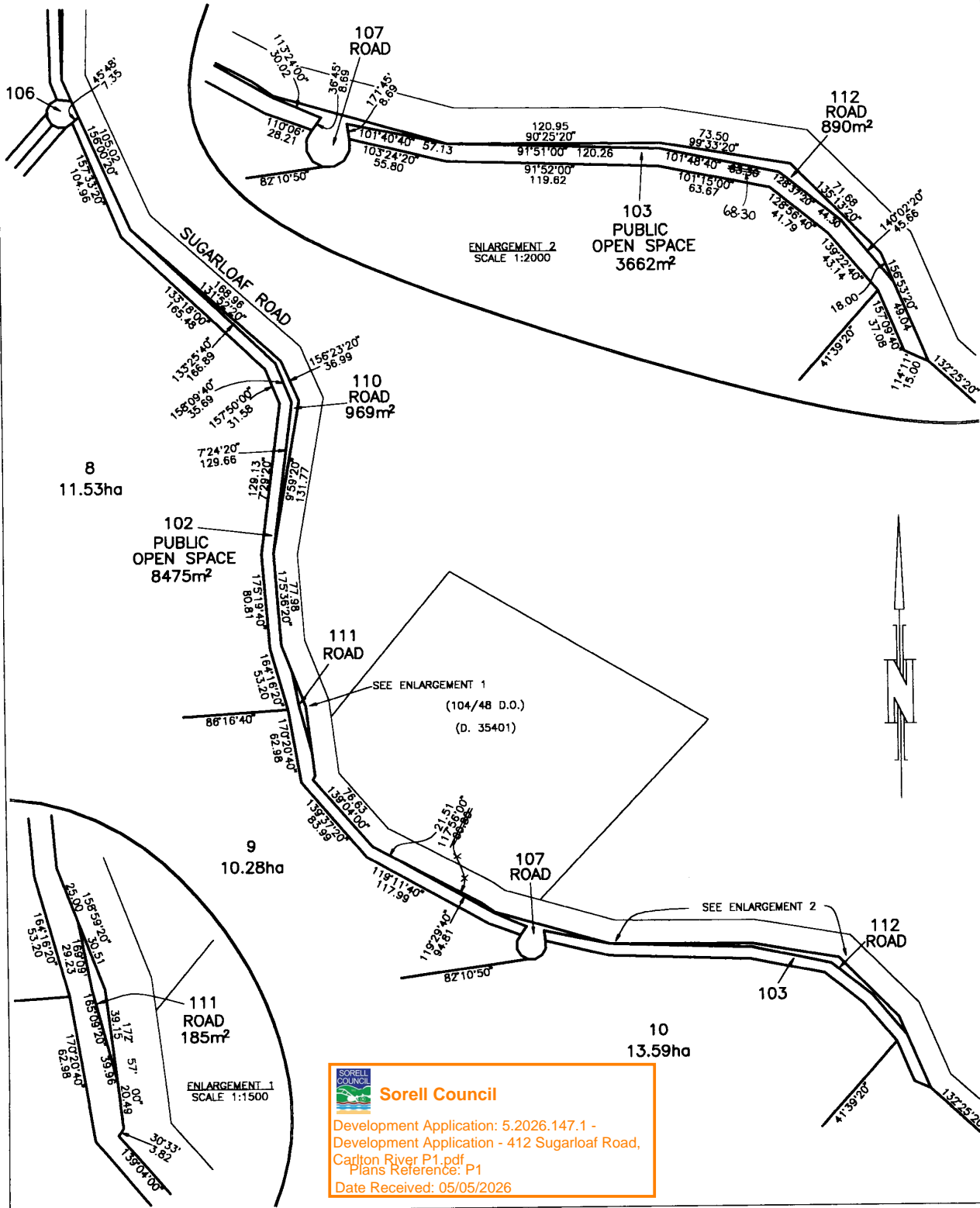
Development Application: 5.2026.147.1 -
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Caitton River P1.pdf
Plans Reference: P1
Date Received: 05/05/2026

<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 4 OF 9 SHEETS</p>	<p>OWNER J.H.LAWRENCE & M.A.LAWRENCE, J.A.MUNNINGS & R.D.TAYLOR, FOLIO REFERENCE C.T. 3384/35 & CONV. 46/1662 SCALE 1:4000 LENGTHS IN METRES</p>	<p>Registered Number SP126990</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> Council General Manager</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET. Registered Surveyor <i>[Signature]</i> Date <i>7.1.97</i></p>	



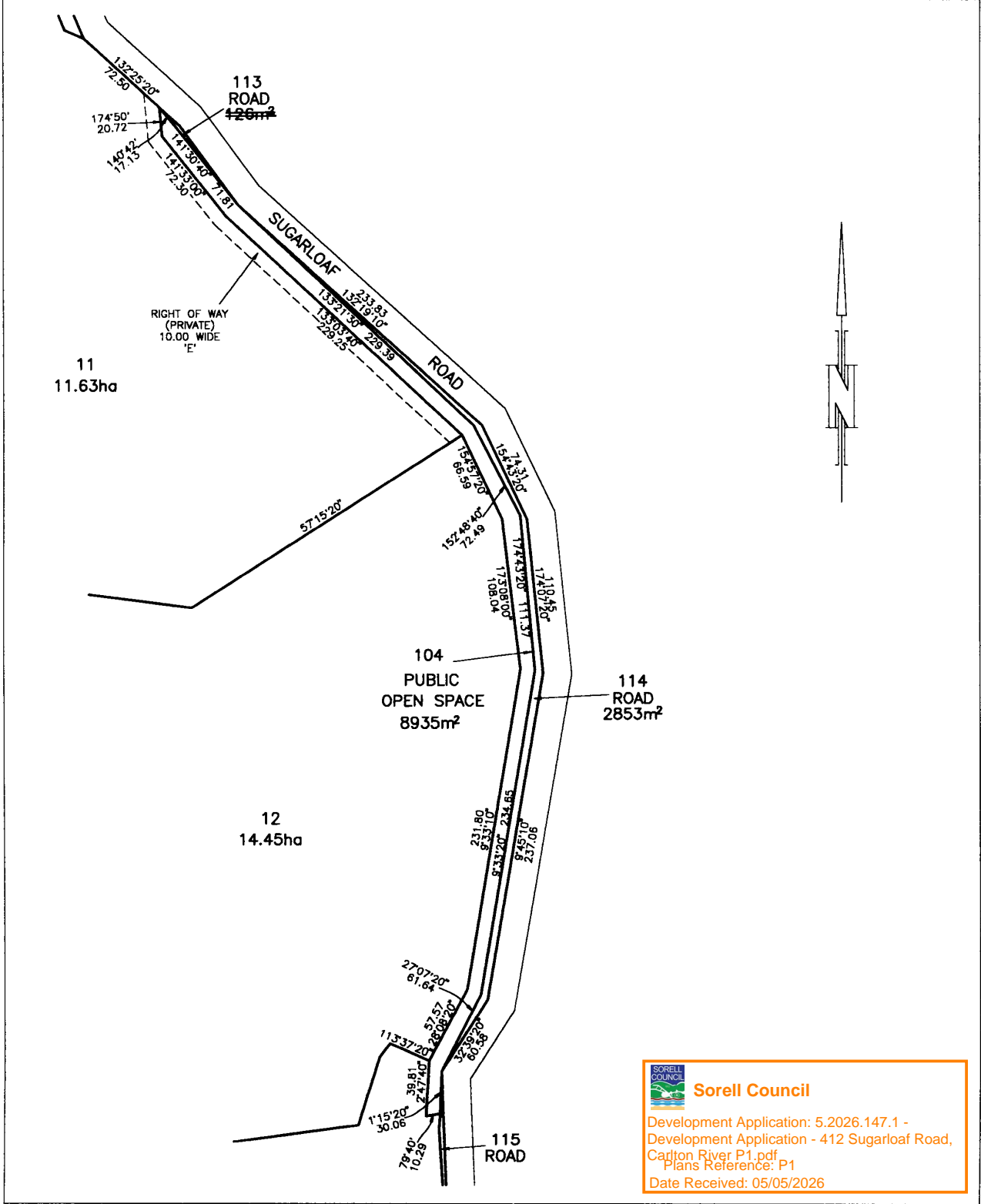
 **Sorell Council**
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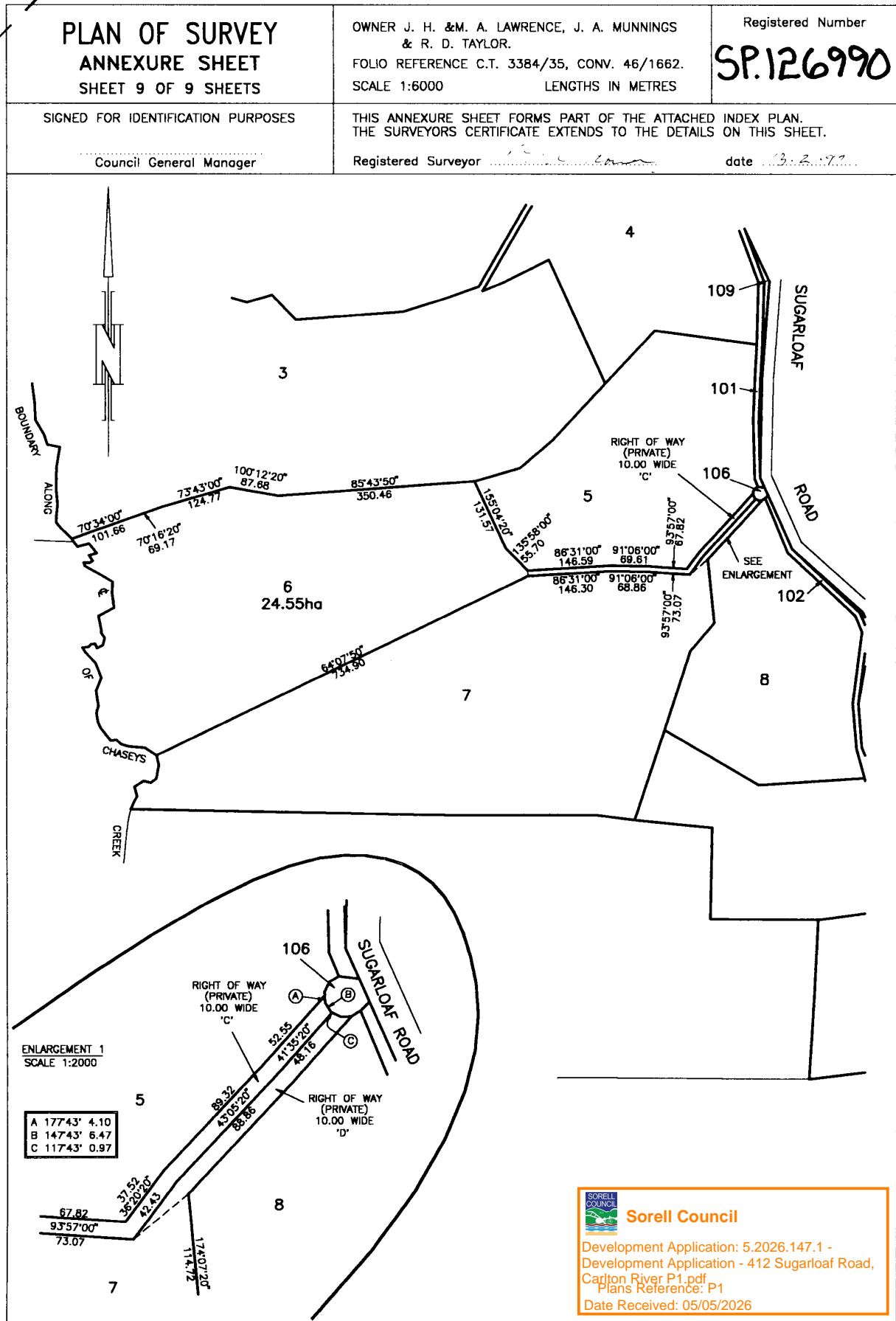
<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 7 OF 8 SHEETS</p>	<p>OWNER J. H. & M. A. LAWRENCE, J. A. MUNNINGS & R. D. TAYLOR. FOLIO REFERENCE C.T. 3384/35 & CONV. 46/1662. SCALE 1: 3000 LENGTHS IN METRES</p>	<p>Registered Number SP 126990</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> Council General Manager</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET. Registered Surveyor <i>[Signature]</i> DATE <i>7.1.97</i></p>	



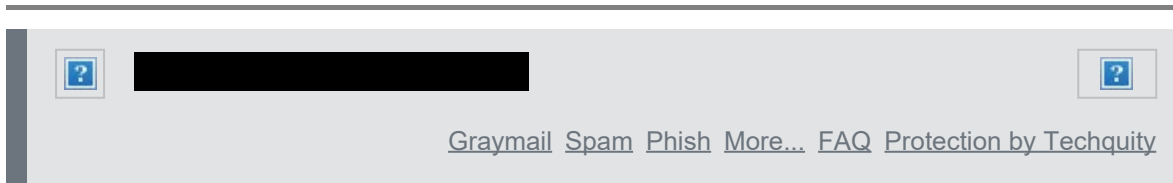
Sorell Council
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Plans Reference: P1
Date Received: 05/05/2026

<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 8 OF 8 SHEETS</p>	<p>OWNER J. H. & M. A. LAWRENCE, J. A. MUNNINGS & R. D. TAYLOR. FOLIO REFERENCE C.T. 3384/35 & CONV. 46/1662. SCALE 1:2500 LENGTHS IN METRES</p>	<p>Registered Number SP 126990</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> Council General Manager</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET. Registered Surveyor <i>T.S. Cronin</i> DATE <i>7.1.97</i></p>	





From: [REDACTED]
To: [Sorell Council](#)
Cc: [REDACTED]
Subject: Re: 5.2026.147.1 - Request For Information - 412 Sugarloaf Road, Carlton River
Date: Monday, 18 May 2026 10:15:04 AM
Attachments: [REDACTED]



[REDACTED]

Attached is the information as you have requested. Please contact me if you require any further information.

In relation to the estimated cost for building, I would like to point out that we have gathered most of the materials and the fittings for the build at no cost via recycling from other people. The exterior stone for the house will be rocks gathered from the property and other sites at no cost. Our goal is to build sustainably and use as much recycled items as possible to show that building on a budget can be done. Im happy to walk anyone through the process we are using.

Thank you.

Adam and Belinda

On Fri, May 8, 2026 at 11:22 AM Sorell Council <info@sorell.tas.gov.au> wrote:

Good morning,

Please find attached **Request for Information** Letter for the above address.

Please submit your additional information to the Sorell Council via:

- email to sorell.council@sorell.tas.gov.au (in .pdf or .docx format not exceeding 20MB);

Sorell Council Planning Team

Development Proposal Submission for 412 Sugarloaf Road Carlton River

To Whom It May Concern,

I am writing to submit a development proposal for consideration by Council. The intent of this proposal is to undertake the construction of a residential dwelling and farm use Barn, designed to suit the site conditions while maintaining compliance with relevant planning and building requirements.

The primary objective of the project is to create a functional, durable, and efficient building outcome that complements the surrounding environment. The design approach has focused on simplicity, constructability, and long-term performance of stone as the primary building material

This proposal has been developed with consideration of the applicable performance criteria, and it is intended to meet or exceed these requirements through appropriate design and construction methods.

Please find the relevant supporting documentation attached for your review. I welcome any feedback or requests for further information to assist in the assessment process.

Kind regards,

Adam Martin and Belinda Harper



GEO-ENVIRONMENTAL ASSESSMENT

412 Sugarloaf Road

Carlton River

March 2026



GEO-ENVIRONMENTAL

S O L U T I O N S



Sorell Council

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Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

Investigation Details

Client:	Adam Martin
Site Address:	412 Sugarloaf Road, Carlton River
Date of Inspection:	26/02/2026
Proposed Works:	New house
Investigation Method:	Geoprobe 540UD - Direct Push
Inspected by:	C. Cooper

Site Details

Certificate of Title (CT):	126990/10
Title Area:	Approx. 13.59 ha
Applicable Planning Overlays:	Bushfire-prone areas
Slope & Aspect:	5° SW facing slope
Vegetation:	Grass & Weeds
Ground Surface:	Undisturbed

Background Information

Geology Map:	MRT 1:250000
Geological Unit:	Jurassic Dolerite
Climate:	Annual rainfall 500mm
Water Connection:	Tank
Sewer Connection:	Unserviced-On-site required
Testing and Classification:	AS2870:2011, AS1726:2017 & AS1547:2012

Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below.

Soil Profile Summary

TH 1 Depth (m)	TH 2 Depth (m)	TH 3 Depth (m)	USCS	Description
0.00-0.10	0.00-0.20	0.00-0.30	SM	Silty SAND: Fine grained, brown, dry, dense.
0.10-0.60	0.20-0.50	0.30-0.60	CH	Silty Clay trace gravels: High plasticity, dark brown, slightly moist, very stiff
0.60-0.80	0.50-1.10	0.60-1.50	SW	Gravelly SAND trace clay: Coarse grained, pale brown, slightly moist, very dense, refusal on rock.

Site Notes

The soils on site consist of windblown sand topsoils overlying clay dominant subsoils developing from Jurassic Dolerite. Subsurface boulders were encountered at the time of the investigation.

Site Classification

The site has been assessed and classified in accordance with AS2870:2011 “Residential Slabs and Footings”.

The site has been classified as:

Class M

Y^s range: **20-40mm**

Notes: Soils on site are have plastic and reactive characteristics, however, these soils are shallow and not likely to exhibit maximum ground surface movement potential with an indicative Y’s range of 20-40mm. All foundations must be founded into the underlying bedrock

Wind Loading Classification

According to “AS4055:2021 - Wind Loads for Housing” the house site is classified below:

Wind Classification:	N3
Region:	A
Terrain Category:	2.0
Shielding Classification:	NS
Topographic Classification:	T1
Wind Classification:	N3
Design Wind Gust Speed – m/s ($V_{h,u}$):	50

Wastewater Classification & Recommendations

According to AS1547-2012 (on-site waste-water management) the natural soil is classified as **Light Clay (category 5)**. It is proposed to install a dual-purpose septic tank with on-site absorption. A Design Loading Rate (DLR) of 5L/m²/day has been assigned for primary treated effluent. The proposed five-bedroom dwelling has a calculated maximum wastewater output of 840L/day. This is based on a tank water supply and a maximum occupancy of 7 people (120L/day/person). Using the DLR of 5L/m²/day, an absorption area of at least 168m² will be required to accommodate the expected flows. This can be accommodated by Four 21m x 2m x 0.6m terraced absorption trenches connected to a dual-purpose septic tank (min 4000L) via three two-way splitter boxes with speed levelers to ensure equal distribution. For all calculations please refer to the Trench summary reports. A cut-off drain will be required upslope of the absorption area and the area excluded from traffic or any future building works. A 100% reserve area should be set aside for future wastewater requirements. There is sufficient space available on site to accommodate the reserve due to the large property size (>2ha). Therefore, a formal reserve area has not been assigned.

The following setback distances are in agreement with the Building Act 2016:

Upslope or level buildings:	3m
Downslope buildings:	8m
Upslope or level boundaries:	1.5m
Downslope boundaries:	8m
Downslope surface water:	43m

Compliance with Building Act 2016 Guidelines for On-site Wastewater Management Systems is outlined in the attached table. During construction GES will need to be notified of any variation to the soil conditions or wastewater loading as outlined in this report.

Construction Notes & Recommendations

The site has been classified as **Class M**.

It is recommended that all footing loads are transferred to bedrock (either directly or via piers/piles).

All earthworks on site must comply with AS3798:2007, and I further recommend that consideration be given to drainage and sediment control on site during and after construction. Care should also be taken to ensure there is adequate drainage in the construction area to avoid the potential for weak bearing and foundation settlement associated with excessive soil moisture.

During construction GES will need to be notified of any variation to the soil conditions or wastewater loading as outlined in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD

Director

GES P/L

Land suitability and system sizing for on-site wastewater management

Trench 3.0 (Australian Institute of Environmental Health)

Assessment Report

Site assessment for on-site waste water disposal

Assessment for 412 Sugarloaf Road Carlton River

Assess. Date 11-Mar-26

Ref. No.

Assessed site(s) Adam Martin

Site(s) inspected 26-Feb-26

Local authority Sorell

Assessed by John Paul Cumming

This report summarises wastewater volumes, climatic inputs for the site, soil characteristics and system sizing and design issues. Site Capability and Environmental sensitivity issues are reported separately, where 'Alert' columns flag factors with high (A) or very high (AA) limitations which probably require special consideration for system design(s). Blank spaces on this page indicate data have not been entered into TRENCH.

Wastewater Characteristics

Wastewater volume (L/day) used for this assessment = 840 (using the 'No. of bedrooms in a dwelling' method)

Septic tank wastewater volume (L/day) = 280

Sullage volume (L/day) = 560

Total nitrogen (kg/year) generated by wastewater = 7.6

Total phosphorus (kg/year) generated by wastewater = 3.2

Climatic assumptions for site

(Evapotranspiration calculated using the crop factor method)

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Mean rainfall (mm)	39	32	45	35	42	53	33	49	46	44	43	43
Adopted rainfall (R, mm)	39	32	45	35	42	53	33	49	46	44	43	43
Retained rain (Rr, mm)	35	29	41	31	38	48	30	44	42	39	39	39
Max. daily temp. (deg. C)												
Evapotrans (ET, mm)	130	110	91	63	42	29	32	42	63	84	105	126
Evapotr. less rain (mm)	95	81	50	32	4	-18	2	-2	21	45	66	87
Annual evapotranspiration less retained rain (mm) =												463

Soil characteristics

Texture = Light Clay

Category = 5

Thick. (m) = 1.5

Adopted permeability (m/day) = 0.12

Adopted LTAR (L/sq m/day) = 5

Min depth (m) to water = 3

Proposed disposal and treatment methods

Proportion of wastewater to be retained on site: All wastewater will be disposed of on the site

The preferred method of on-site primary treatment: In dual purpose septic tank(s)

The preferred method of on-site secondary treatment: In-ground

The preferred type of in-ground secondary treatment: Trench(es)

The preferred type of above-ground secondary treatment: None

Site modifications or specific designs: Not needed

Suggested dimensions for on-site secondary treatment system

Total length (m) = 84

Width (m) = 2

Depth (m) = 0.6

Total disposal area (sq m) required = 170

comprising a Primary Area (sq m) of: 168

and a Secondary (backup) Area (sq m) of:

Sufficient area is available on site

Comments

The assigned LTAR for the Category 5 soil present is 5L/m²/day with an absorption area of 168m² required.

GES P/L

Land suitability and system sizing for on-site wastewater management
Trench 3.0 (Australian Institute of Environmental Health)

Site Capability Report
Site assessment for on-site waste water disposal

Assessment for 412 Sugarloaf Road Carlton River

Assess. Date 11-Mar-26

Assessed site(s) Adam Martin

Ref. No.

Local authority Sorell

Site(s) inspected 26-Feb-26

Assessed by John Paul Cumming

This report summarises data relating to the physical capability of the assessed site(s) to accept wastewater. Environmental sensitivity and system design issues are reported separately. The 'Alert' column flags factors with high (A) or very high (AA) site limitations which probably require special consideration in site acceptability or for system design(s). Blank spaces indicate data have not been entered into TRENCH.

Alert	Factor	Units	Value	Confid level	Limitation		Remarks
					Trench	Amended	
	Expected design area	sq m	5,000	V. high	Very low		
	Density of disposal systems	/sq km	20	Mod.	Moderate		
	Slope angle	degrees	4	High	Very low		
	Slope form	Convex spreading		High	Very low		
	Surface drainage	Good		High	Very low		
	Flood potential	Site floods 1 in 75-100 yrs		High	Low		
	Heavy rain events	Infrequent		High	Moderate		
A	Aspect (Southern hemi.)	Faces SE or SW		V. high	High		
	Frequency of strong winds	Common		High	Low		
	Wastewater volume	L/day	840	High	Moderate		
	SAR of septic tank effluent		1.4	High	Low		
	SAR of sullage		2.5	High	Moderate		
	Soil thickness	m	1.5	V. high	Very low		
	Depth to bedrock	m	1.5	V. high	Moderate		
	Surface rock outcrop	%	0	V. high	Very low		
	Cobbles in soil	%	0	V. high	Very low		
	Soil pH		6.5	High	Very low		
	Soil bulk density	gm/cub. cm	1.5	High	Low		
	Soil dispersion	Emerson No.	8	V. high	Very low		
	Adopted permeability	m/day	0.12	Mod.	Very low		
	Long Term Accept. Rate	L/day/sq m	5	High	Moderate		

Comments

The soils on site have good capacity to accept wastewater.

GES P/L

Land suitability and system sizing for on-site wastewater management
Trench 3.0 (Australian Institute of Environmental Health)

Environmental Sensitivity Report
Site assessment for on-site waste water disposal

Assessment for 412 Sugarloaf Road Carlton River

Assess. Date 11-Mar-26

Ref. No.

Assessed site(s) Adam Martin

Site(s) inspected 26-Feb-26

Local authority Sorell

Assessed by John Paul Cumming

This report summarises data relating to the environmental sensitivity of the assessed site(s) in relation to applied wastewater. Physical capability and system design issues are reported separately. The 'Alert' column flags factors with high (A) or very high (AA) limitations which probably require special consideration in site acceptability or for system design(s). Blank spaces indicate data have not been entered into TRENCH.

Alert	Factor	Units	Value	Confid level	Limitation		Remarks
					Trench	Amended	
	Cation exchange capacity	mmol/100g	70	High	Moderate		
A	Phos. adsorp. capacity	kg/cub m	0.5	High	High		
	Annual rainfall excess	mm	-463	High	Very low		
	Min. depth to water table	m	3	High	Very low		
	Annual nutrient load	kg	10.7	High	Moderate		
	G'water environ. value Agric sensit/dom irrig			V. high	Moderate		
	Min. separation dist. required	m	3	High	Very low		
	Risk to adjacent bores						Factor not assessed
	Surf. water env. value Agric sensit/dom drink			V. high	Moderate		
AA	Dist. to nearest surface water	m	50	V. high	Very high		
	Dist. to nearest other feature	m	71	V. high	Low		
	Risk of slope instability		Very low	V. high	Very low		
	Distance to landslip	m	220	V. high	Very low		

Comments

There is low risk of environmental degradation associated with the disposal of wastewater on this site.

Explanatory Notes

1 Scope of Works

The methods of description and classification of soils used in this report are based largely on Australian Standard 1726 – Geotechnical Site Investigations (AS1726:2017), with reference to Australian Standard 1289 – Methods for testing soils for engineering purposes (AS1289), for eventual Site Classification according to Australian Standard 2870 (AS2870:2011) – Residential Slabs and Footings and Australian Standard 1547 (AS1547:2012) On-site domestic wastewater management.

1.1 Site Classification AS2870:2011

Site classification with reference to the above Australian Standards are based on site reactivity.

Class	Foundation Conditions	Characteristic Surface Movement
A	Most sand and rock sites with little or no ground movement from moisture changes.	0mm
S	Slightly reactive clay sites, which may experience only slight ground movement from moisture changes.	0 – 20mm
M	Moderately reactive clay or silt sites, which may experience moderate ground movement from moisture changes.	20 – 40mm
H-1	Highly reactive clay sites, which may experience high ground movement from moisture changes.	40 – 60mm
H-2	Highly reactive clay sites, which may experience very high ground movement from moisture changes.	60 – 75mm
E	Extremely reactive sites, which may experience extreme ground movement from moisture changes.	>75mm

*Note: Soils where foundation performance may be significantly affected by factors other than reactive soil movement are classified as **Class P**.*

A site is classified as **Class P** when:

- The bearing capacity of the soil profile in the foundation zone is generally less than 100kpa
- If excessive foundation settlement may occur due to loading on the foundation.
- The site contains uncontrolled fill greater than 0.8m in depth for sandy sites and 0.4m in depth for other soil materials.
- The site is subject to mine subsistence, landslip, collapse activity or coastal erosion.
- The site is underlain by highly dispersive soils with significant potential for erosion
- If the site is subject to abnormal moisture conditions which can affect foundation performance

1.2 Soil Characterisation

This information explains the terms of phrase used within the soil description area of the report.

It includes terminology for cohesive and non-cohesive soils and includes information on how the Unified Soil Classification Scheme (USCS) codes are determined.

NON COHSIVE – SAND & GRAVEL		
Consistency Description	Field Test	Dynamic Cone Penetrometer blows/100 mm
Very loose (VL)	Easily penetrated with 13 mm reinforcing rod pushed by hand.	0 - 1
Loose (L)	Easily penetrated with 13 mm reinforcing rod pushed by hand. Can be excavated with a spade; 50 mm wooden peg can be easily driven.	1 - 3
Medium dense (MD)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, - hard shovelling.	3 - 8
Dense (D)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, requires pick for excavation: 50 mm wooden peg hard to drive.	8 - 15
Very dense (VD)	Penetrated only 25 - 50 mm with 13 mm reinforcing rod driven with 2 kg hammer.	>15

COHESIVE - SILT & CLAY		
Consistency Description	Field Test	Indicative undrained shear strength kPa
Very soft	Easily penetrated >40 mm by thumb. Exudes between thumb and fingers when squeezed in hand.	<12
Soft	Easily penetrated 10 mm by thumb. Moulded by light finger pressure	>12 and <25
Firm	Impression by thumb with moderate effort. Moulded by strong finger pressure	>25 and <50
Stiff	Slight impression by thumb cannot be moulded with finger.	>50 and <100
Very Stiff	Very tough. Readily indented by thumbnail.	>100 and <200
Hard	Brittle. Indented with difficulty by thumbnail.	>200

1.3 USCS Material Descriptions

Soils for engineering purposes are the unconsolidated materials above bedrock, they can be residual, alluvial, colluvial or aeolian in origin.

Major Divisions		Particle size mm	USCS Group Symbol	Typical Names	Laboratory Classification					
COARSE GRAINED SOILS (more than half of material less than 63 mm is larger than 0.075 mm)	BOULDERS	200			% < 0.075 mm (2)	Plasticity of fine fraction	$C_u = \frac{D_{60}}{D_{10}}$	$C_c = \frac{(D_{30})^3}{(D_{10})(D_{60})}$	NOTES	
	COBBLES	63								
	GRAVELS (more than half of coarse fraction is larger than 2.36 mm)	coarse	20	GW	Well graded gravels and gravel-sand mixtures, little or no fines	0-5	—	>4	Between 1 and 3	(1) Identify fines by the method given for fine-grained soils. (2) Borderline classifications occur when the percentage of fines (fraction smaller than 0.075 mm size) is greater than 5% and less than 12%. Borderline classifications require the use of SP-SM, GW-GC.
		medium	6	GP	Poorly graded gravels and gravel-sand mixtures, little or no fines, uniform gravels	0-5	—	Fails to comply with above		
		fine	2.36	GM	Silty gravels, gravel-sand-silt mixtures (1)	12-50	Below 'A' line or PI < 4	—	—	
				GC	Clayey gravels, gravel-sand-clay mixtures (1)	12-50	Above 'A' line and PI > 7	—	—	
	SANDS (more than half of coarse fraction is smaller than 2.36 mm)	coarse	0.6	SW	Well graded sands and gravelly sands, little or no fines	0-5	—	>6	Between 1 and 3	
		medium	0.2	SP	Poorly graded sands and gravelly sands, little or no fines	0-5	—	Fails to comply with above		
		fine	0.075	SM	Silty sands, sand silt mixtures (1)	12-50	Below 'A' line or PI < 4	—	—	
				SC	Clayey sands, sand-clay mixtures (1)	12-50	Above 'A' line and PI > 7	—	—	
FINE GRAINED SOILS (more than half of material less than 63 mm is smaller than 0.075 mm)	SILTS & CLAYS (Liquid Limit ≤ 50%)	ML	Inorganic silts, very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity	Use the gradation curve of material passing 63 mm for classification of fractions according to the criteria given in 'Major Divisions'	<div style="text-align: center;"> Plasticity Chart For classification of fine grained soils and fine fraction of coarse grained soils. </div>					
		CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays							
		CI	Inorganic clays of high plasticity, fat clays							
	SILTS & CLAYS (Liquid Limit > 50%)	MH	Inorganic silts, micaceous or diatomaceous fine sands or silts, elastic silts							
		CH	Inorganic clays of high plasticity, fat clays							
		OH	Organic silts and clays of high plasticity							
	HIGHLY ORGANIC SOILS	PT	Peat and other highly organic soils							

Grain size analysis is performed by two processes depending on particle size. Sand silt and clay particles are assessed using a standardised hydrometer test, and coarse sand and larger is assessed through sieving by USCS certified sieves. For more detail see the following section.

Soil Classification	Particle Size
Clay	Less than 0.002mm
Silt	0.002 – 0.06mm
Fine/Medium Sand	0.06 – 2.0mm
Coarse Sand	2.0mm – 4.75mm
Gravel	4.75mm – 60.00mm

1.4 Bearing Capacities and DCP testing.

DCP and PSP weighted penetrometer tests – Dynamic Cone Penetrometer (DCP) and Perth Sand Penetrometer (PSP) tests are carried out by driving a rod into the ground with a falling weight hammer and measuring the blows for successive 100mm increments of penetration. Normally, there is a depth limitation of 1.2m but this may be extended in certain conditions by the use of extension rods. The methods for the two tests are quite similar.

- Dynamic Cone Penetrometer – a 16mm rod with a 20mm diameter cone end is driven with a 9kg hammer dropping 510mm (AS 1289, Test 6.3.2).
- Perth Sand Penetrometer – a 16mm diameter flat-ended rod is driven with a 9kg hammer, dropping 600mm (AS 1289 Test 6.3.3). This test was developed for testing the density of sands and is mainly used in granular soils and filling.

Site Anomalies – During construction GES will need to be notified of any major variation to the foundation conditions as predicted in this report.

1.5 Batter Angles for Embankments (Guide Only)

Note : Retaining walls or other form of soil retaining methods must be adopted where the slope ratio is greater than that indicated in the table below :-

FILL EMBANKMENTS

CUT EMBANKMENTS

MATERIAL TYPE (refer soils report)	EMBANKMENT SLOPES (Height : Length)		
	Compacted Fill	Cutting	
Stable Rock (A*)	2 : 3	6 : 1	
Sand (A*)	1 : 2	2 : 3	
Silt (P*)	1 : 4	1 : 4	
Clay	Firm Clay	1 : 2	1 : 1
	Soft Clay	Not Suitable	2 : 3
Soft Soils (P*)	Not Suitable	Not Suitable	

Glossary of Terms

Bearing Capacity – Maximum bearing pressure that can be sustained by the foundation from the proposed footing system under service loads which should avoid failure or excessive settlement.

Clay – (Mineral particles less than 0.002mm in diameter). Fine grained cohesive soil with plastic properties when wet. Also includes sandy clays, silty clays, and gravelly clays.

Dynamic Cone Penetrometer (DCP) – Field equipment used to determine underlying soil strength and therefore bearing capacity (kPa) by measuring the penetration of the device into the soil after each hammer blow.

Dispersive soil – A soil that has the ability to pass rapidly into suspension in water.

Footing – Construction which transfers the load from the building to the foundation.

Foundation – Ground which supports the building

Landslip – Foundation condition on a sloping site where downhill foundation movement or failure is a design consideration.

Qualified Engineer – A professional engineer with academic qualifications in geotechnical or structural engineering who also has extensive experience in the design of the footing systems for houses or similar structures.

Reactive Site – Site consisting of clay soil which swells on wetting and shrinks on drying by an amount that can damage buildings on light strip footings or unstiffened slabs. Includes sites classified as S, M, H-1, H-2 & E in accordance with AS2870-2011.

Sand – (Mineral particles greater than 0.02mm in diameter). Granular non-cohesive, non-plastic soil that may contain fines including silt or clay up to 15%.

Services – Means all underground services to the site including but not limited to power, telephone, sewerage, water & storm water.

Silt – (Mineral particles 0.002 – 0.02mm in diameter). Fine grained non-cohesive soil, non-plastic when wet. Often confers a silky smoothness of field texture, regularly includes clay and sand to form clayey silts, sandy silts and gravelly silts.

Site – The site title, as denoted by address, lot number, or Certificate of Title (CT) number, or Property Identification Number (PID).

Surface Movement (Ys) – Design movement (mm) at the surface of a reactive site caused by moisture changes.

Disclaimer


This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.


The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.


This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for use of any part of this report in any other context or for any other purpose by third a party.

Demonstration of wastewater system compliance to *Building Act 2016 Guidelines for On-site Wastewater*

Acceptable Solutions	Performance Criteria	Compliance
<p>A1</p> <p>Horizontal separation distance from a building to a land application area must comply with one of the following:</p> <ul style="list-style-type: none"> a) be no less than 6m; or b) be no less than: <ul style="list-style-type: none"> (i) 3m from an upslope building or level building; (ii) If primary treated effluent to be no less than 4m plus 1m for every degree of average gradient from a downslope building; (iii) If secondary treated effluent and subsurface application, no less than 2m plus 0.25m for every degree of average gradient from a downslope building. 	<p>P1</p> <ul style="list-style-type: none"> a) The land application area is located so that <ul style="list-style-type: none"> (i) the risk of wastewater reducing the bearing capacity of a building’s foundations is acceptably low.; and (ii) is setback a sufficient distance from a downslope excavation around or under a building to prevent inadequately treated wastewater seeping out of that excavation 	<p>Consistent with A1 (b) (i) Land application area will be located with a minimum separation distance of 3m from an upslope or level building.</p> <p>Consistent with A1 (b) (ii) Land application area will be located with a minimum separation distance of 8m from a downslope building.</p>
<p>A2</p> <p>Horizontal separation distance from downslope surface water to a land application area must comply with (a) or (b)</p> <ul style="list-style-type: none"> (a) be no less than 100m; or (b) be no less than the following: <ul style="list-style-type: none"> (i) if primary treated effluent 15m plus 7m for every degree of average gradient to downslope surface water; or (ii) if secondary treated effluent and subsurface application, 15m plus 2m for every degree of average gradient to down slope surface water. 	<p>P2</p> <p>Horizontal separation distance from downslope surface water to a land application area must comply with all of the following:</p> <ul style="list-style-type: none"> a) Setbacks must be consistent with AS/NZS 1547 Appendix R; b) A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is acceptable. 	<p>Consistent with A2 (b) (i) Land application area located > 43m from downslope surface water</p> <div data-bbox="1675 1305 2094 1476" style="border: 1px solid orange; padding: 5px; margin-top: 10px;">  <p>Sorell Council</p> <p>Development Application: 5.2026.147.1 - Development Application - 412 Sugarloaf Road, Carlton River P1.pdf Plans Reference: P1 Date Received: 05/05/2026</p> </div>

<p>A3</p> <p>Horizontal separation distance from a property boundary to a land application area must comply with either of the following:</p> <p>(a) be no less than 40m from a property boundary; or</p> <p>(b) be no less than:</p> <p>(i) 1.5m from an upslope or level property boundary; and</p> <p>(ii) If primary treated effluent 2m for every degree of average gradient from a downslope property boundary; or</p> <p>(iii) If secondary treated effluent and subsurface application, 1.5m plus 1m for every degree of average gradient from a downslope property boundary.</p>	<p>P3</p> <p>Horizontal separation distance from a property boundary to a land application area must comply with all of the following:</p> <p>(a) Setback must be consistent with AS/NZS 1547 Appendix R; and</p> <p>(b) A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is acceptable.</p>	<p>Consistent with A3 (b) (i) Land application area will be located with a minimum separation distance of 1.5m from an upslope or level property boundary</p> <p>Consistent with A3 (b) (ii) Land application area will be located with a minimum separation distance of 8m from a downslope property boundary.</p>
<p>A4</p> <p>Horizontal separation distance from a downslope bore, well or similar water supply to a land application area must be no less than 50m and not be within the zone of influence of the bore whether up or down gradient.</p>	<p>P4</p> <p>Horizontal separation distance from a downslope bore, well or similar water supply to a land application area must comply with all of the following:</p> <p>(a) Setback must be consistent with AS/NZS 1547 Appendix R; and</p> <p>(b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 demonstrates that the risk is acceptable</p>	<p>Consistent with A4 No bore or well identified within 50m</p> <div data-bbox="1630 1059 2056 1232" style="border: 1px solid orange; padding: 5px;">  <p>Sorell Council</p> <p>Development Application: 5.2026.147.1 - Development Application - 412 Sugarloaf Road, Carlton River P1.pdf Plans Reference: P1 Date Received: 05/05/2026</p> </div>

<p>A5</p> <p>Vertical separation distance between groundwater and a land application area must be no less than:</p> <p>(a) 1.5m if primary treated effluent; or</p> <p>(b) 0.6m if secondary treated effluent</p>	<p>P5</p> <p>Vertical separation distance between groundwater and a land application area must comply with the following:</p> <p>(a) Setback must be consistent with AS/NZS 1547 Appendix R; and</p> <p>(b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 that demonstrates that the risk is acceptable</p>	<p>Consistent with A5 (a)</p> <p>No groundwater encountered</p>
<p>A6</p> <p>Vertical separation distance between a limiting layer and a land application area must be no less than:</p> <p>(a) 1.5m if primary treated effluent; or</p> <p>(b) 0.5m if secondary treated effluent</p>	<p>P6</p> <p>Vertical setback must be consistent with AS/NZS1547 Appendix R.</p>	<p>Consistent with P6 vertical setback of 0.6m consistent with AS/NZS 1547 Appendix R</p>
<p>A7</p> <p>nil</p>	<p>P7</p> <p>A wastewater treatment unit must be located a sufficient distance from buildings or neighbouring properties so that emissions (odour, noise or aerosols) from the unit do not create an environmental nuisance to the residents of those properties</p>	<p>Consistent</p> <div data-bbox="1599 1219 2020 1391" style="border: 1px solid orange; padding: 5px; margin-top: 20px;">  <p>Sorell Council</p> <p>Development Application: 5.2026.147.1 - Development Application - 412 Sugarloaf Road, Carlton River P1.pdf Plans Reference: P1 Date Received: 05/05/2026</p> </div>

ASSESSMENT OF HORIZONTAL AND VERTICAL SETBACK DISTANCES

(adapted from Table R1 in AS1547 - to be used in conjunction with Site Constraint Table)

Site feature	Setback distance range (m)	Site constraint items of specific concern (from Site Constraint Table)	Assessment	Adopted setback distance (m)
	Horizontal setback distance (m)			
Property boundary	1.5 – 50	A, D, J	8	>8
Buildings/houses	2.0 – > 6	A, D, J	2	>2m
Surface water	15 – 100	A, B, D, E, F, G, J	43	43
Bore, well	15 – 50	A, C, H, J	N/A	N/A
Recreational areas (Children’s play areas, swimming pools and so on)	3 – 15	A, E, J	N/A	N/A
In-ground water tank	4 – 15	A, E, J	N/A	N/A
Retaining wall and Embankments, escarpments, cuttings	3.0 m or 45° angle from toe of wall (whichever is greatest)	D, G, H	N/A	N/A
	Vertical setback distance (m)			
Groundwater	0.6 – > 1.5	A, C, F, H, I, J	0.6	N/A
Hardpan or bedrock	0.5 – ≥ 1.5	A, C, J	0.5	0.6

SITE CONSTRAINT RATING

(adapted from Table R2 in AS1547 - used as a guide in determining appropriate setback distances)

Item	Site/system feature	Constraint scale (see Note 1)		Sensitive features	Comment	Constraint Rating
		LOWER Examples of constraint factors (see Note 2)	HIGHER			
A	Microbial quality of effluent	Effluent quality consistently producing ≤ 10 cfu/100 mL <i>E. coli</i> (secondary treated effluent with disinfection)	Effluent quality consistently ≥ 10 cfu/100 mL <i>E. coli</i> (for example, primary treated effluent)	Groundwater and surface pollution hazard, public health hazard	Primary treated effluent	Moderate
B	Surface water	Category 1 to 3 soils, no surface water down gradient within > 100 m, low rainfall area	Category 4 to 6 soils, permanent surface water <50 m down gradient, high rainfall area, high resource/environmental value	Surface water pollution hazard for low permeable soils, low lying or poorly draining areas	Downslope surface water 43m	Consistent with Acceptable Solutions
C	Groundwater	Category 5 and 6 soils, low resource/environmental value	Category 1 and 2 soils, gravel aquifers, high resource/environmental value	Groundwater pollution hazard	Light Clay (category 5) soil No groundwater encountered	Low
D	Slope	0 – 6% (surface effluent application) 0 – 10% (subsurface effluent application)	> 10% (surface effluent application), > 30% subsurface effluent application	Off-site export of effluent, erosion	<10 slope subsurface effluent	Low
E	Position of land application area in landscape.	Downgradient of surface water, property boundary, recreational area	Upgradient of surface water, property boundary, recreational area	Surface water pollution hazard, off-site export of effluent	Downslope boundary minimum 8m	Consistent with Acceptable Solutions
F	Drainage	Category 1 and 2 soils, gently sloping area	Category 6 soils, sites with visible seepage, moisture tolerant vegetation, low lying area	Groundwater pollution hazard	Light Clay (category 5) soil No visible seepage or moisture tolerant sp	Consistent with Acceptable Solutions
G	Flood potential	Above 1 in 20 year flood contour	Below 1 in 20 year flood contour	Off-site export of effluent, system failure, mechanical faults	Above 1:20 year flood contour	Consistent with Acceptable Solutions

SITE CONSTRAINT RATING (cont)

Item	Site/system feature	Constraint scale (see Note 1)		Sensitive features	Comment	Constraint Rating
		LOWER Examples of constraint factors (see Note 2)	HIGHER			
H	Geology and soils	Category 3 and 4 soils, low porous regolith, deep, uniform soils	Category 1 and 6 soils, fractured rock, gravel aquifers, highly porous regolith	Groundwater pollution hazard for porous regolith and permeable soils	Light Clay (category 5)	Consistent with Acceptable Solutions
I	Landform	Hill crests, convex side slopes, and plains	Drainage plains and incise channels	Groundwater pollution hazard, resurfacing hazard	side slope	Consistent with Acceptable Solutions
J	Application method	Drip irrigation or subsurface application of effluent	Surface/above ground application of effluent	Off-site export of effluent, surface water pollution	Subsurface application	Low

AS1547:2012 – Loading Certificate – Septic System Design

This loading certificate sets out the design criteria and the limitations associated with use of the system.

Site Address: 412 Sugarloaf Road Carlton River

System Capacity: 7 people @ 120L/person/day

Summary of Design Criteria

DLR: 5L/m²/day.

Absorption area: 168m²

Reserve area location /use: Not Assigned - more than 100% available

Water saving features fitted: Standard fixtures

Allowable variation from design flows: 1 event @ 200% daily loading per quarter

Typical loading change consequences: Expected to be minimal due to capacity of system and site area (provided loading changes within 25% of design)

Overloading consequences: Continued overloading may cause hydraulic failure of the absorption area and require upgrading/extension of the area. Risk considered acceptable due to visible signs of overloading and owner monitoring.

Underloading consequences: Lower than expected flows will have minimal consequences on system operation unless the house has long periods of non occupation. Under such circumstances additional maintenance of the system may be required. Risk considered acceptable.

Lack of maintenance / monitoring consequences: Issues of underloading/overloading and condition of the absorption area require monitoring and maintenance, if not completed system failure may result in unacceptable health and environmental risks. Septic tank de-sludging must also be monitored to prevent excessive sludge and scum accumulation. Monitoring and regulation by the property owner required to ensure compliance.

Other operational considerations: Owners/occupiers must be aware of the operational requirements and limitations of the system, including the following; the absorption area must not be subject to traffic by vehicles or heavy stock and should be fenced if required. The absorption area must be kept with adequate grass cover to assist in evapotranspiration of treated effluent in the absorption trenches. The septic tank must be desludged at least every 3 years, and any other infrastructure such as septic tank outlet filters must also be cleaned regularly (approx. every 6 months depending upon usage). Foreign materials such as rubbish and solid waste must be kept out of the system.



Sorell Council

Development Application: 5.2026.147.1 -
Development Application - 412 Sugarloaf Road,
Carlton River P1.pdf
Plans Reference: P1
Date Received: 05/05/2026

CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

Form **35**

To: Owner name
 Address
 Suburb/postcode

Designer details:

Name: Category:
 Business name: Phone No:
 Business address:
 Fax No:
 Licence No: Email address:

Details of the proposed work:

Owner/Applicant Designer's project reference No.
Address: Lot No:

Type of work: Building work Plumbing work (X all applicable)


Description of work:
 (new building / alteration / addition / repair / removal / re-erection water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
	<input type="checkbox"/> Building design	Architect or Building Designer
	<input type="checkbox"/> Structural design	Engineer or Civil Designer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input checked="" type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input type="checkbox"/> Electrical design	Building Services Designer
	<input type="checkbox"/> Mechanical design	Building Service Designer
	<input type="checkbox"/> Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	

Deemed-to-Satisfy: Performance Solution: (X the appropriate box)

Other details:




Sorell Council
 Development Application: 5.2026.147.1 -
 Development Application - 412 Sugarloaf Road,
 Carlton River P1.pdf
 Plans Reference: P1
 Date Received: 05/05/2026

Design documents provided:

The following documents are provided with this Certificate –
 Document description:

Drawing numbers:	Prepared by: Geo-Environmental Solutions	Date: Mar-26
Schedules:	Prepared by:	Date:
Specifications:	Prepared by: Geo-Environmental Solutions	Date: Mar-26
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by: Geo-Environmental Solutions	Date: Mar-26

Standards, codes or guidelines relied on in design process:	
AS1547:2012 On-site domestic wastewater management.	
AS3500 (Parts 0-5)-2013 Plumbing and drainage set.	
 Sorell Council Development Application: 5.2026.147.1 - Development Application - 412 Sugarloaf Road, Carlton River P1.pdf Plans Reference: P1 Date Received: 05/05/2026	


Any other relevant documentation:	
Geo-Environmental Assessment - 412 Sugarloaf Road Carlton River - Mar-26	
Geo-Environmental Assessment - 412 Sugarloaf Road Carlton River - Mar-26	

Attribution as designer:	
---------------------------------	--

I John-Paul Cumming, am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	John-Paul Cumming		11/03/2026
Licence No:	CC774A		

Assessment of Certifiable Works: (TasWater)

Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.
If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.
TasWater must then be contacted to determine if the proposed works are Certifiable Works.

I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:

- The works will not increase the demand for water supplied by TasWater
- The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater’s sewerage infrastructure
- The works will not require a new connection, or a modification to an existing connection, to be made to TasWater’s infrastructure
- The works will not damage or interfere with TasWater’s works
- The works will not adversely affect TasWater’s operations
- The work are not within 2m of TasWater’s infrastructure and are outside any TasWater easement
- I have checked the LISTMap to confirm the location of TasWater infrastructure
- If the property is connected to TasWater’s water system, a water meter is in place, or has been applied for to TasWater.


Certification:

I John-Paul Cumming..... being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: www.taswater.com.au

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	John-Paul Cumming		11/03/2026



 Sorell Council
Development Application: 5.2026.147.1 - Development Application - 412 Sugarloaf Road, Carlton River P1.pdf Plans Reference: P1 Date Received: 05/05/2026

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To: Owner /Agent
 Address
 Suburb/postcode

Form **55**

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: Lot No:
 Certificate of title No:

The assessable item related to this certificate: (description of the assessable item being certified)
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed


Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work
or

a building, temporary structure or plumbing installation:

 **Sorell Council**
Development Application: 5.2026.147.1 -
Development Application - 412 Sugarloaf Road,
Carlton River P1.pdf
Plans Reference: P1
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In issuing this certificate the following matters are relevant –

Documents:	The attached soil report for the address detailed above in 'details of work'
Relevant calculations:	Reference the above report.
References:	AS2870:2011 residential slabs and footings AS1726:2017 Geotechnical site investigations CSIRO Building technology file – 18.

Substance of Certificate: (what it is that is being certified)

Site Classification consistent with AS2870-2011.

Scope and/or Limitations

The classification applies to the site as inspected and does not account for future alteration to foundation conditions as a result of earth works, drainage condition changes or variations in site maintenance.

I, John-Paul Cumming certify the matters described in this certificate.

Qualified person:

Signed:

Certificate No:


Date:

J12745

11/03/2026




A handwritten signature in black ink, appearing to read 'John Paul Cumming', written over a light grey background.

 Sorell Council Development Application: 5.2026.147.1 - Development Application - 412 Sugarloaf Road, Carlton River P1.pdf Plans Reference: P1 Date Received: 05/05/2026

Wastewater system:

- Dual-purpose septic tank (min 4000L)
- Cut-off drain
- Three two-way splitter boxes
- Terraced Absorption Trenches
4 x 21m x 2m x 0.6m
- Min 3m separation
- Min 3m from upslope buildings
- Min 8m from downslope buildings
- Min 1.5m from upslope or level boundaries
- Min 8m from downslope boundary
- Min 43m from downslope surface water

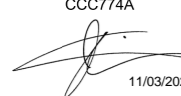
Refer to GES report



GES
GEO-ENVIRONMENTAL
SOLUTIONS

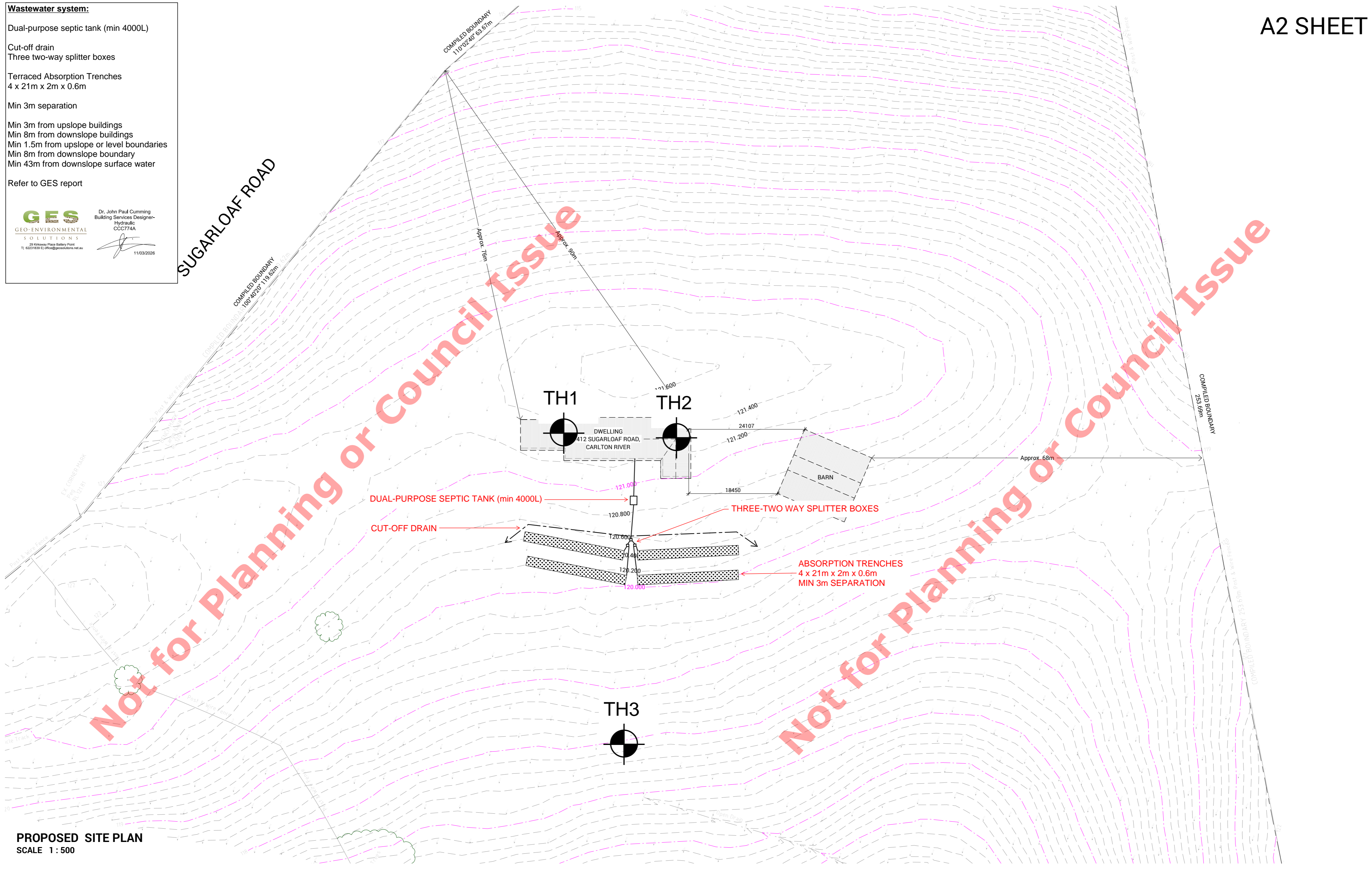
22 Kinkaidy Place Battery Point
T: 62231839 E: office@gesolutions.net.au

Dr. John Paul Cumming
Building Services Designer-
Hydraulic
CCC774A



11/03/2026

SUGARLOAF ROAD



PROPOSED SITE PLAN
SCALE 1 : 500

PROPOSED SITE PLAN	SHEET CONTENT:	PROPOSED SITE PLAN
	HOUSE TYPE:	Residential
	PROPERTY ADDRESS:	412 SUGARLOAF ROAD, CARLTON RIVER 7173 TAS
	CLIENT:	Adam Martin

SIGN OFF	CLIENT	I / WE: _____
	CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.	SIGNED: _____ DATE: _____
		SIGNED: _____ DATE: _____
		SIGNED: _____ DATE: _____
		SIGNED: _____ DATE: _____


GENERAL NOTES:

- * THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS.
- * FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE
- * UNLESS OTHERWISE DIMENSIONED ALL STUD WALL ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 240mm THICK.
- * DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD ETC.
- * REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.



Sorell Council

Development Application - 5.2026.147.1 -
Development Application - 412 Sugarloaf Road,
Carlton River P1.pdf
Plans Reference: P1
Date Received: 05/05/2026

 NORTH	SCALE A2: 1 : 500	SHEET NUMBER: 1.2	JOB NUMBER: 25-0146	
	DATE: 2026		JOB ISSUE: C	
	DRAWN: MD			
	CHECKED: MS			
REVISIONS	ISSUE	DATE	REVISION DESCRIPTION	INITIALS
	A	21/12/2025	PRELIMINARY PLANS	MD
	B	30/01/2026	PRELIMINARY PLANS	MD
	C	03/02/2026	CONSTRUCTION PLANS	MD

Design notes:

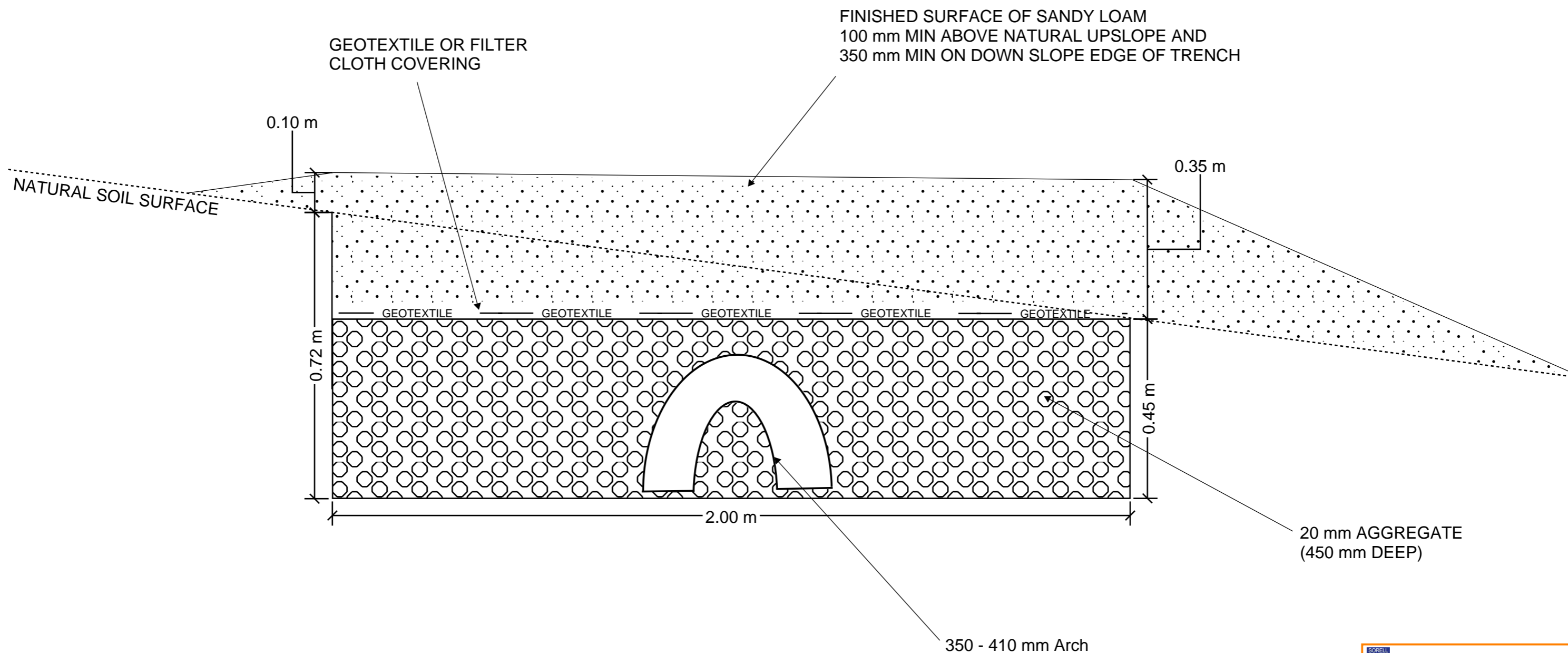
1. Absorption trench dimensions of up to 20m long by 0.45m deep by 2m wide
 – total storage volume calculated at average 35% porosity.
2. Base of trenches to be excavated level and smearing and compaction avoided.
3. 350-410mm Arch should be placed in the centre of trench
4. Geotextile or filter cloth to be placed over the distribution arch to prevent clogging
5. Construction on slopes up to 20% to allow trench depth range 720mm upslope edge to 450mm on down slope edge
6. Dispersive soils gypsum to be incorporated into the base of the trench at a rate of 1kg/m²
7. All works on site to comply with AS3500 and Tasmanian Plumbing code.



GEO-ENVIRONMENTAL

SOLUTIONS

29 Kirksway Place, Battery Point
 T| 62231839 E| office@geosolutions.net.au



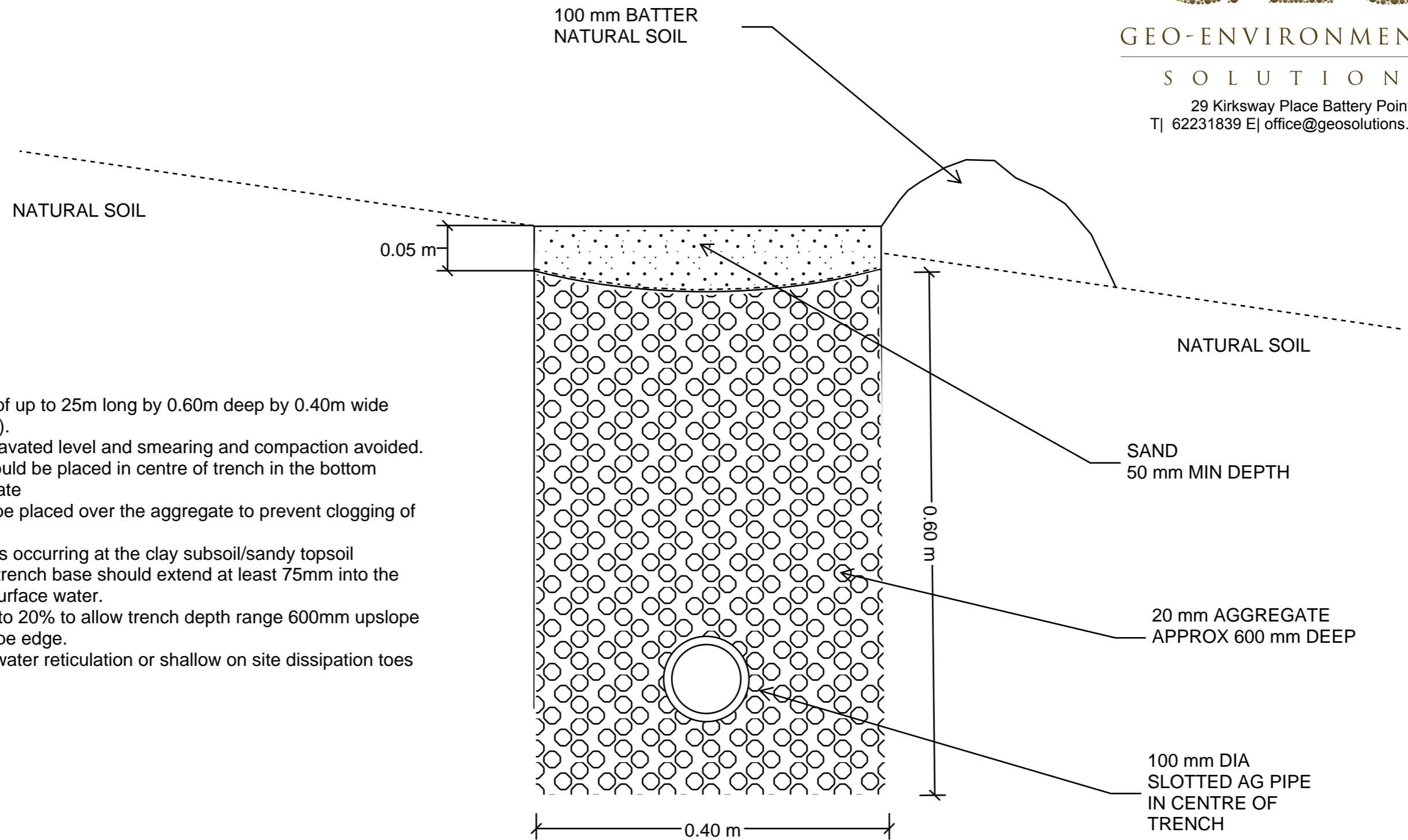
Sorell Council
 Development Application: 5.2026.147.1 -
 Development Application - 412 Sugarloaf Road,
 Carlton River P1.pdf
 Plans Reference: P1
 Date Received: 05/05/2026

Do not scale from these drawings.
 Dimensions to take precedence
 over scale.

Geo-Environmental Solutions


Terraced Absorption Trench Detail

Sheet 1 of 1



Design notes:

1. Cut-off trench dimensions of up to 25m long by 0.60m deep by 0.40m wide (depths and widths minimum).
2. Base of trenches to be excavated level and smearing and compaction avoided.
3. 100mm slotted ag-pipe should be placed in centre of trench in the bottom 100mm of the 20mm aggregate
4. Geotextile or filter cloth to be placed over the aggregate to prevent clogging of the pipes and aggregate
5. If shallow subsurface flow is occurring at the clay subsoil/sandy topsoil boundary (duplex soils), the trench base should extend at least 75mm into the subsoil clay to capture sub-surface water.
6. Construction on slopes up to 20% to allow trench depth range 600mm upslope edge to 400mm on down slope edge.
7. Trench discharge to stormwater reticulation or shallow on site dissipation toes across the contour.

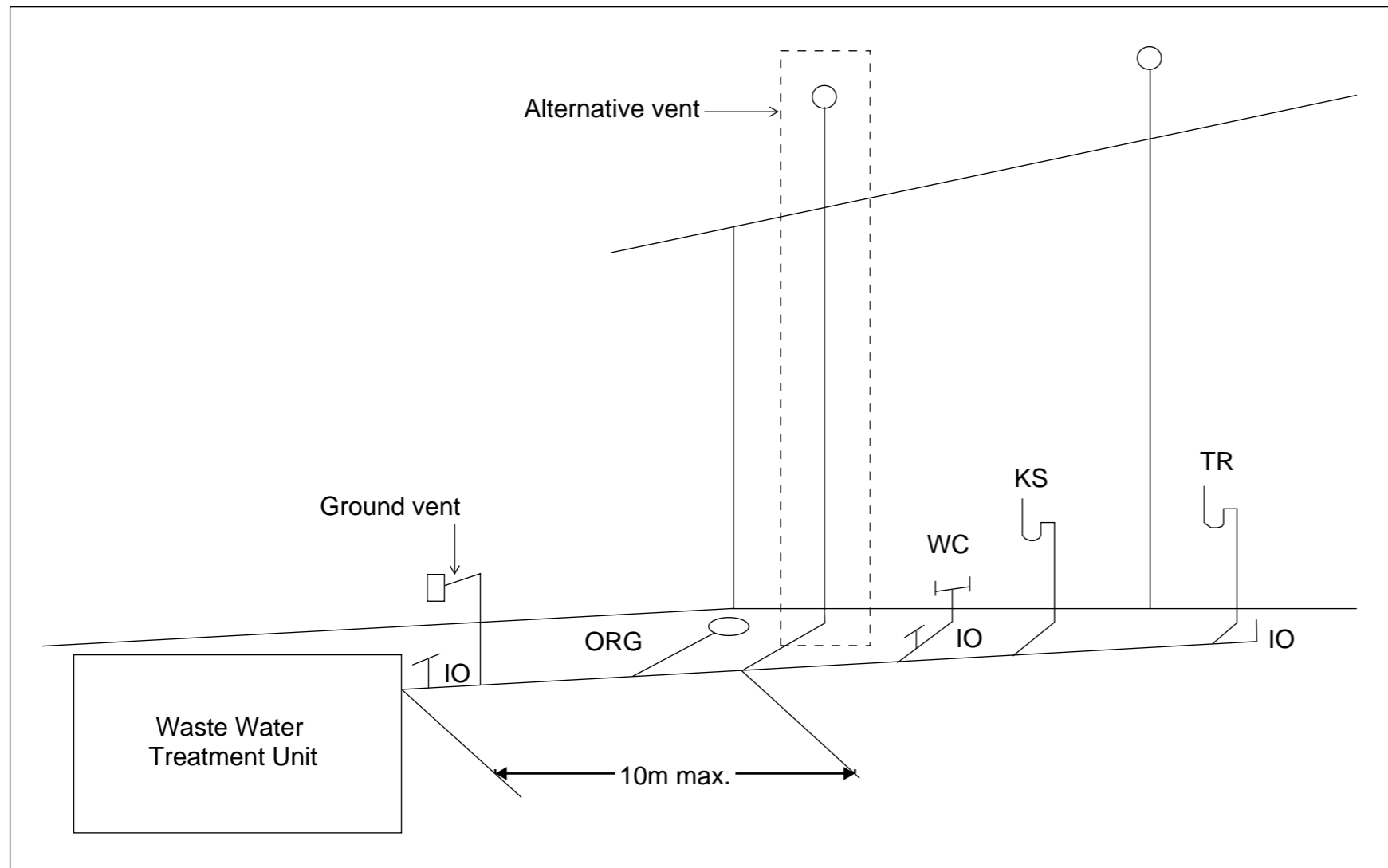
 **Sorell Council**
Development Application: 5.2026.147.1 -
Development Application - 412 Sugarloaf Road,
Carlton River P1.pdf
Plans Reference: P1
Date Received: 05/05/2026

**Do not scale from these drawings.
Dimensions to take precedence
over scale.**

Geo-Environmental Solutions

Cut-Off Drain Detail

Sheet 1 of 1



Tas Figure C2D6 Alternative Venting Arrangements

Vents must terminate in accordance with AS/NZS 3500.2

Alternative venting to be used by extending a vent to terminate as if an upstream vent, with the vent connection between the last sanitary fixture or sanitary appliance and the on-site wastewater management system. Use of a ground vent is not recommended

Inspection openings must be located at the inlet to an on-site wastewater management system treatment unit and the point of connection to the land application system and must terminate as close as practicable to the underside of an approved inspection opening cover installed at the finished surface level

Access openings providing access for desludging or maintenance of on-site wastewater management system treatment units must terminate at or above finished surface level

412 Sugarloaf Road Carlton River

 **Sorell Council**
Development Application: 5.2026.147.1 -
Response to Request For Information - 412
Sugarloaf Road, Carlton River - P2.pdf
Plans Reference: P2
Date received: 18/05/2025



Scale at A4

Navigation icons: a person icon, a gear icon, a '3D' button, a compass icon, and a zoom control with minus and plus signs.

SUBMISSION LETTER

Sorell Council
PO Box 126
Sorell TAS 7172

28 May 2026

Re: 5.2026-147.1 – 412 Sugarloaf Road, Carlton River

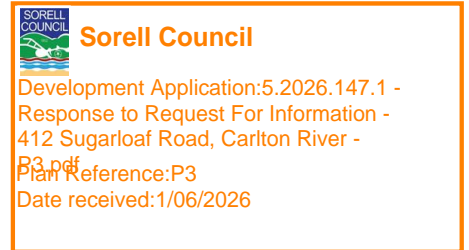
Please find attached the requested agronomic assessment report prepared in response to Council's request for additional information under Section 54 of the Land Use Planning and Approvals Act 1993.

The report addresses Clause 21.3.1(P4)(a) and (b) of the Tasmanian Planning Scheme – Sorell in relation to the proposed residential use within the Agriculture Zone.

Should Council require any further information, please do not hesitate to contact us.

Yours faithfully,

Adam Martin



AGRONOMIC ASSESSMENT REPORT

412 Sugarloaf Road, Carlton River TAS

Prepared for: Adam Martin & Belinda Harper

Date: 28 May 2026

1. Purpose of Report

This report has been prepared in response to a request for additional information issued by Sorell Council regarding the proposed residential use at 412 Sugarloaf Road, Carlton River within the Agriculture Zone under the Tasmanian Planning Scheme - Sorell.

The report provides an agronomic opinion regarding the agricultural capability of the land and addresses Clause 21.3.1(P4)(a) and (b) in relation to residential development within the Agriculture Zone.

2. Site Description

The subject land at 412 Sugarloaf Road, Carlton River comprises a rural allotment containing a mixture of cleared land and native vegetation typical of the local area.

The surrounding locality is characterised by a mix of rural living properties, small lifestyle holdings, and limited agricultural activity. The area is not dominated by intensive or broadacre commercial farming.

The proposed dwelling is to be located within an existing cleared area and occupies a relatively small footprint compared with the overall landholding.

3. Agricultural Capability Assessment

Based on the observed characteristics of the site and surrounding area, the land is considered to have limited capability for intensive or highly productive agricultural use.

- Variable soil depth and quality across the site;
- Topographical and vegetation constraints;
- Limited scale for economically viable commercial agriculture;
- Existing rural residential pattern within the locality;
- Absence of substantial agricultural infrastructure or intensive agricultural use.

The land is therefore considered more suitable for low-intensity rural living and ancillary rural activities than for ongoing commercial agriculture.

4. Response to Clause 21.3.1(P4)

In relation to Clause 21.3.1(P4)(a) and (b) of the Tasmanian Planning Scheme - Sorell, it is considered that the proposed residential use:

- Will not result in a significant loss of productive agricultural land;
- Will not unreasonably constrain or conflict with surrounding agricultural activities;
- Will not fragment viable agricultural land holdings;
- Is compatible with the established rural character and development pattern of the locality;
- Will have minimal impact on the agricultural capability and productivity of the site.

5. Conclusion

In my opinion, the proposed residential use at 412 Sugarloaf Road, Carlton River is unlikely to adversely affect the agricultural productivity of the land or surrounding agricultural operations.


The site has limited capability for productive agriculture and the proposal is considered consistent with the intent of Clause 21.3.1(P4)(a) and/or (b) of the Tasmanian Planning Scheme - Sorell.

Prepared by: Nicholas

Moore Ferrar

0419545046

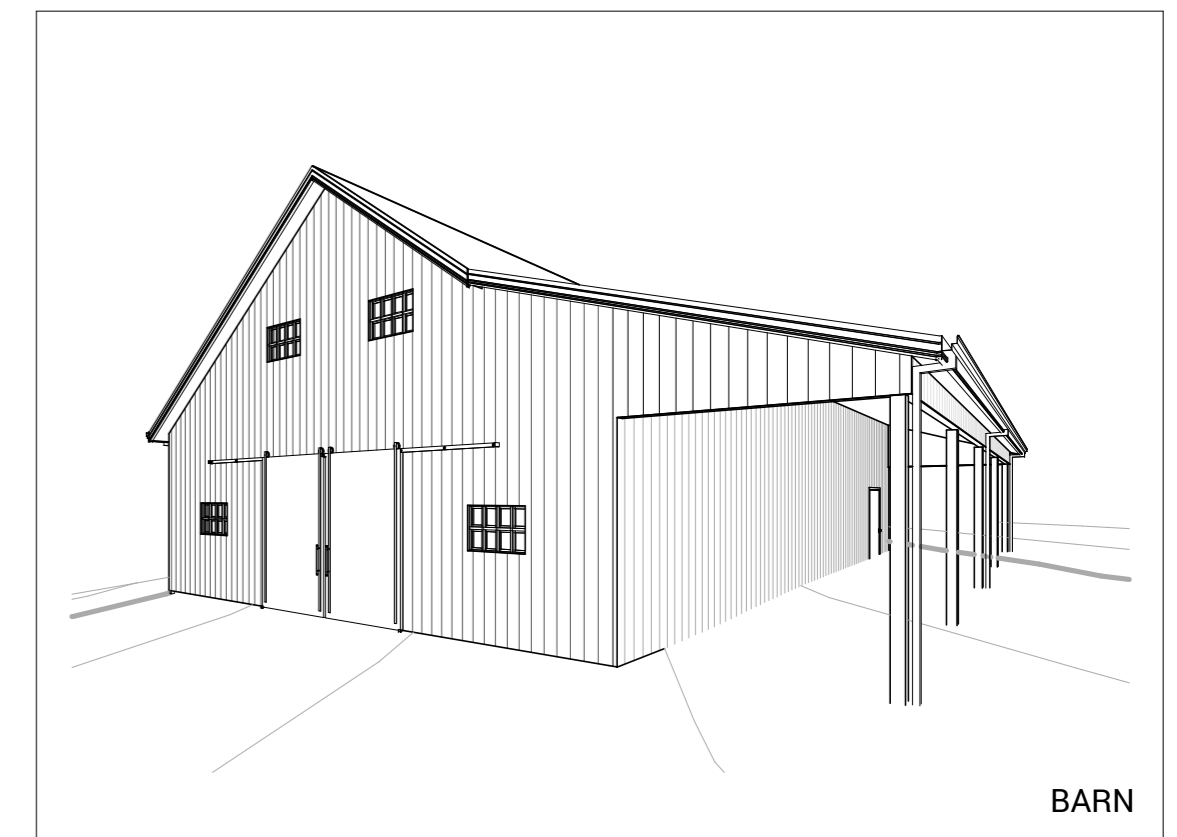
Senior Agronomist.



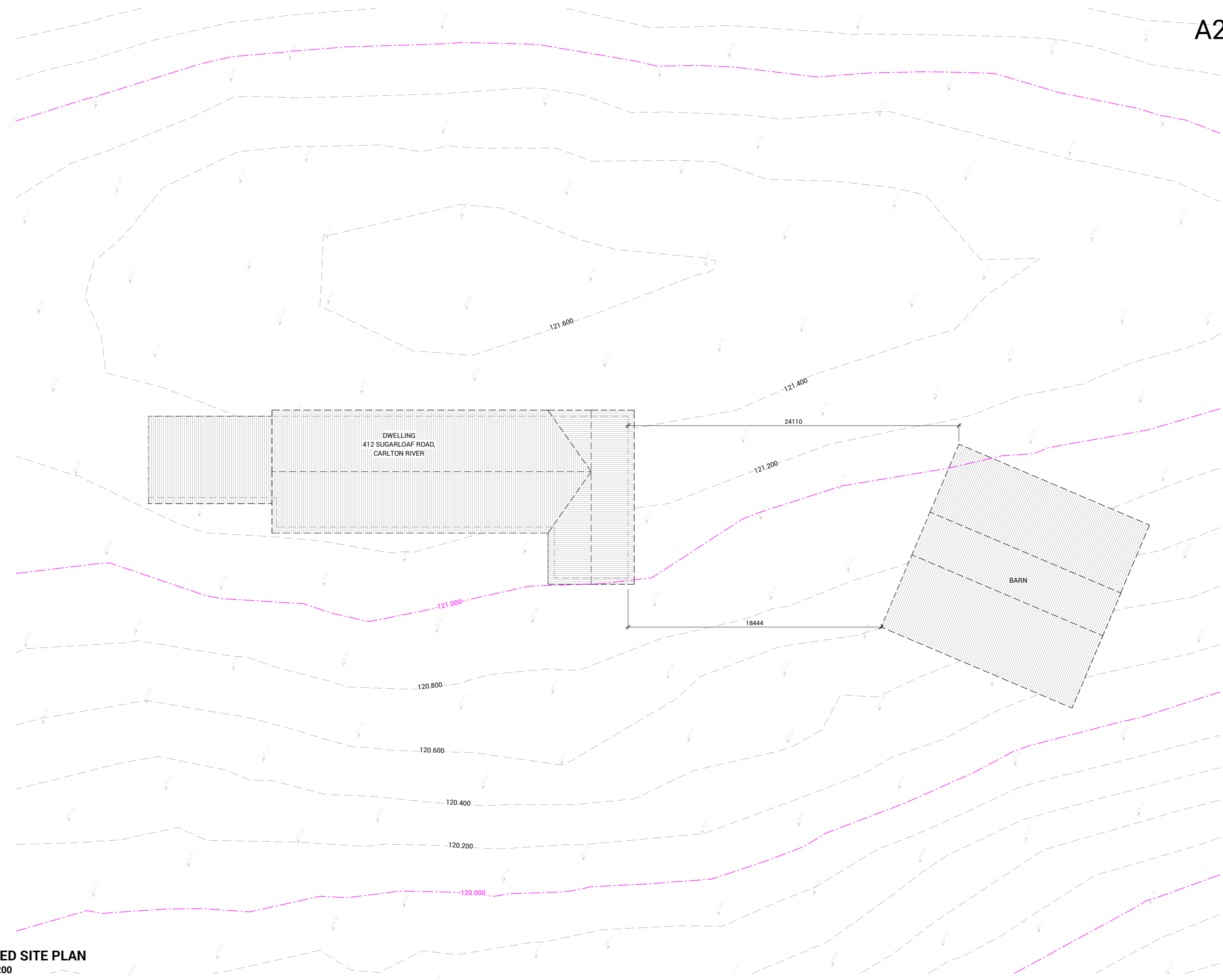
412 SUGARLOAF ROAD

CARLTON RIVER 7173 TAS

SHEET INDEX			
NUMBER	NAME	NUMBER	NAME
1.1	PROPOSED SITE PLAN	14.1	WALL SECTION DETAIL - DWELLING
1.2	PROPOSED SITE PLAN	14.2	CBOS - CONDENSATION WALL SECTION DETAIL
2.1	CUT & FILL PLAN	15.1	WATER PROOFING DETAIL - DWELLING
3.1	SLAB / FLOOR LAYOUT - DWELLING	15.2	WATER PROOFING DETAIL - DWELLING
3.2	SLAB / FLOOR LAYOUT - BARN	15.3	WATER PROOFING DETAIL - DWELLING
4.1	ROOF PLAN AND DRAINAGE - DWELLING	15.4	WATER PROOFING DETAIL - DWELLING
4.2	ROOF PLAN AND DRAINAGE - BARN	15.5	WATER PROOFING DETAIL - DWELLING
5.1	PROPOSED FLOOR PLAN - DWELLING	16.1	GROUND FLOOR PLAN - BARN
6.1	LIVABLE HOUSING DESIGN STANDARD	16.2	FIRST FLOOR PLAN - BARN
7.1	ELEVATIONS - DWELLING	17.1	ELEVATIONS - BARN
8.1	SECTIONS - DWELLING	18.1	SECTIONS - BARN
9.1	FLOOR COVERING PLAN - DWELLING	19.1	FLOOR COVERING PLAN - BARN
10.1	ELECTRICAL PLAN - DWELLING	20.1	ELECTRICAL PLAN - BARN
11.1	DOOR & WINDOW SCHEDULE - DWELLING	21.1	DOOR & WINDOW SCHEDULE - BARN
12.1	KITCHEN, ENSUITE - DWELLING	22.1	STAIR PLAN & DETAILS, GENERAL NOTES
13.1	LAUNDRY, BATH - DWELLING		



LEGEND	
	- GAS METER
	- HOT WATER SYSTEM
	- METER BOX
	- TITLE PEG
	- SEWER VENT / I.S.
	- TELSTRA PIT
	- TREE
	- STREET SIGN
	- SEWER MANHOLE
	- ELECT. PIT
	- ELEC. POLE
	- SIDE ENTRY PIT
	- WATER VALVE
	- S/W PROPERTY INLET
	- WATER METER
	- STORM WATER PIT
	- TBM
	- HABITABLE ROOM WINDOW
	- SIGN STAMPED ON CONCRETE KERB
	- NON-HABITABLE ROOM WINDOW
	- PRIVATE OPEN SPACE
	- POWERLINES
	- PROPOSED FENCE
	- EXISTING FENCE
	- SEWER PIPE
	- STORM WATER PIPE
	- EASEMENT
	- SILT PIT
	- AG DRAIN
	- RETAINING WALL



PROPOSED SITE PLAN
SCALE 1 : 200

Sorell Council
Development Application: 5.2026.147.1 -
Response to Request For Information - 412
Sugarloaf Road, Carlton River - P2.pdf
Plans Reference: P2
Date received: 18/05/2026

AREAS	
Dwelling	227.077 m ²
Carport	59.653 m ²
Barn	204.250 m ²
Site Area	13.5 ha
Site Coverage	490.980 m ²
Permeable Coverage	99.64 %
Site Coverage	0.36 %

draftee
1202 G/470 St Kilda Road, Melbourne VIC 3004
Phone: 61 3 8687 2118
Email: info@draftee.com.au
DP-AD 66464
TAS 400648168
QLD 1512260

SHEET CONTENT:
PROPOSED SITE PLAN
HOUSE TYPE:
Residential
PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS
CLIENT:
Adam Martin

CLIENT
I / WE _____
CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.
SIGNED: _____ **DATE:** _____
SIGNED: _____ **DATE:** _____

GENERAL DRAFTING NOTES:
* THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS.
* FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE
* UNLESS OTHERWISE DIMENSIONED ALL STUD WALL ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 240mm THICK.
* DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD ETC.
* REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.

BUILDER SPECIFICATION:
PLANS ARE DRAWN IN ACCORDANCE WITH AS111 AUSTRALIAN STANDARD FOR THE DRAFTING - FOR ALL PERMIT APPLICATIONS THE BUILDER / OWNER BUILDER TO SUPPORT THE PLANS WITH BUILDER SPECIFICATION ON MATERIALS AND METHODS IN ACCORDANCE WITH NCC2022 - GOVERNING REQUIREMENTS ASGI - SUITABILITY

REVISIONS			
ISSUE	DATE	REVISION DESCRIPTION	INITIALS
A	21/12/2025	PRELIMINARY PLANS	MD
B	30/01/2026	PRELIMINARY PLANS	MD
C	03/02/2026	PRELIMINARY PLANS	MD
D	28/02/2026	CONSTRUCTION PLANS	MD
E	14/05/2026	APPROVED FOR CONSTRUCTION	MD

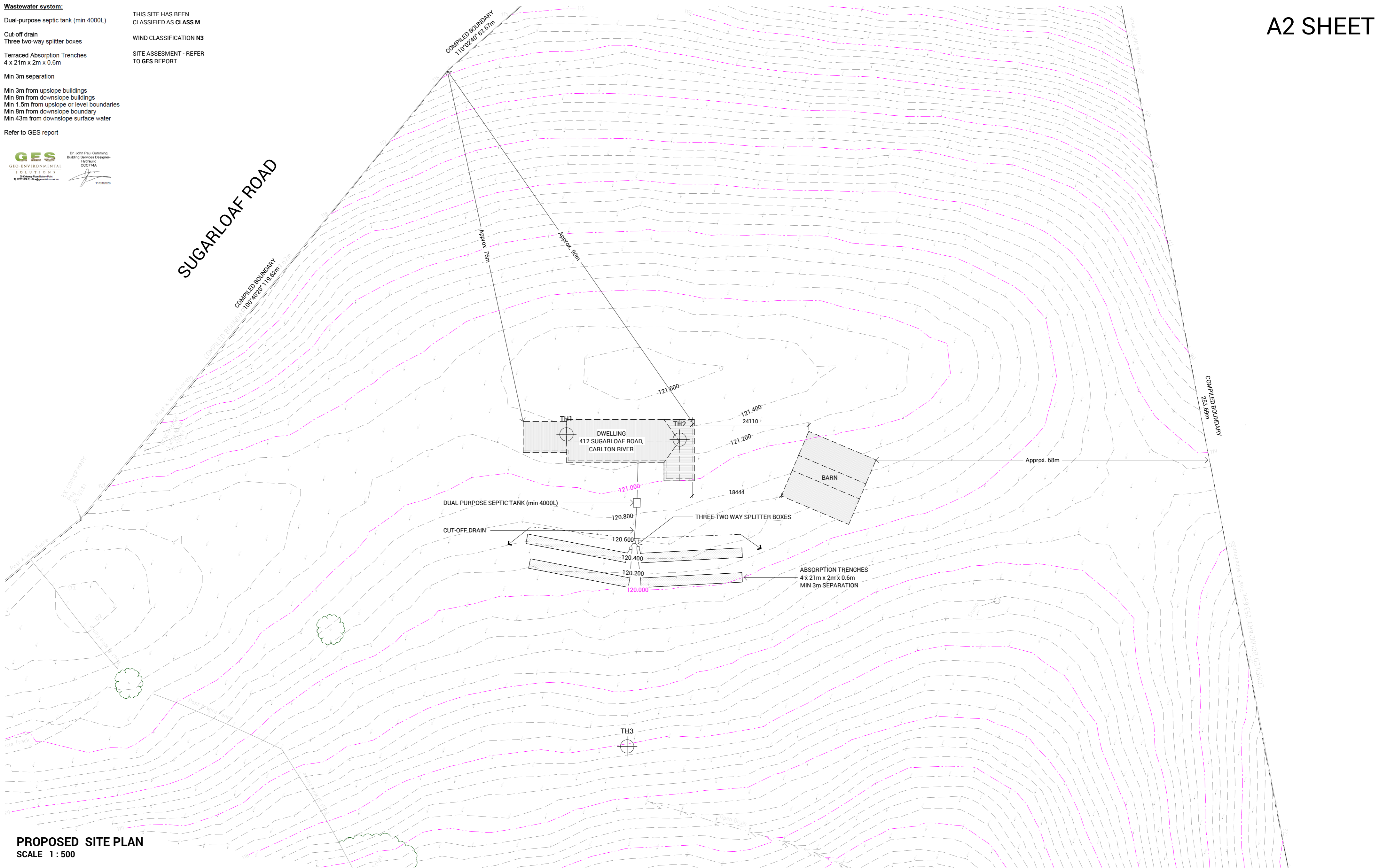
NORTH:
SCALE: 1:200 @ A2
DATE: 2026
DRAWN: MD
CHECKED: MS
SHEET NUMBER: 1.1
JOB NUMBER: 25-0146
JOB ISSUE: E

Wastewater system:
 Dual-purpose septic tank (min 4000L)
 Cut-off drain
 Three two-way splitter boxes
 Terraced Absorption Trenches
 4 x 2.1m x 2m x 0.6m
 Min 3m separation
 Min 3m from upslope buildings
 Min 8m from downslope buildings
 Min 1.5m from upslope or level boundaries
 Min 8m from downslope boundary
 Min 43m from downslope surface water
 Refer to GES report

THIS SITE HAS BEEN CLASSIFIED AS CLASS M
 WIND CLASSIFICATION N3
 SITE ASSESSMENT - REFER TO GES REPORT



SUGARLOAF ROAD



PROPOSED SITE PLAN
 SCALE 1 : 500



1202 G/470 St Kilda Road, Melbourne VIC 3004
 Phone: 61 3 8687 2118
 Email: info@draftee.com.au
 DP-AD 66464
 TAS 4006481168
 QLD 15127260

SHEET CONTENT:
 PROPOSED SITE PLAN
HOUSE TYPE:
 Residential
PROPERTY ADDRESS:
 412 SUGARLOAF ROAD
 CARLTON RIVER 7173 TAS
CLIENT:
 Adam Martin

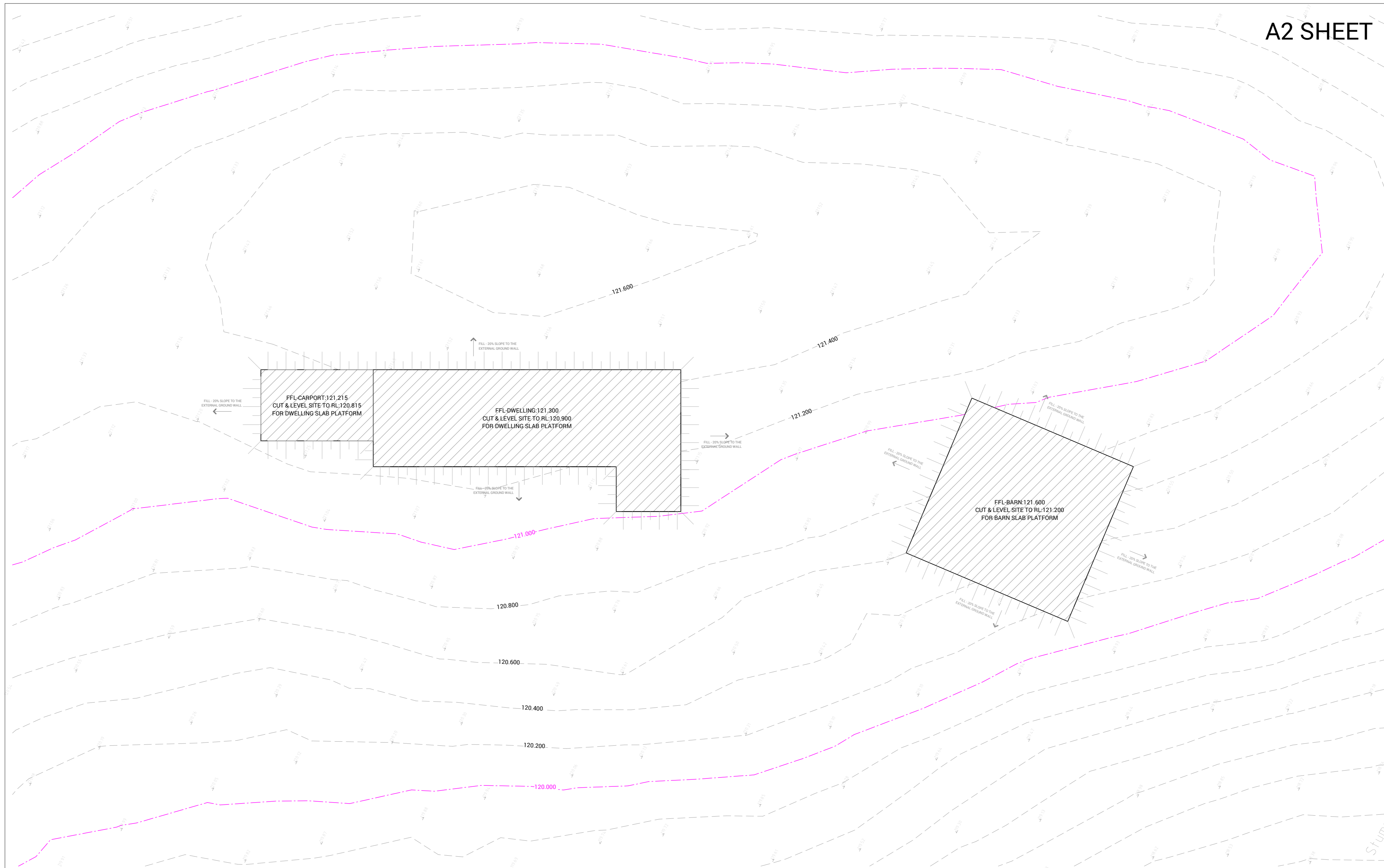
CLIENT
 I / WE: _____
 CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.
 SIGNED: _____ DATE: _____
 SIGNED: _____ DATE: _____

GENERAL DRAFTING NOTES:
 * THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS.
 * FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE
 * UNLESS OTHERWISE DIMENSIONED ALL STUD WALL ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 240mm THICK.
 * DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD ETC.
 * REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.

BUILDER SPECIFICATION:
 PLANS ARE DRAWN IN ACCORDANCE WITH AS111 AUSTRALIAN STANDARD FOR THE DRAFTING - FOR ALL PERMIT APPLICATIONS THE BUILDER / OWNER BUILDER TO SUPPORT THE PLANS WITH BUILDER SPECIFICATION ON MATERIALS AND METHODS IN ACCORDANCE WITH NCC2022 - GOVERNING REQUIREMENTS ASGI - SUITABILITY

Sorell Council
 Development Application: 5.2026.147.1 -
 Response to Request For Information - 412
 Sugarloaf Road, Carlton River - P2.pdf
 Plans Reference: P2
 Date received: 18/05/2026

NORTH		SCALE: 1:500 @ A2	SHEET NUMBER: 1.2	JOB NUMBER: 25-0146
DATE: 2026		DRAWN: MD	CHECKED: MS	JOB ISSUE: E
ISSUE	DATE	REVISION DESCRIPTION	INITIALS	
A	21/12/2025	PRELIMINARY PLANS	MD	
B	30/01/2026	PRELIMINARY PLANS	MD	
C	03/02/2026	PRELIMINARY PLANS	MD	
D	28/02/2025	CONSTRUCTION PLANS	MD	
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 Phone: 61 3 8687 2118
 Email: info@draftee.com.au
 DP-AD 66464
 TAS 400648168
 QLD 15127260

SHEET CONTENT:
 CUT & FILL PLAN
HOUSE TYPE:
 Residential
PROPERTY ADDRESS:
 412 SUGARLOAF ROAD
 CARLTON RIVER 7173 TAS
CLIENT:
 Adam Martin

CLIENT
 I/ WE _____

 CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.
SIGN OFF
 SIGNED: _____ DATE: _____
 SIGNED: _____ DATE: _____

GENERAL DRAFTING NOTES:
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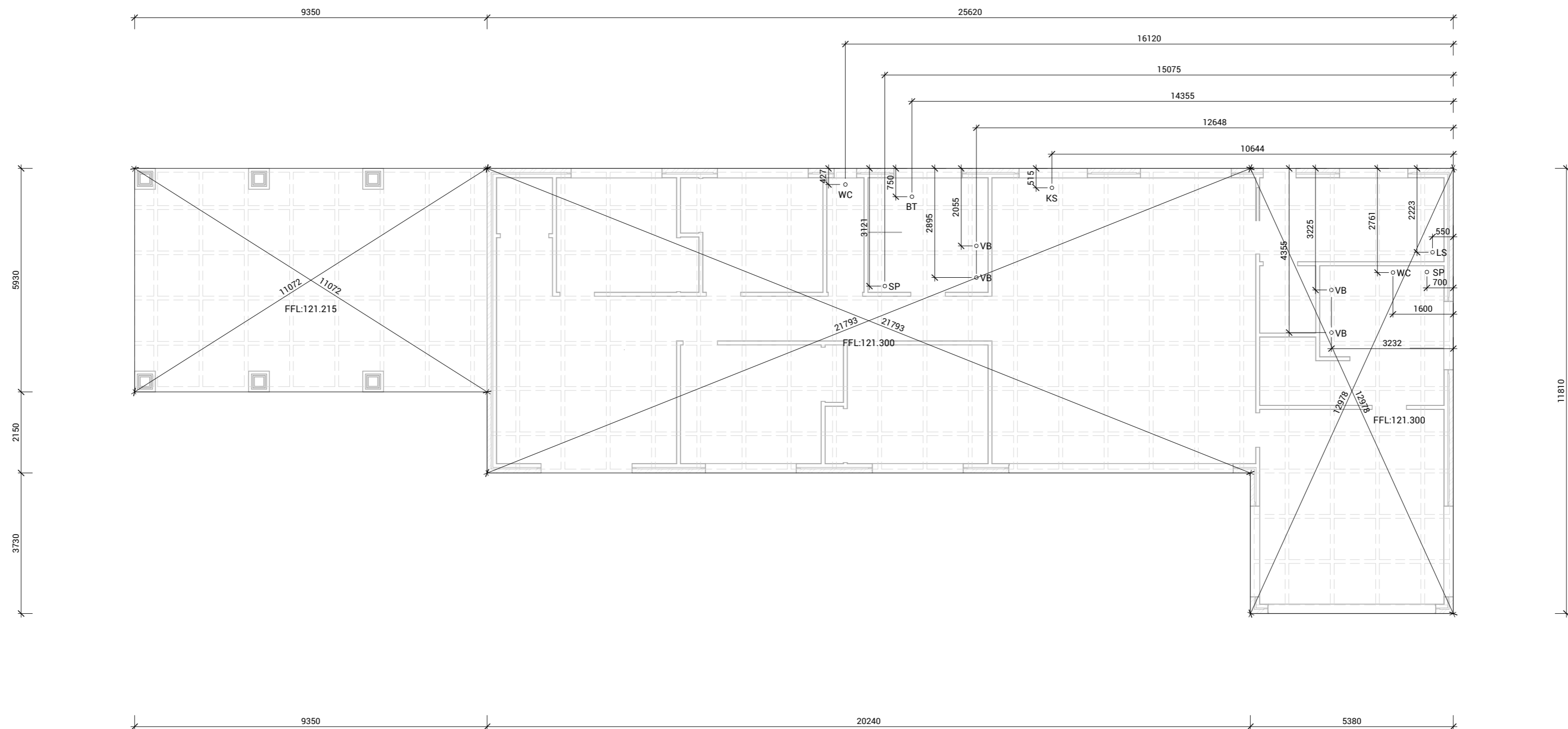
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DATE: 2026		DRAWN: MD	CHECKED: MS	JOB ISSUE: E
ISSUE	DATE	REVISION DESCRIPTION	INITIALS	
A	21/12/2025	PRELIMINARY PLANS	MD	
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DRAINER'S NOTE:
 THE TOILET PANS HAVE BEEN SET OUT AT AN AVERAGE OF 240mm FROM BRICK REBATE EDGE (STANDARD 140mm S TRAP). CHECK WITH BUILDER FOR WC TYPE AND WALL THICKNESS BEFORE PROCEEDING TO SET OUT OF DRAINS.

NOTE: FLOOR LAYOUT
 SUGGESTED LAYOUT ONLY, REFER TO ENGINEER'S DESIGN & SPECIFICATIONS

A2 SHEET

LEGEND:
 WC - Toilet pan bowl point
 VB - Vanity Basin point
 KS - Kitchen Sink point
 LS - Laundry Sink Point
 SP - Shower point
 BT - Bathtub point



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 TAS 400648168
 QLD 15127260

SHEET CONTENT:
 SLAB / FLOOR LAYOUT - DWELLING

HOUSE TYPE:
 Residential

PROPERTY ADDRESS:
 412 SUGARLOAF ROAD
 CARLTON RIVER 7173 TAS

CLIENT:
 Adam Martin

CLIENT

I / WE: _____

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.

SIGNED: _____ DATE: _____

SIGNED: _____ DATE: _____

GENERAL DRAFTING NOTES:

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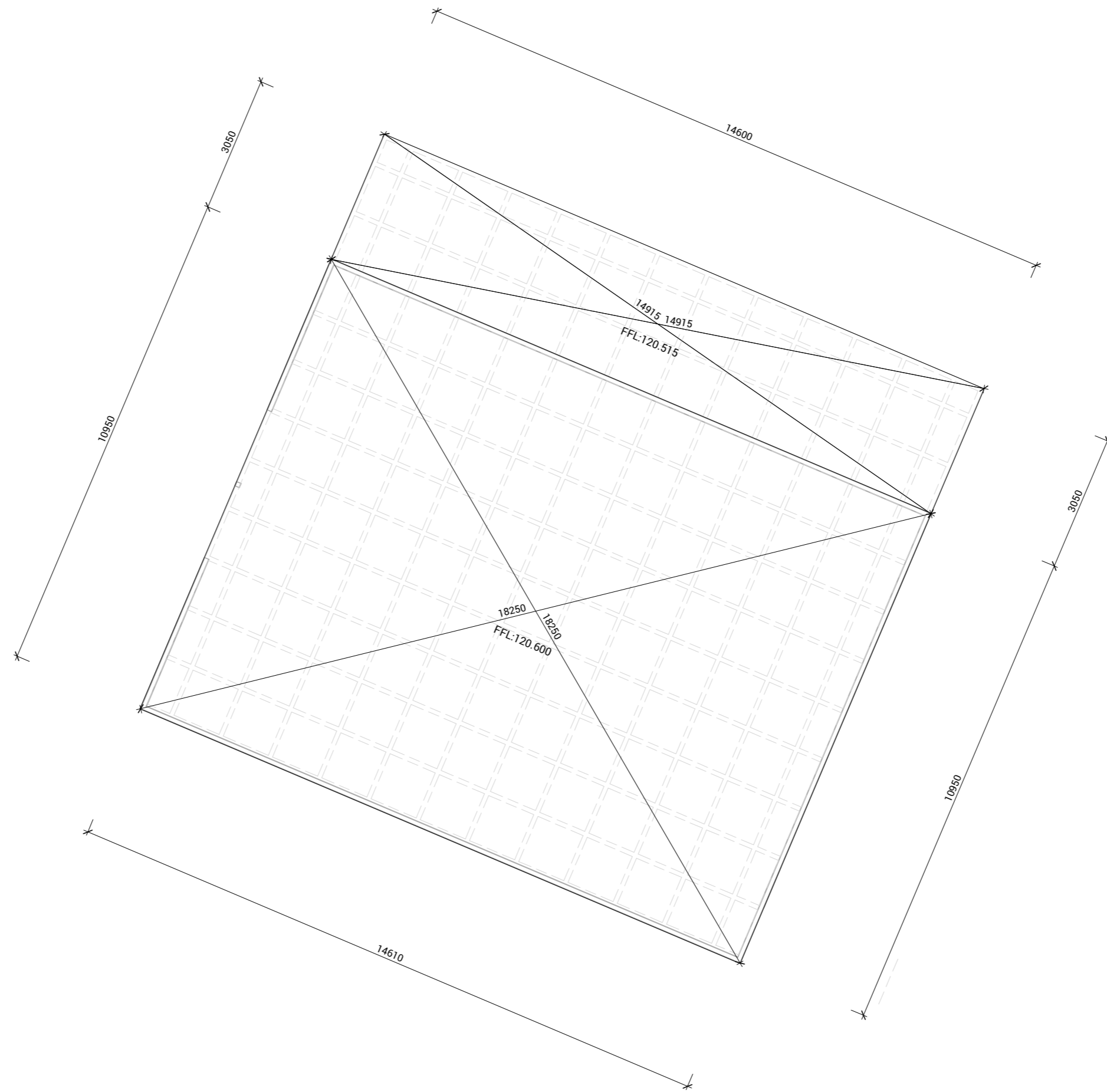
BUILDER SPECIFICATION:

PLANS ARE DRAWN IN ACCORDANCE WITH AS111 AUSTRALIAN STANDARD FOR THE DRAFTING - FOR ALL PERMIT APPLICATIONS THE BUILDER / OWNER BUILDER TO SUPPORT THE PLANS WITH BUILDER SPECIFICATION ON MATERIALS AND METHODS IN ACCORDANCE WITH NCC2022 - GOVERNING REQUIREMENTS ASGI - SUITABILITY

Sorell Council

Development Application: 5.2026.147.1 -
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 Sugarloaf Road, Carlton River - P2.pdf
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NORTH:		SCALE: 1:100 @ A2	SHEET NUMBER: 3.1	JOB NUMBER: 25-0146
		DATE: 2026		JOB ISSUE: E
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DP-AD 66464
TAS 4006481168
QLD 15127260

SHEET CONTENT:
SLAB / FLOOR LAYOUT - BARN

HOUSE TYPE:
Residential

PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS

CLIENT:
Adam Martin

CLIENT

I / WE: _____

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND
AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.

SIGNED: _____ DATE: _____

SIGNED: _____ DATE: _____

SIGN OFF

GENERAL DRAFTING NOTES:

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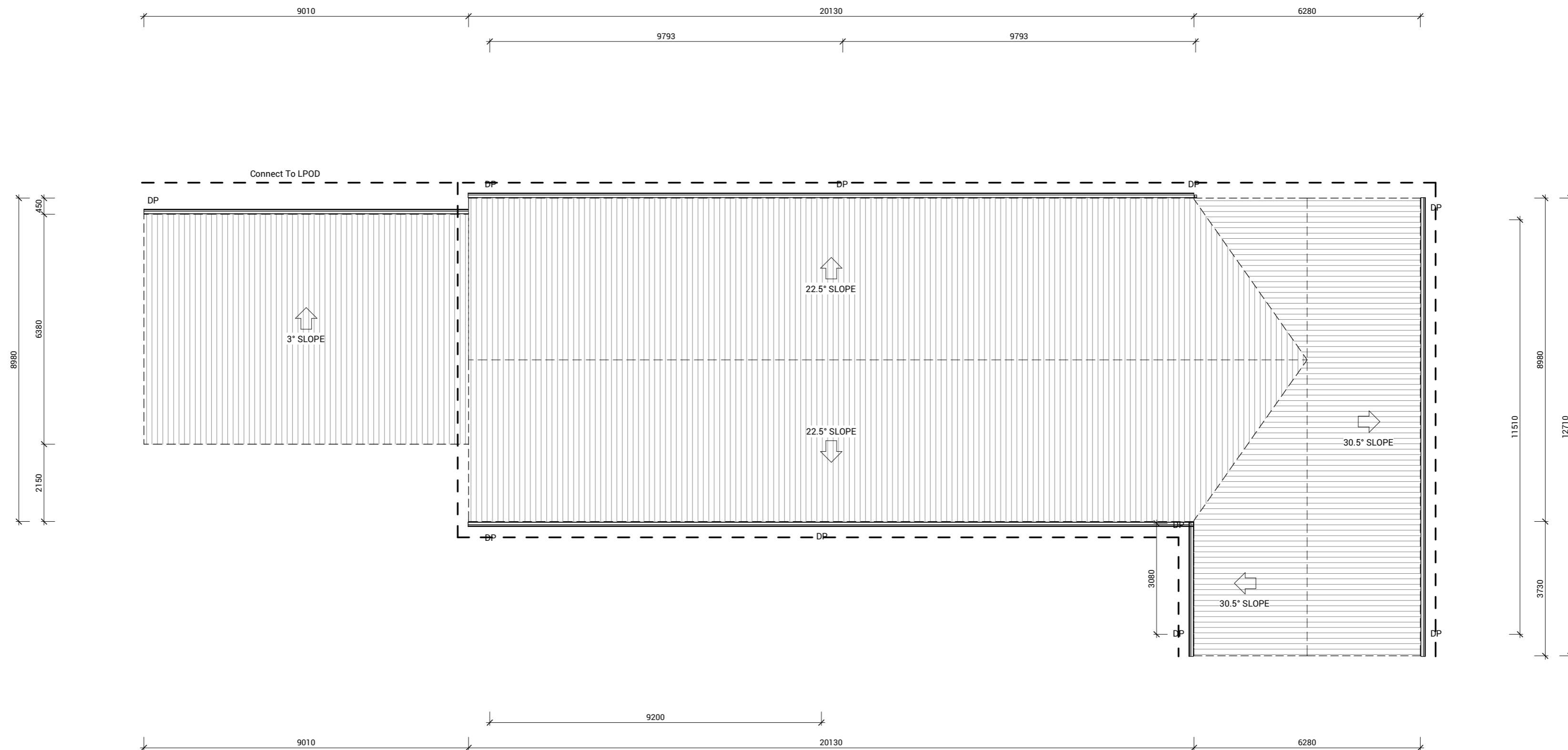
NOTE:
IN ACCORDANCE WITH NCC2022T H2P1 RAINWATER
MANAGEMENT AND DESIGN AND AS 3500

NOTE:
IN ACCORDANCE WITH ABCB BUILDING PROVISIONS
PART 7.2.7

LEGEND:

ROOF LINE - - - - -

STORM WATER PIPE - - - - -



ROOF PLAN & DRAINAGE - DWELLING
SCALE 1 : 100



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Phone: 61 3 8687 2118
Email: info@draftee.com.au
DP-AD 66464
TAS 4006481168
QLD 15127260

SHEET CONTENT:
ROOF PLAN AND DRAINAGE - DWELLING

HOUSE TYPE:
Residential

PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS

CLIENT:
Adam Martin

CLIENT

I / WE _____

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND
AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.

SIGNED _____ DATE _____

SIGNED _____ DATE _____

SIGN OFF

GENERAL DRAFTING NOTES:

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LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS.

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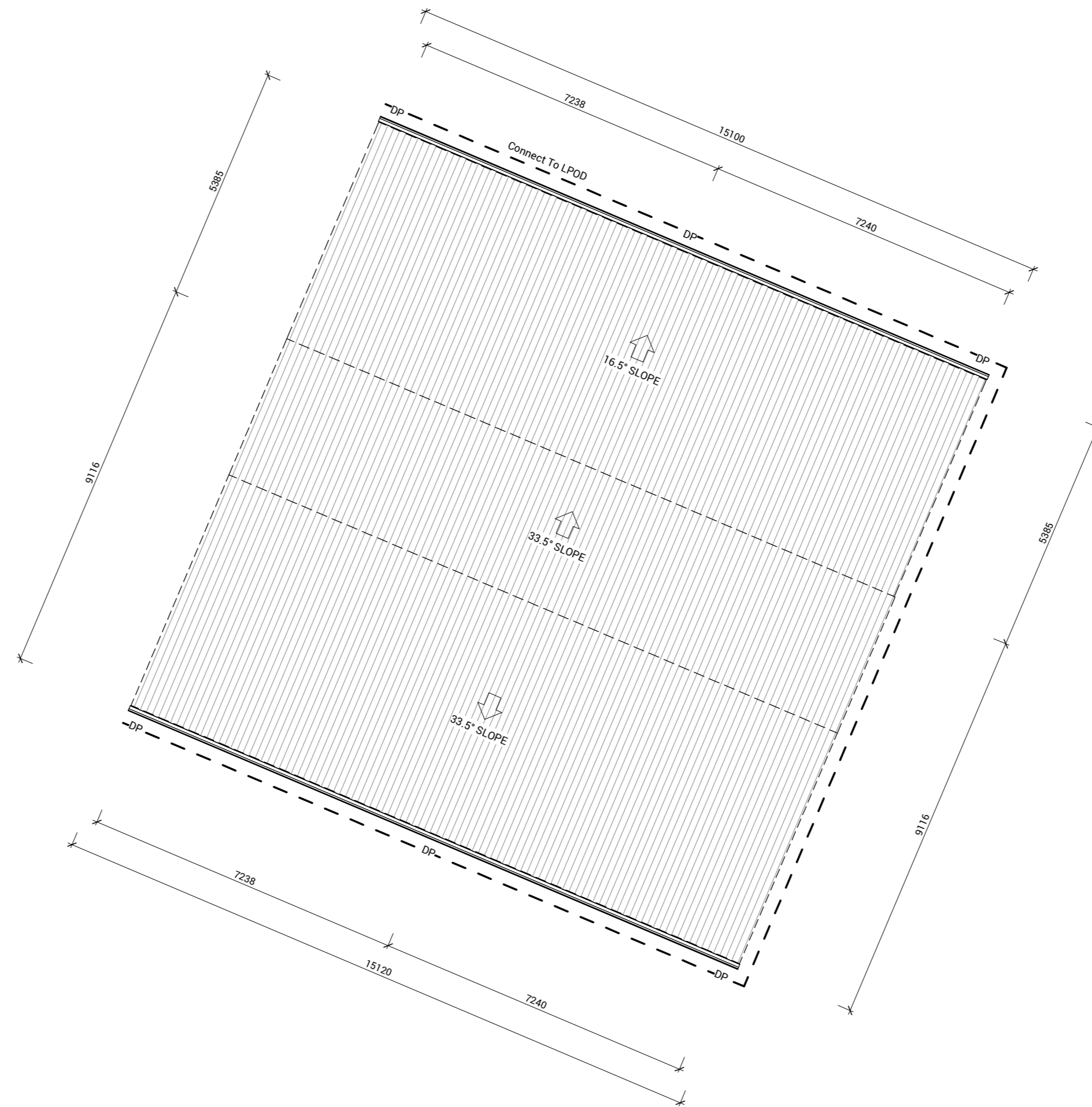
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Sorell Council
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ISSUE	DATE	REVISION DESCRIPTION	INITIALS	
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LEGEND:

- ROOF LINE - - - - -
- STORM WATER PIPE - - - - -



ROOF PLAN & DRAINAGE - BARN
SCALE 1 : 100



1202 G/470 St Kilda Road, Melbourne VIC 3004
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Email: info@draftee.com.au
DP-AD 66464
TAS 4006481168
QLD 15127260

SHEET CONTENT:
ROOF PLAN AND DRAINAGE - BARN

HOUSE TYPE:
Residential

PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS

CLIENT:
Adam Martin

CLIENT

I / WE: _____

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND
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SIGN OFF

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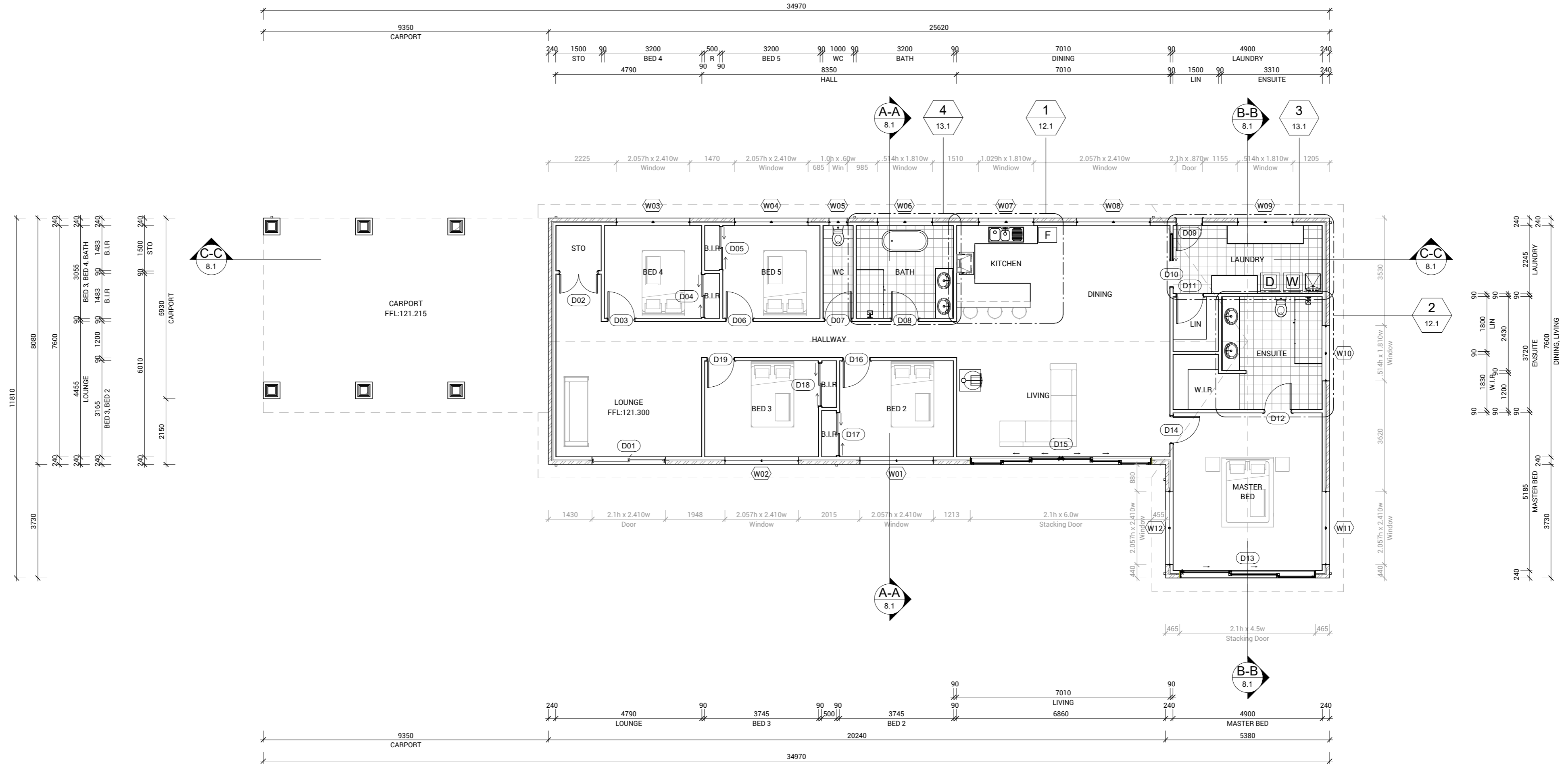
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		DATE: 2026		JOB ISSUE: E
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ISSUE	DATE	REVISION DESCRIPTION	INITIALS	
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C	03/02/2026	PRELIMINARY PLANS	MD	
D	28/02/2026	CONSTRUCTION PLANS	MD	
E	14/05/2026	APPROVED FOR CONSTRUCTION	MD	

NOTE:
ALL WATERPROOFING IN ACCORDANCE WITH ABCB HOUSING PROVISIONS
PART 10.2 WET AREA WATERPROOFING AND IN ACCORDANCE WITH AS
3740-2012- WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.

NOTE:
APPROXIMATE DIMENSIONS SCALED FROM SUPPLIED PLANS



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Email: info@draftee.com.au
DP-AD 66464
TAS 400648168
QLD 1512760

SHEET CONTENT:
PROPOSED FLOOR PLAN - DWELLING

HOUSE TYPE:
Residential

PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS

CLIENT:
Adam Martin

CLIENT

I / WE: _____

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND
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SIGNED: _____ DATE: _____

SIGNED: _____ DATE: _____

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BUILDER SPECIFICATION:

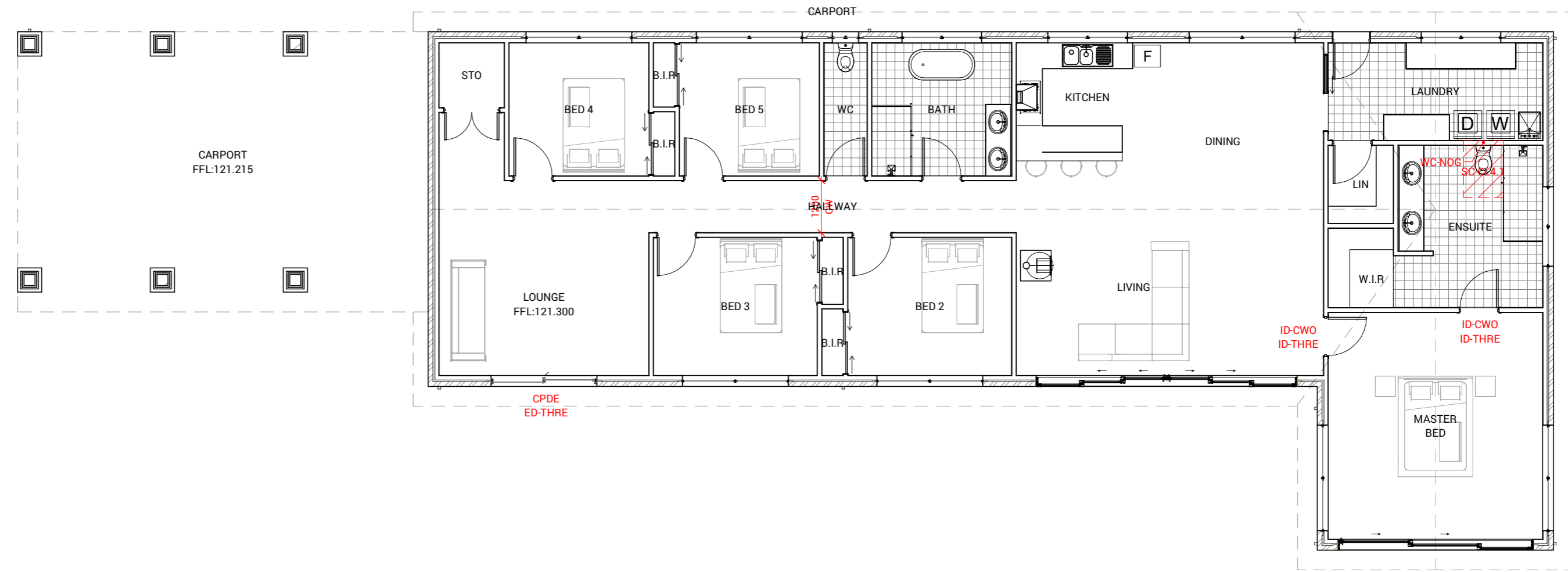
PLANS ARE DRAWN IN ACCORDANCE WITH AS111
AUSTRALIAN STANDARD FOR THE DRAFTING - FOR ALL
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NCC2022 - GOVERNING REQUIREMENTS ASGI -
SUITABILITY



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LIVABLE HOUSING REQUIREMENTS - NCC2022 PART H8	
CPDE	Continuous path dwelling entrance
ED-THRE	Clause 2.2 of the Standard provides 4 options for complying with the threshold requirements for an entrance door subject to Clause 2.1
D-CWO	Designated door connects to the step-free path in accordance with Clause 1.1(2). The Standard requires a clear opening width of 820 mm for the designated entrance door
CW	Minimum clear width of 1000 mm is required for corridors, hallways, and the like if they are connected to a door that is subject to Clause 3.1
ID-CWO	Clause 3.1 requires internal doorways to have a minimum clear opening of 820 mm, regardless of the type of door used
ID-THRE	The thresholds of internal doorways, subject to Clause 3.1
SC-CL4.1	Sanitary compartment that is subject to Clause 4.1. A clear zone of 900 mm x 1200 mm immediately in front of the front edge of the toilet pan
WC-NOG	Provision of noggings in accordance with Figure 6.2a of the Standard, as an alternative to providing sheeting for the available extent of the specified area
SH-H-SFE	Clause 5.2 of the Standard requires that at least one shower must have a hobless and step-free entry
SH-NOG	Provision of noggings in accordance with Figure 6.2a of the Standard, as an alternative to providing sheeting for the available extent of the specified area
RAMP	Part 2 - 3.3.1 ramps on step-free access pathclauses 1.1(4) and (5) include specific requirements for ramps including gradients, maximum length, provision and dimensions of landings, minimum width, and crossfalls



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 TAS 400648168
 QLD 15127260

SHEET CONTENT:
 LIVABLE HOUSING DESIGN STANDARD

HOUSE TYPE:
 Residential

PROPERTY ADDRESS:
 412 SUGARLOAF ROAD
 CARLTON RIVER 7173 TAS

CLIENT:
 Adam Martin

CLIENT

I / WE: _____

 CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.
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 SIGNED: _____ DATE: _____

SIGN OFF

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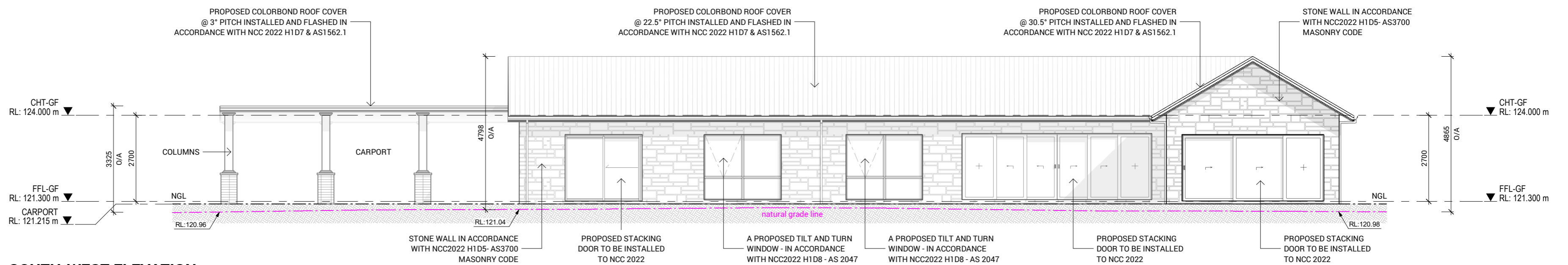
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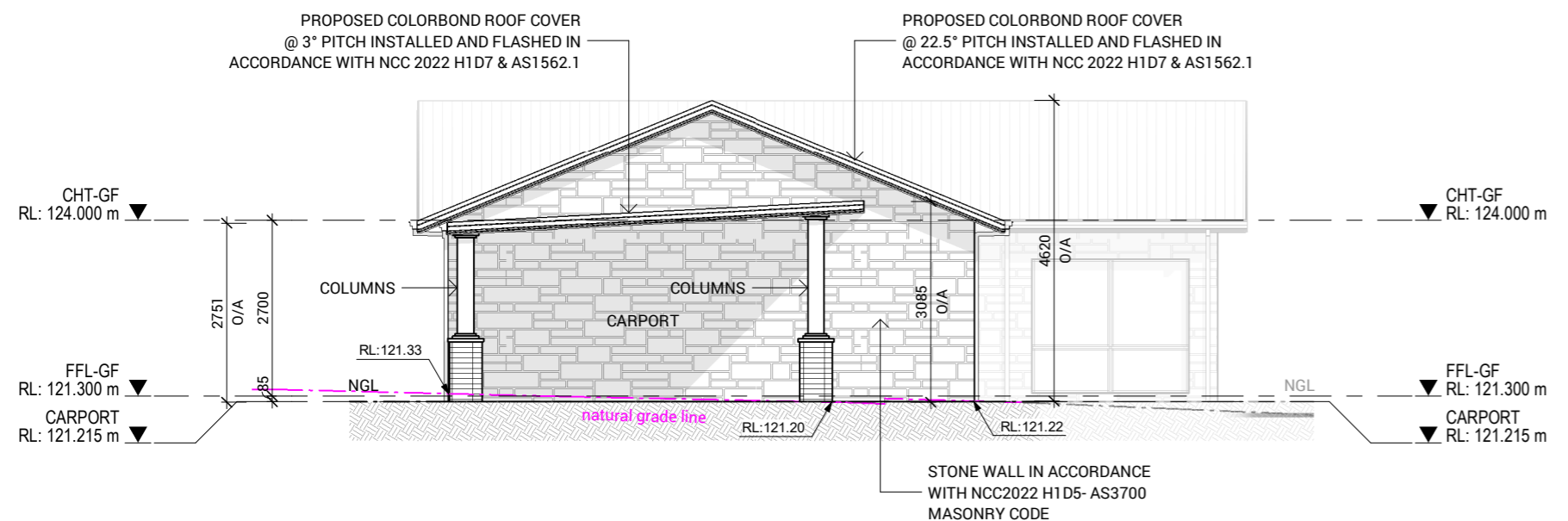
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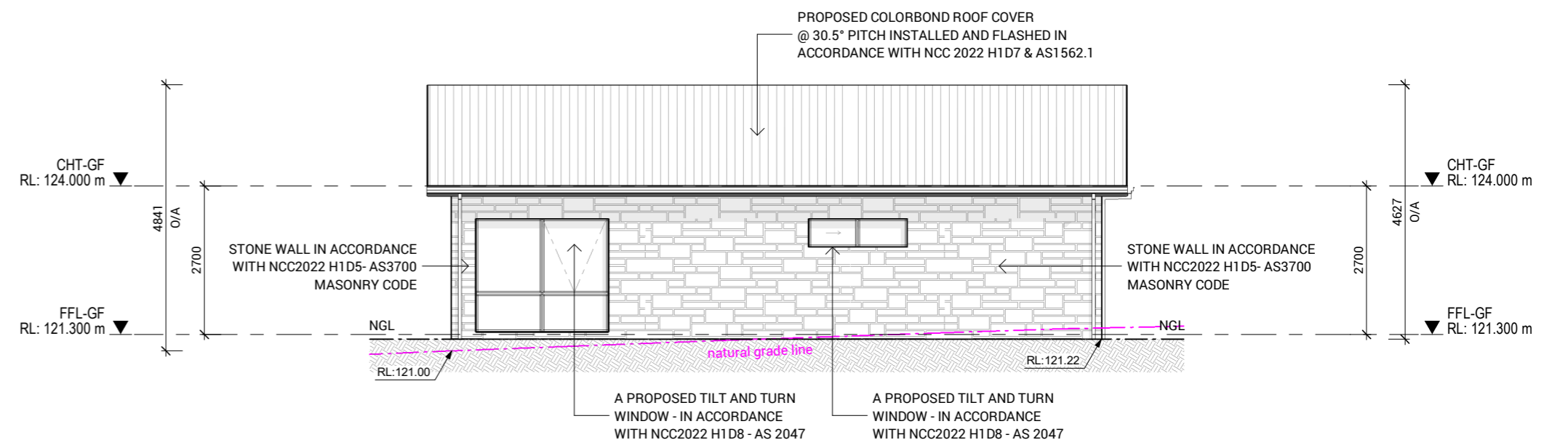
- NOTE: ROOF TRUSS PERFORMANCE SOLUTION - ROOF TRUSSES TO MANUFACTURER'S DESIGN AND CERTIFICATION TO AS4440
- NOTE: METAL ROOF IN ACCORDANCE WITH NCC2022 H1D7- AS1562.1
- NOTE: FASCIA & GUTTER IN ACCORDANCE WITH NCC2022 VOL 3 - AS3500
- NOTE: METAL ROOF FLASHING - BOX GUTTER/ PARAPETS/ VALLEYS IN ACCORDANCE WITH ABCB BUILDING PROVISIONS PART 7.2.7
- NOTE: BRICK WALL TO BE INSTALLED TO AS3700
- NOTE: TIMBER FRAME IN ACCORDANCE WITH NCC 2022 H1D6 AS1684.2 TIMBER FRAME CODE
- NOTE: ALUMINUM WINDOW TO BE INSTALLED TO NCC 2022 - H2D6
- NOTE: SLAB IN ACCORDANCE WITH ENGINEERS DESIGN AND CERTIFICATION AND AS2870
- NOTE: GROUND SLOPE IN ACCORDANCE WITH NCC2022 H2P1



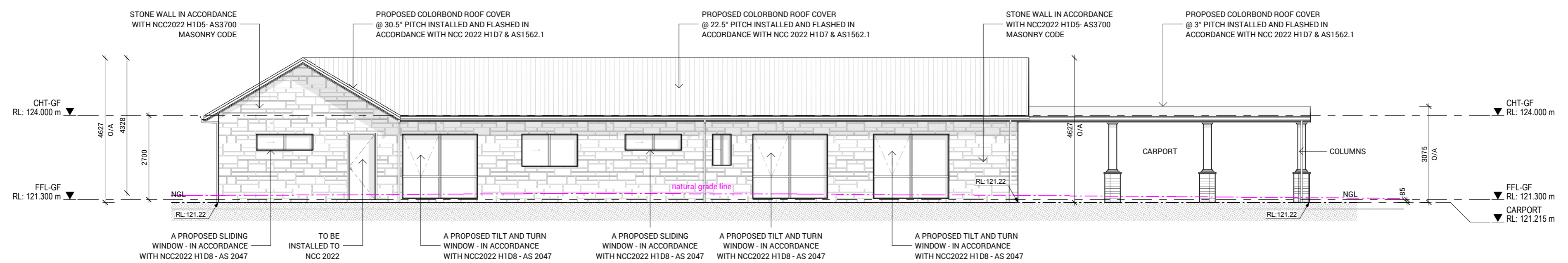
SOUTH-WEST ELEVATION
SCALE 1 : 100



NORTH-WEST ELEVATION
SCALE 1 : 100



SOUTH-EAST ELEVATION
SCALE 1 : 100



NORTH-EAST ELEVATION
SCALE 1 : 100



SHEET CONTENT:
ELEVATIONS - DWELLING

HOUSE TYPE:
Residential

PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS

CLIENT:
Adam Martin

CLIENT

I/ WE: _____

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.

SIGNED: _____ DATE: _____

SIGNED: _____ DATE: _____

GENERAL DRAFTING NOTES:

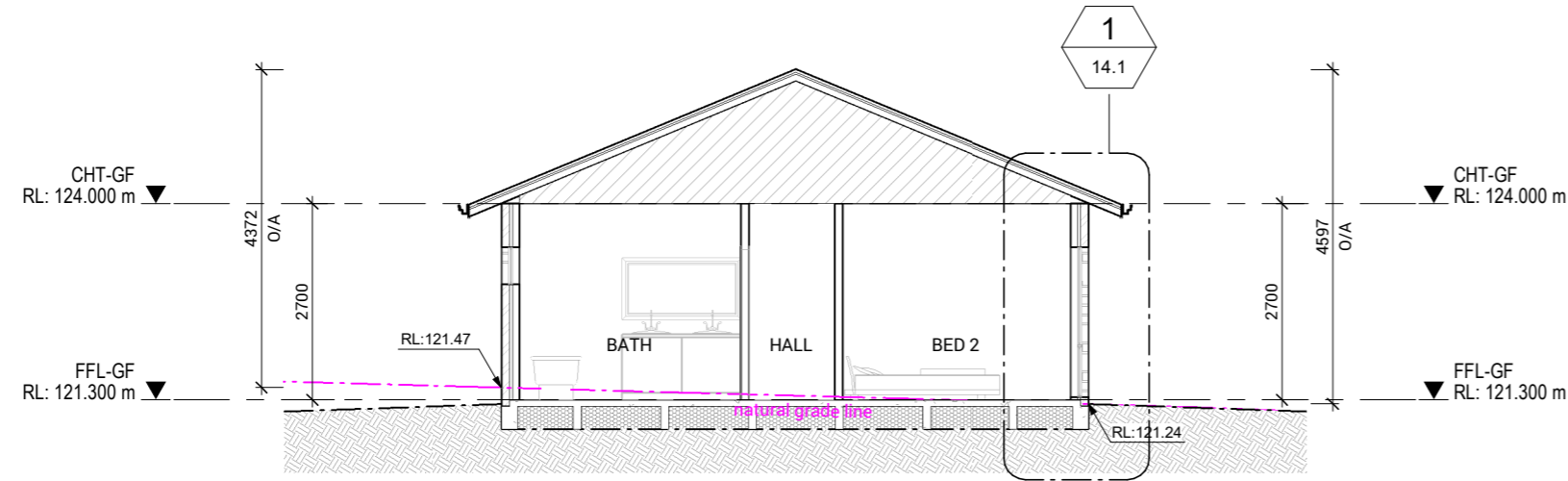
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- * REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.

BUILDER SPECIFICATION:

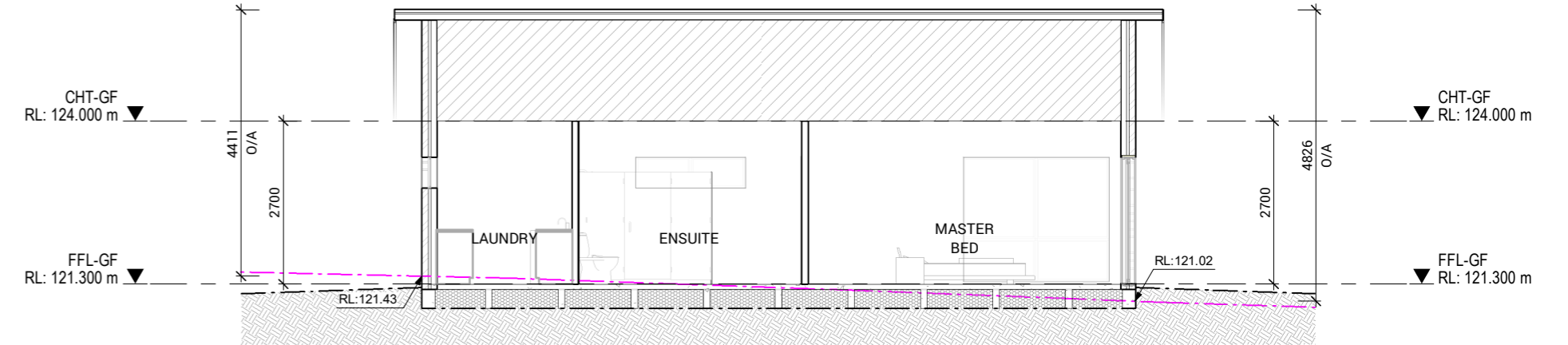
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NORTH:		SCALE: 1:100 @ A2	SHEET NUMBER:	JOB NUMBER:
		DATE: 2026	7.1	25-0146
		DRAWN: MD		JOB ISSUE:
		CHECKED: MS		E
ISSUE	DATE	REVISION DESCRIPTION	INITIALS	
A	21/12/2025	PRELIMINARY PLANS	MD	
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E	14/05/2026	APPROVED FOR CONSTRUCTION	MD	

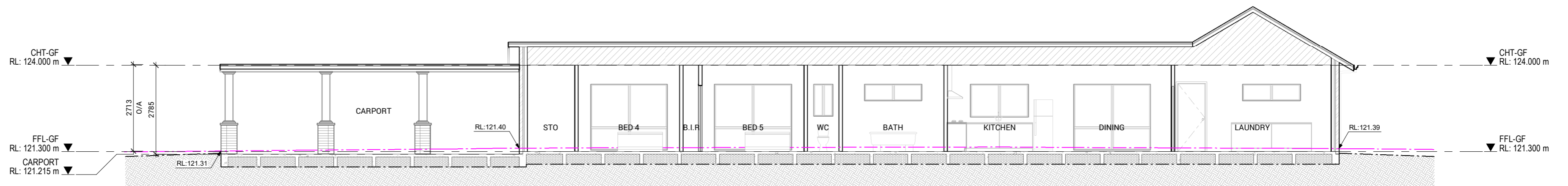
- NOTE: ROOF TRUSS PERFORMANCE SOLUTION - ROOF TRUSSES TO MANUFACTURER'S DESIGN AND CERTIFICATION TO AS4440
- NOTE: METAL ROOF IN ACCORDANCE WITH NCC2022 H1D7- AS1562.1
- NOTE: FASCIA & GUTTER IN ACCORDANCE WITH NCC2022 VOL 3 - AS3500
- NOTE: METAL ROOF FLASHING - BOX GUTTER/ PARAPETS/ VALLEYS IN ACCORDANCE WITH ABCB BUILDING PROVISIONS PART 7.2.7
- NOTE: BRICK WALL TO BE INSTALLED TO AS3700
- NOTE: TIMBER FRAME IN ACCORDANCE WITH NCC 2022 H1 D6 AS1684.2 TIMBER FRAME CODE
- NOTE: ALUMINUM WINDOW TO BE INSTALLED TO NCC 2022 - H2D6
- NOTE: SLAB IN ACCORDANCE WITH ENGINEERS DESIGN AND CERTIFICATION AND AS2870
- NOTE: GROUND SLOPE IN ACCORDANCE WITH NCC2022 H2P1



SECTION A-A
SCALE 1 : 100



SECTION B-B
SCALE 1 : 100



SECTION C-C
SCALE 1 : 100



1202 G/470 St Kilda Road, Melbourne VIC 3004
Phone: 61 3 8687 2118
Email: info@draftee.com.au
DP-AD 66464
TAS 400648168
QLD 1512760

SHEET CONTENT:
SECTIONS - DWELLING
HOUSE TYPE:
Residential
PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS
CLIENT:
Adam Martin

CLIENT

I / WE: _____
CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.
SIGN OFF
SIGNED: _____ DATE: _____
SIGNED: _____ DATE: _____

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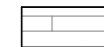
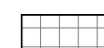
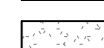
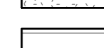
Sorell Council
Development Application: 5.2026.147.1 - Response to Request For Information - 412 Sugarloaf Road, Carlton River - P2.pdf
Plans Reference: P2
Date received: 18/05/2026

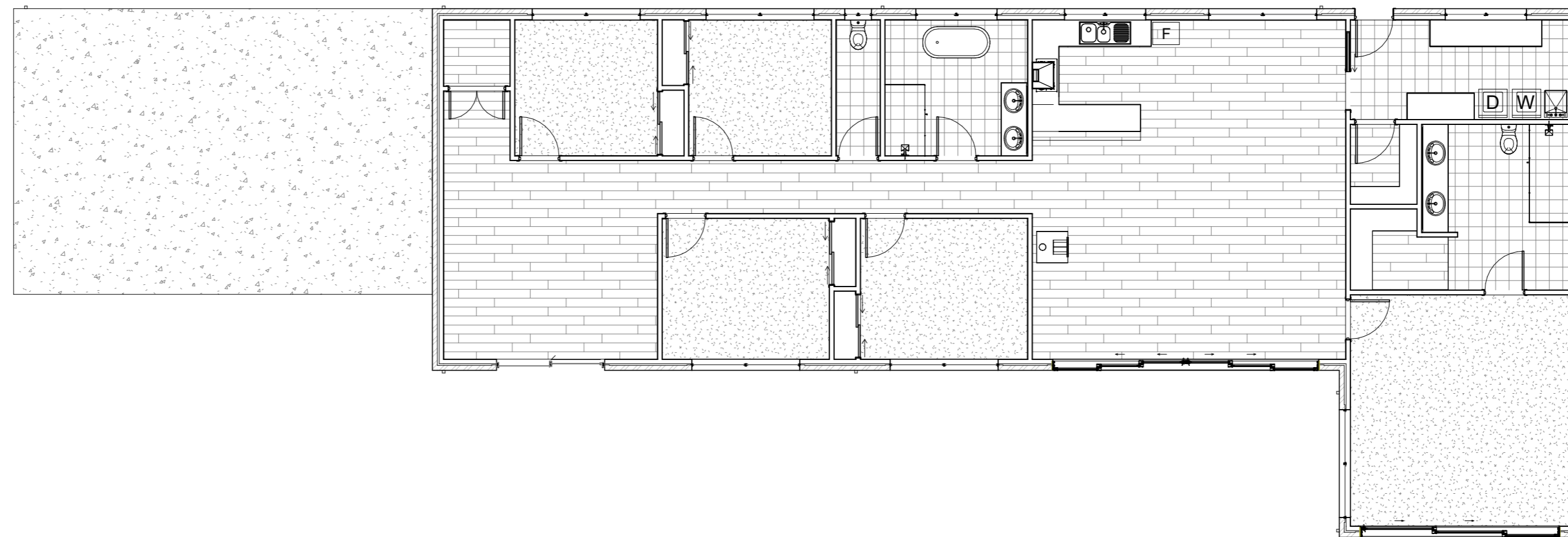
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		DATE: 2026		JOB ISSUE: E
		DRAWN: MD		
		CHECKED: MS		
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NOTE:
 ALL WATERPROOFING IN ACCORDANCE WITH ABCB HOUSING PROVISIONS
 PART 10.2 WET AREA WATERPROOFING AND IN ACCORDANCE WITH AS
 3740-2012- WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.

A2 SHEET

FLOOR COVERINGS

-  DENOTES FLOOR LAMINATE
-  DENOTES SLIP RESISTANT TILE
-  DENOTES CARPET
-  TIMBER DECKING



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 Phone: 61 3 8687 2118
 Email: info@draftee.com.au
 DP-AD 66464
 TAS 4006481168
 QLD 15127260

SHEET CONTENT:
 FLOOR COVERING PLAN - DWELLING

HOUSE TYPE:
 Residential

PROPERTY ADDRESS:
 412 SUGARLOAF ROAD
 CARLTON RIVER 7173 TAS

CLIENT:
 Adam Martin

CLIENT

I / WE: _____

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.

SIGNED: _____ DATE: _____

SIGNED: _____ DATE: _____

SIGN OFF

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Sorell Council

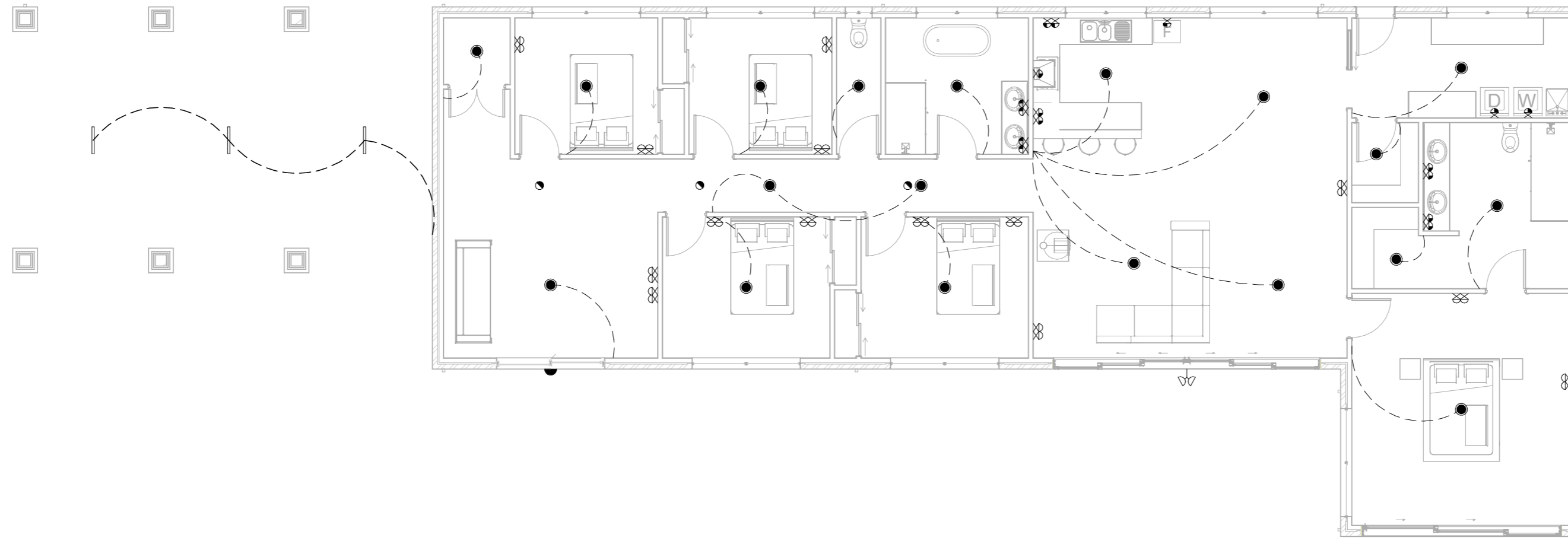
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 Plans Reference: P2
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NOTE:
 ALL SMOKE DETECTORS TO BE HARDWIRED AND INTERCONNECTED EXHAUST FANS TO BATHROOM WET AREAS MUST HAVE A MINIMUM FLOW RATE OF 25L/S AND LAUNDRY AREAS EXHAUST FAN TO HAVE MINIMUM FLOW RATE OF 40/L.S. EXHAUST FANS, DUCTED KITCHEN RANGE HOODS AND ALIKE MUST DISCHARGE TO THE OUTSIDE OF THE BUILDING

A2 SHEET

ELECTRICAL LEGEND	
ALL ELECTRICAL LOCATIONS ARE INDICATIVE ONLY	
○	STANDARD BATTEN
●	LED DOWNLIGHT (AS SELECTED)
⊗	POWERSAVER 133 DOWNLIGHT (AS SELECTED)
⊗ dim	POWERSAVER 133 DOWNLIGHT - DIMMABLE
⊗ PL	PENDANT LIGHT
●	EXTERNAL LIGHT POINT
⊖	FLOOD LIGHT - SINGLE
⊖	FLOOD LIGHT - DOUBLE
⊖	PENDANT LIGHTING
●	WALL LIGHT BATTEN HOLDER - EXTERNAL
⊖	600 FLUORO - SINGLE
⊖	CEILING FAN
⊖	CEILING FAN WITH LIGHT
⊖	CEILING EXHAUST FAN W/ LIGHT
⊗	SINGLE GPO - 300mm
⊗	SINGLE GPO - 1100mm
⊗ WP	SINGLE GPO - EXTERNAL WEATHERPROOF
⊗ WP	DOUBLE GPO - EXTERNAL WEATHERPROOF
⊗ M	SINGLE GPO - FOR M/WAVE @ 750mm(H)
⊗ D	SINGLE GPO - DISHWASHER @ 750mm(H)
⊗	DOUBLE GPO - 300mm
⊗	DOUBLE GPO - 1100mm
⊗	DOUBLE GPO - 1350mm
▽	TELEVISION POINT
▽ PT	PAY TV POINT
●	SMOKE ALARM
⊖	GAS METER
⊖	HEAT PUMP
⊖	METER BOX
ECU	EVAPORATIVE COOLING UNIT - INDICATIVE LOCATION
⊖	CEILING HEATING DUCT (APPROX. LOCATION)
⊖	THERMOSTAT
E	EVAPORATIVE COOLING DUCT
RA	RETURN AIR
⊗	HEATING UNIT WITH LIGHT & GPO IN CEILING
▲	POWER POINT FOR GARAGE REMOTE PANEL DOOR - LOCATE ON CEILING 3300mm FROM DOOR OPENING LINTEL & 200mm OFF DOOR CENTRE.
⊗	20 AMP ISOLATION SWITCH HARD WIRED ON A SEPERATE CIRCUIT FOR AIR-CON @ 500mm HIGH.
JB	JUNCTION BOX
⊗	ALARM UNIT (SENSOR & KEYPAD AS PER MANUFACTURERS' SPECIFICATIONS)
⊗	SINGLE GPO - FOR SECURITY SYS.
⊗	HEATER/FAN UNIT - 2 GLOBE - 3 in 1
⊗	HEATER/FAN UNIT - 4 GLOBE - 3 in 1
D	DATA POINT
HPB	HUB POINT
TP	TERMINATION POINT
⊖	TELEPHONE POINT
DB	DOOR BELL
AKP	ALARM KEYPAD
AM	ALARM MONITOR
⊗	ALARM SENSORS (INDICATIVE ONLY)
⊖	GARDEN TAP
V	VACUUM DUCT
VM	VACUUM MOTOR



Lighting Calculation - 412 Sugarloaf Road - Dwelling						
Regulations	Area of Space - m ²	Maximum Wattage Allowance	Watt / Unit	Qty. - Units	Total	Compliance achieved - Y / N
5W/m ² in a Class 1a Building	153.415	767.075	14	13	182	Y
4W/m ² on Verandah or Balcony	n/a	n/a	n/a	n/a	n/a	n/a
3W/m ² in a Class 10a Building	105.745	317.235	14	9	126	Y



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SHEET CONTENT:
 ELECTRICAL PLAN - DWELLING

HOUSE TYPE:
 Residential

PROPERTY ADDRESS:
 412 SUGARLOAF ROAD
 CARLTON RIVER 7173 TAS

CLIENT:
 Adam Martin

CLIENT

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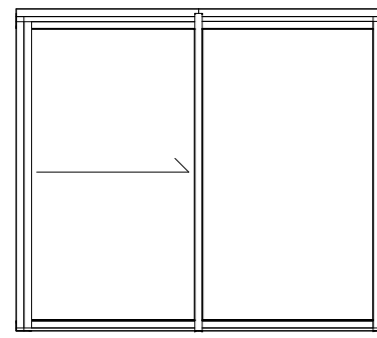
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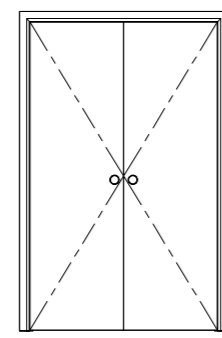
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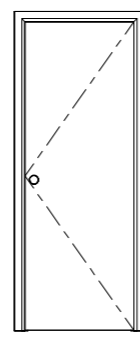
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		CHECKED: MS		
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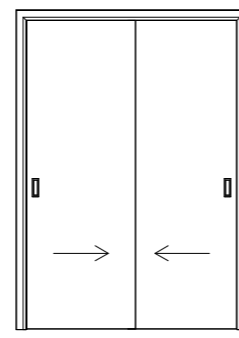
TYPE: ENTRY DOOR
SIZE: 2100mm x 1200mm
MARK: D01



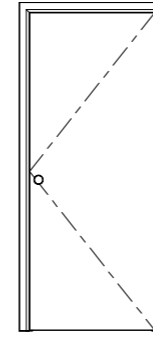
TYPE: PANEL DOOR
SIZE: 2040mm x 2-620mm
MARK: D02



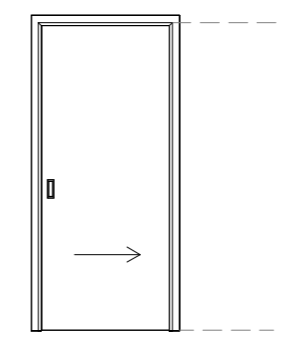
TYPE: PANEL DOOR
SIZE: 2040mm x 870mm
MARK: D03, D06, D07, D08
D11, D12, D14, D16
D19



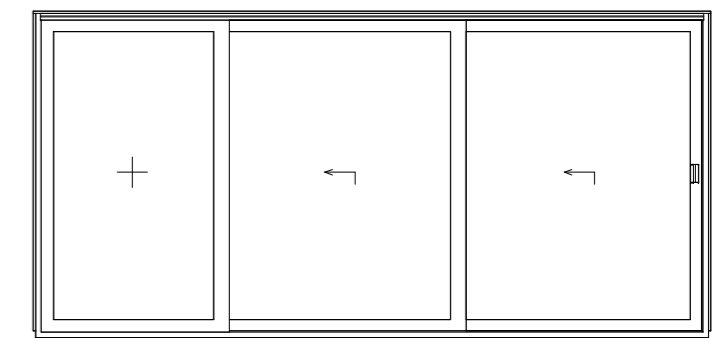
TYPE: SLIDING DOOR (ROBE)
SIZE: 2040mm x 2-720mm
MARK: D04, D05, D17, D18



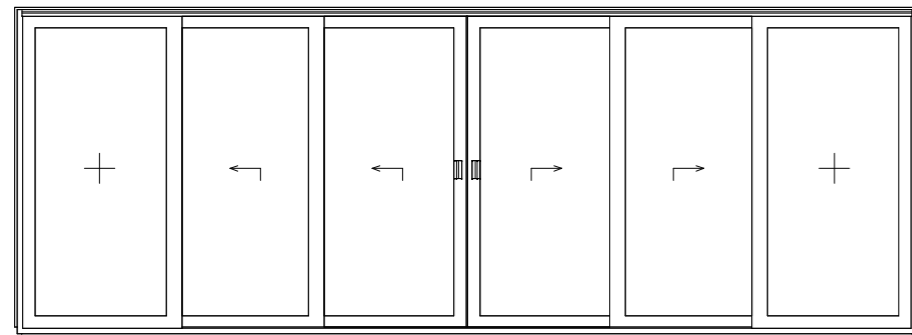
TYPE: EXTERNAL DOOR
SIZE: 2100mm x 870mm
MARK: D09



TYPE: CAVITY SLIDING DOOR
SIZE: 2040mm x 870mm
MARK: D10

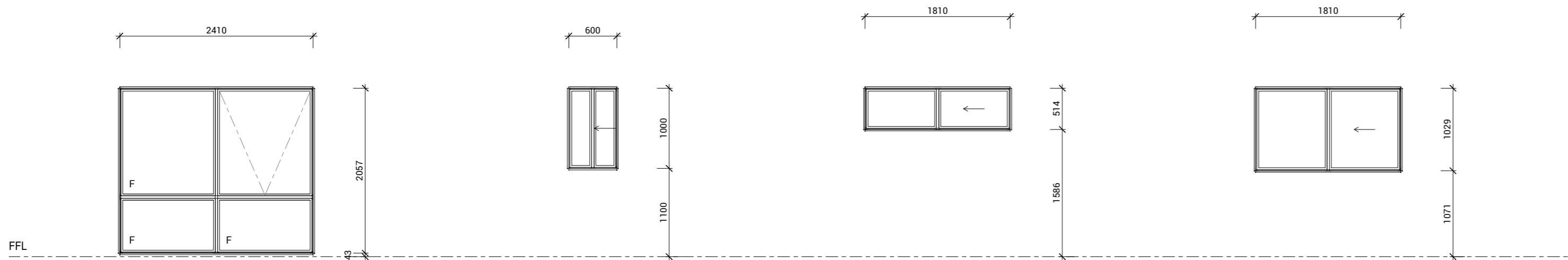


TYPE: SLIDING DOOR
SIZE: 2100mm x 4500mm
MARK: D13



TYPE: SLIDING DOOR
SIZE: 2100mm x 6000mm
MARK: D15

DOOR SCHEDULE



TYPE: AWNING / FIXED
SIZE: 2057mm x 2410mm
SILL HEIGHT: 43mm
MARK: W01, W02, W03, W04
W08, W11, W12

TYPE: SLIDING WINDOW
SIZE: 1000mm x 600mm
SILL HEIGHT: 1100mm
MARK: W05

TYPE: SLIDING WINDOW
SIZE: 524mm x 1810mm
SILL HEIGHT: 1586mm
MARK: W06, W09, W10

TYPE: SLIDING WINDOW
SIZE: 1029mm x 1810mm
SILL HEIGHT: 1070mm
MARK: W07

NOTE: WINDOW SCHEDULE

"All glazing in bathrooms, ensuites, spa rooms or the like, including shower doors, shower screens, bath enclosures, and associated windows, where the lowest sight line is less than 2.0 m above the highest abutting finished level of the floor, bottom of the bath, or shower base, must—

(i) for framed panels, be glazed with—

(A) Grade A safety glazing material in accordance with NCC 2022

(B) Grade B safety glazing material in accordance with NCC 2022

All full glazed doors, sidelights, including any glazing capable of being mistaken for an unobstructed opening must be glazed with the glass is made apparent by means of transoms, colonial bars, other components of the glazing system, permanent motifs or other decorative treatment on or etched into the glass, of sufficient magnitude to be readily apparent, or the glass is opaque colored or patterned to indicate its presence. Clarify on plans.

A habitable room must have 5% of natural ventilation and 10% of natural light. Specify on the windows schedule the type and dimensions of the windows for bedrooms, and kitchen to enable the assessment of compliance with BCA requirements for natural light and ventilation.

WINDOW SCHEDULE



1202 G/470 St Kilda Road, Melbourne VIC 3004
Phone: 61 3 8687 2118
Email: info@draftee.com.au
DP-AD 66464
TAS 400648168
QLD 1512260

SHEET CONTENT:
DOOR & WINDOW SCHEDULE - DWELLING

HOUSE TYPE:
Residential

PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS

CLIENT:
Adam Martin

CLIENT

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SIGNED: _____ DATE: _____
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SIGN OFF

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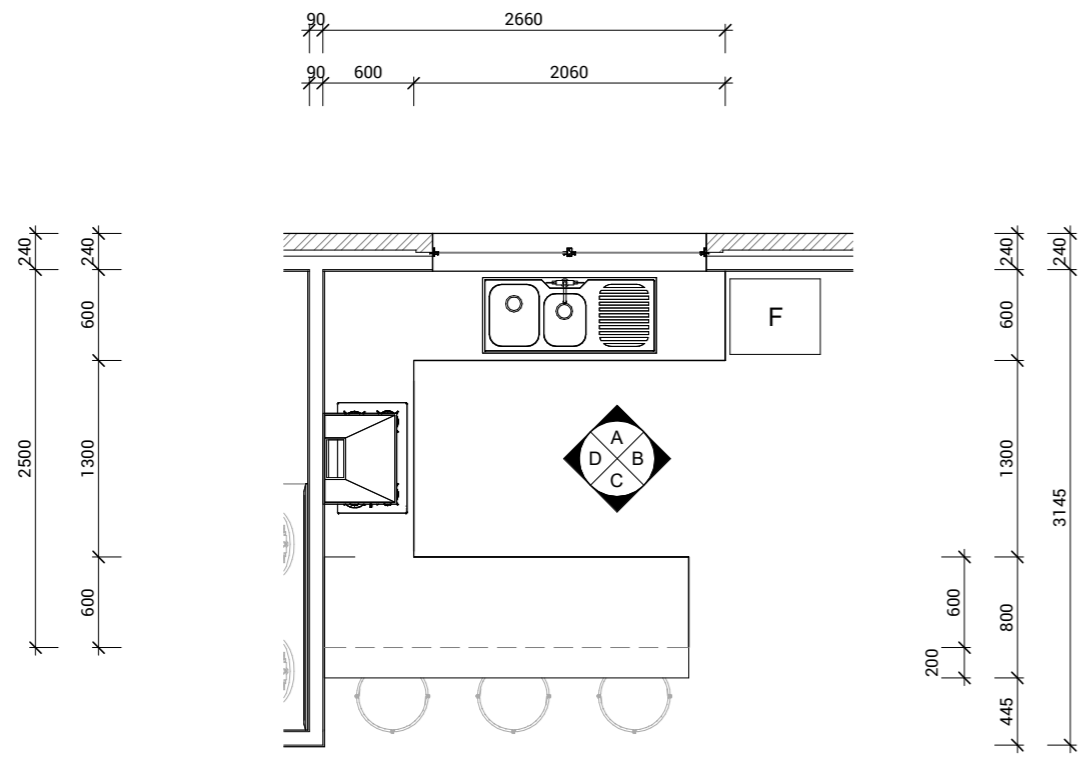
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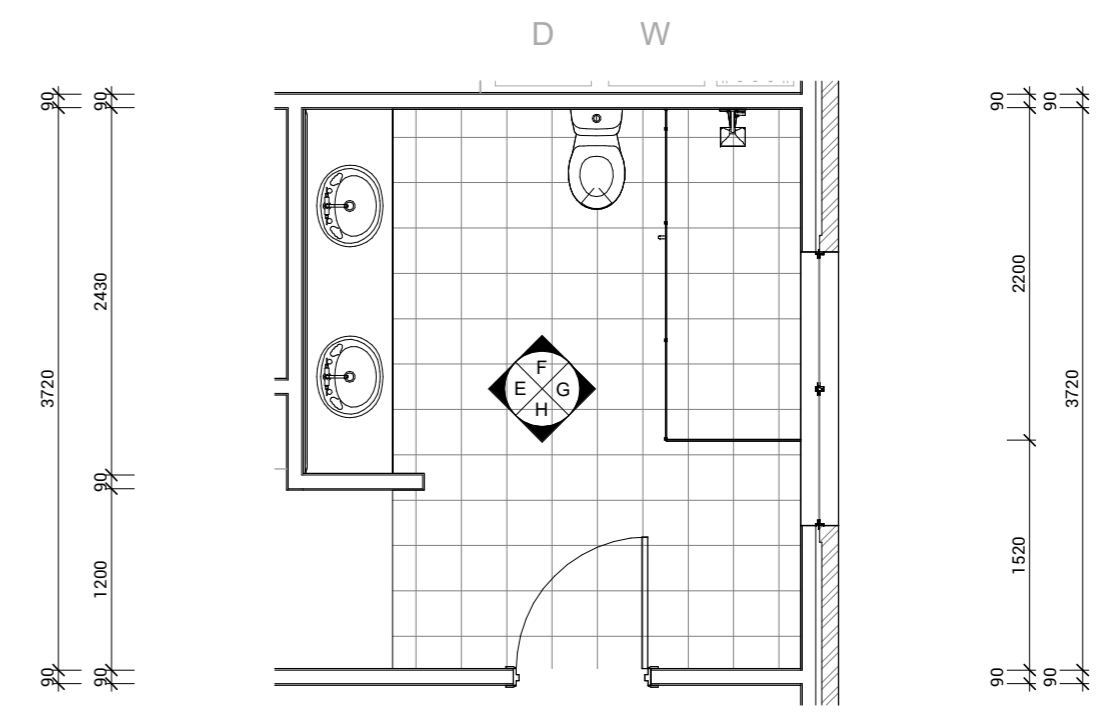
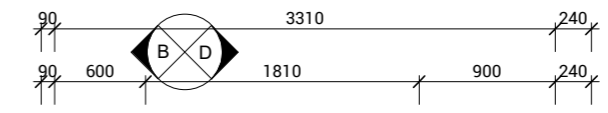
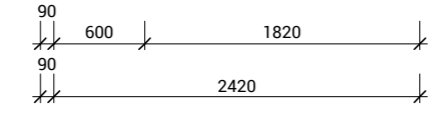
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Sorell Council
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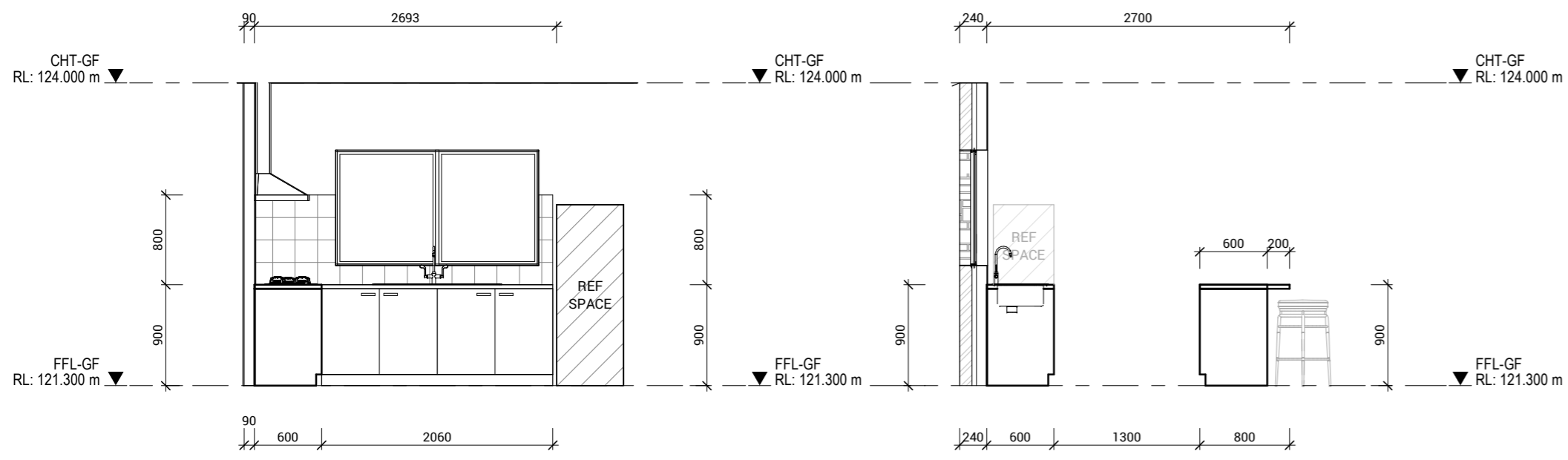
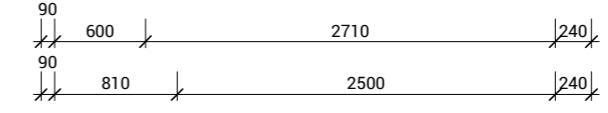
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KITCHEN
SCALE 1 : 50

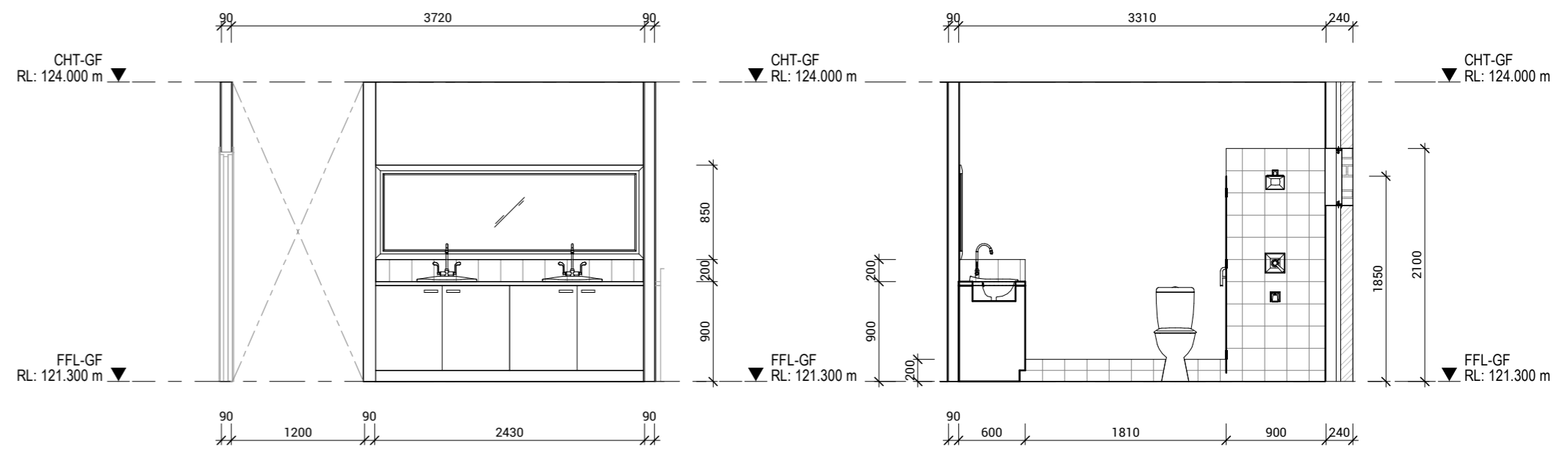


ENSUITE
SCALE 1 : 50



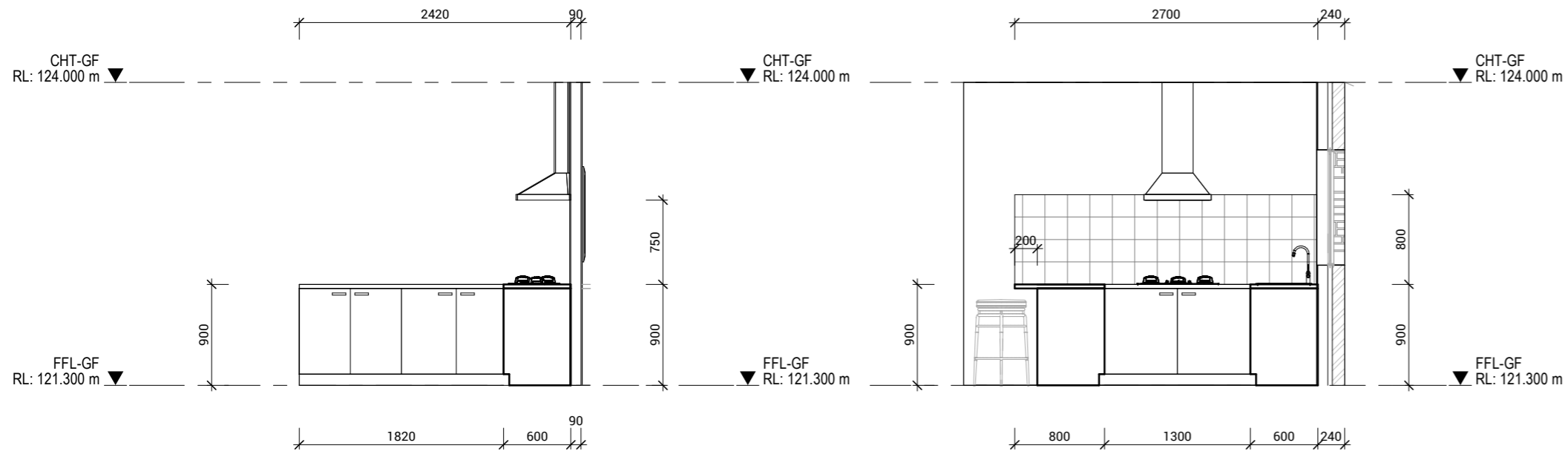
KITCHEN ELEVATION - A
SCALE 1 : 50

KITCHEN ELEVATION - B
SCALE 1 : 50



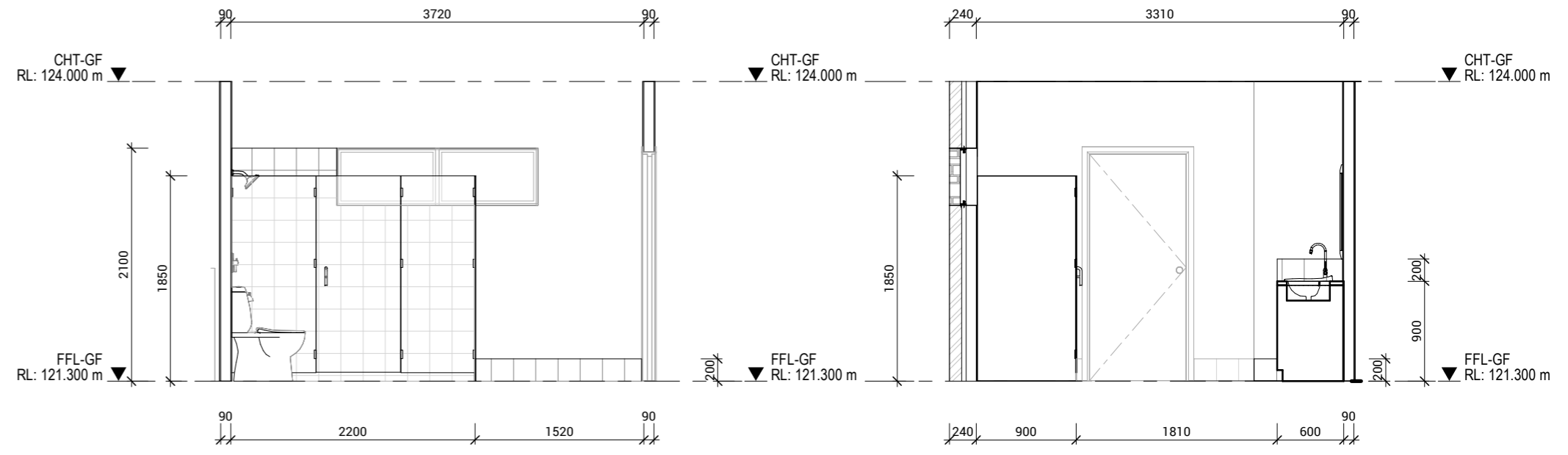
ENSUITE ELEVATION - E
SCALE 1 : 50

ENSUITE ELEVATION - F
SCALE 1 : 50



KITCHEN ELEVATION - C
SCALE 1 : 50

KITCHEN ELEVATION - D
SCALE 1 : 50



ENSUITE ELEVATION - G
SCALE 1 : 50

ENSUITE ELEVATION - H
SCALE 1 : 50



SHEET CONTENT:
KITCHEN, ENSUITE - DWELLING

HOUSE TYPE:
Residential

PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS

CLIENT:
Adam Martin

CLIENT

I / WE _____

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.

SIGNED _____ DATE _____

SIGNED _____ DATE _____

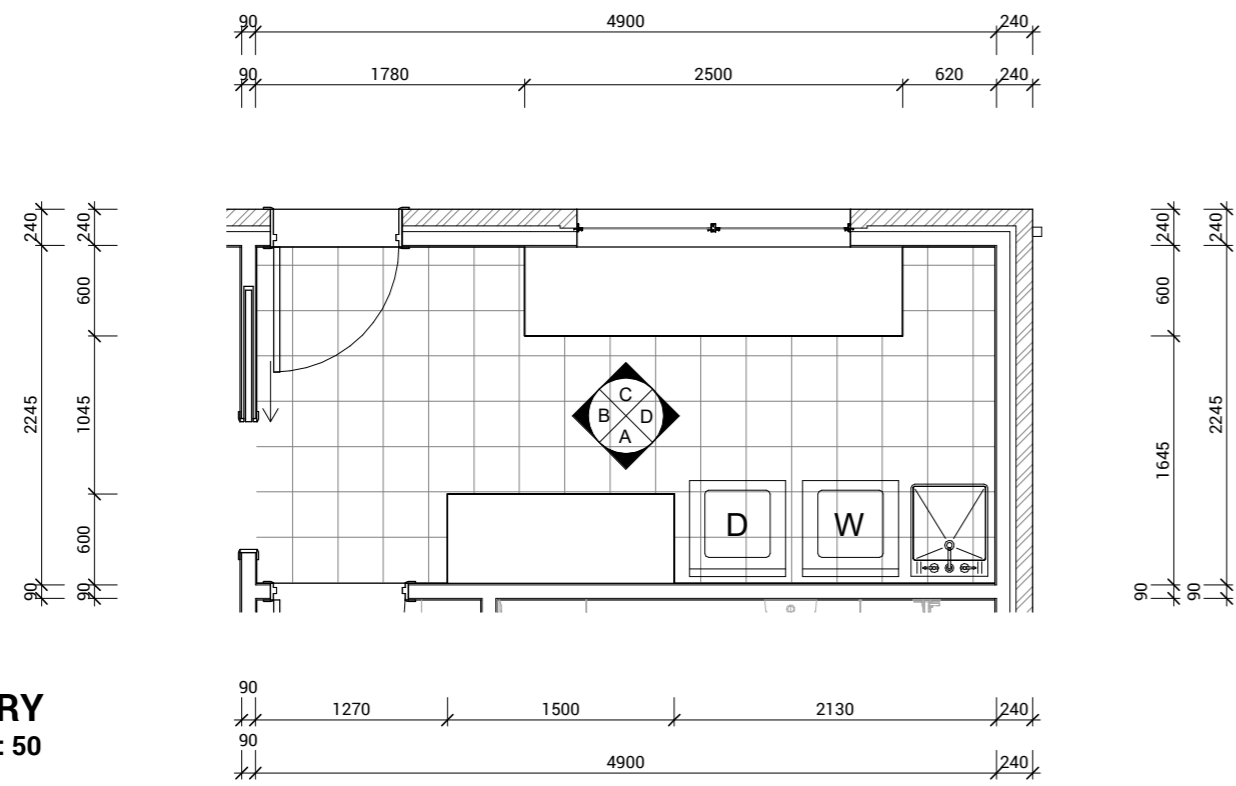
GENERAL DRAFTING NOTES:

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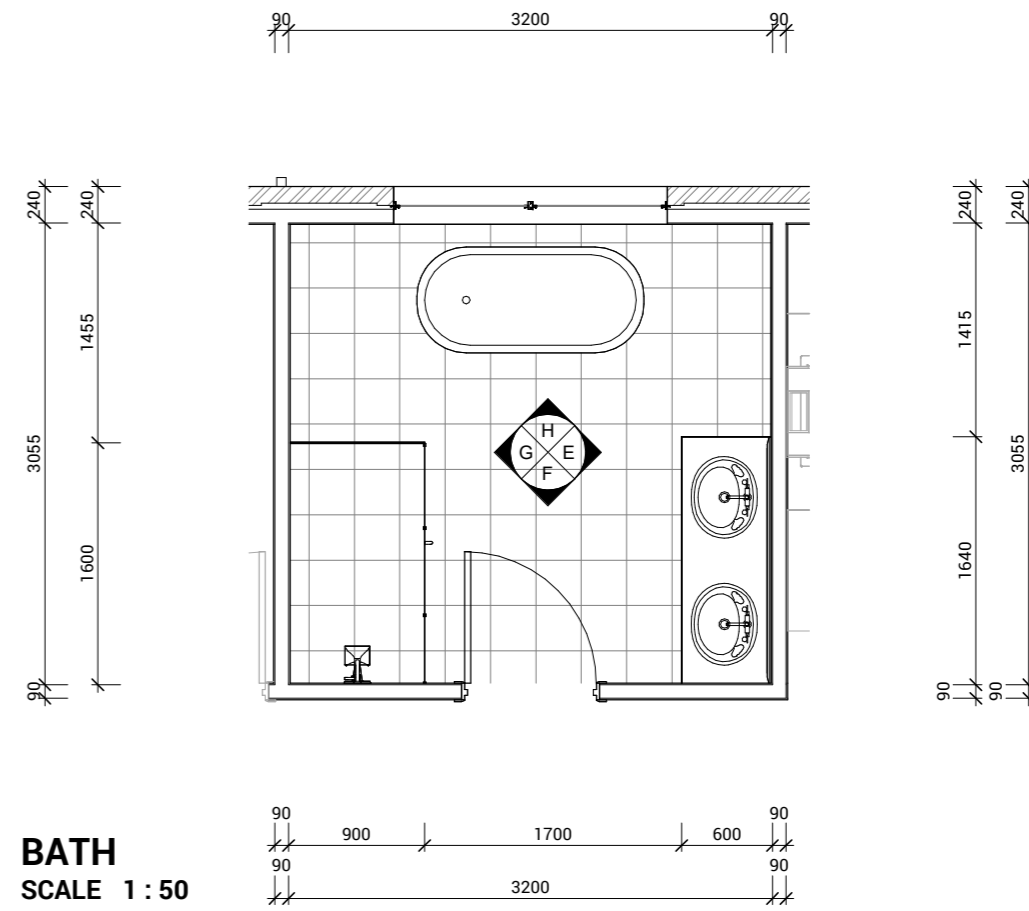
BUILDER SPECIFICATION:

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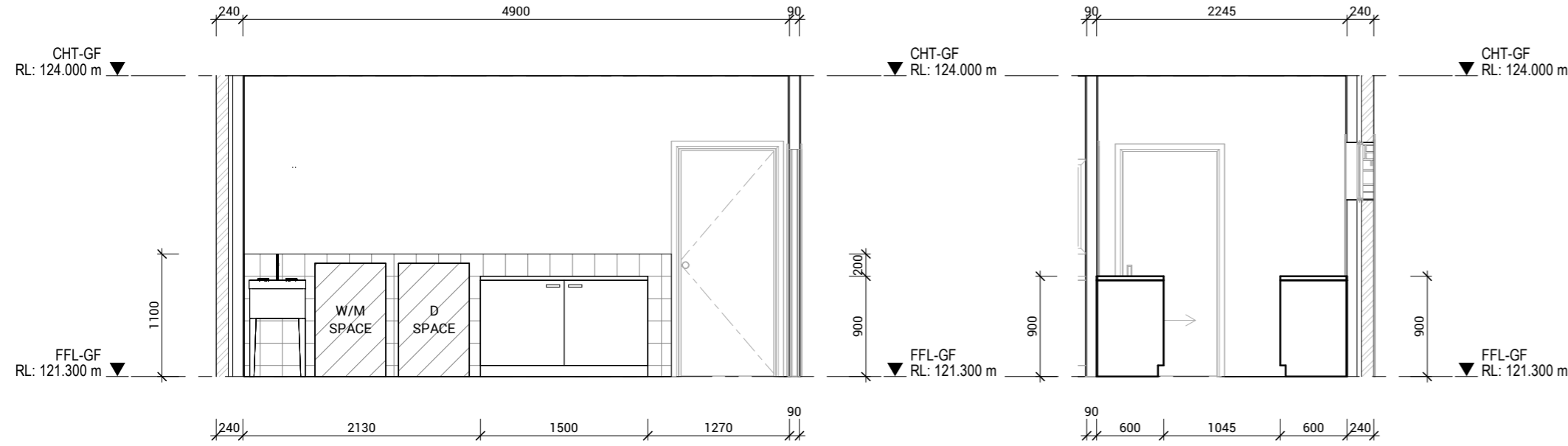
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		DRAWN: MD		
		CHECKED: MS		
ISSUE	DATE	REVISION DESCRIPTION	INITIALS	
A	21/12/2025	PRELIMINARY PLANS	MD	
B	30/01/2026	PRELIMINARY PLANS	MD	
C	03/02/2026	PRELIMINARY PLANS	MD	
D	28/02/2025	CONSTRUCTION PLANS	MD	
E	14/05/2026	APPROVED FOR CONSTRUCTION	MD	



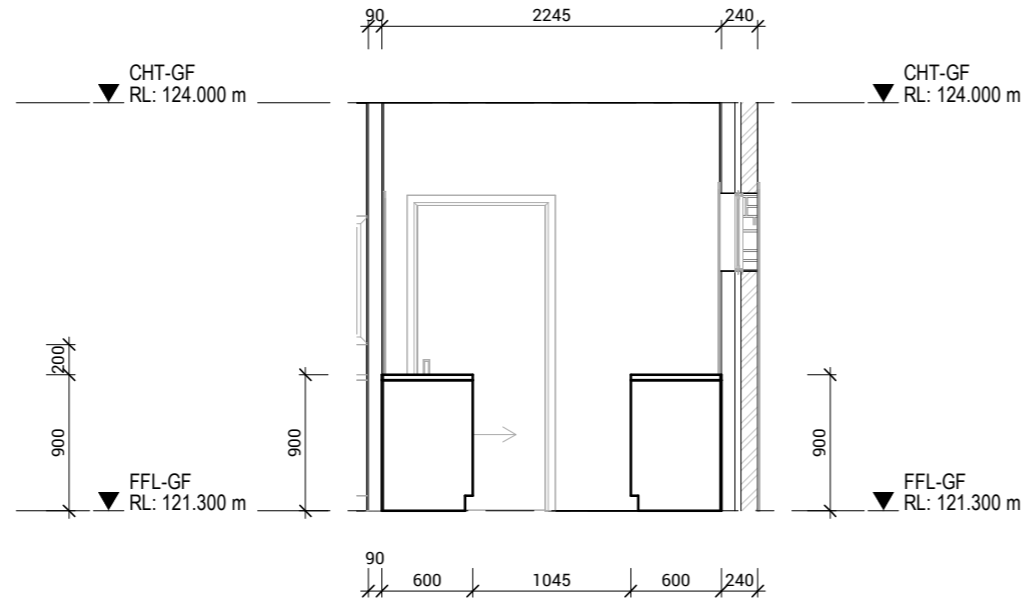
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SCALE 1 : 50



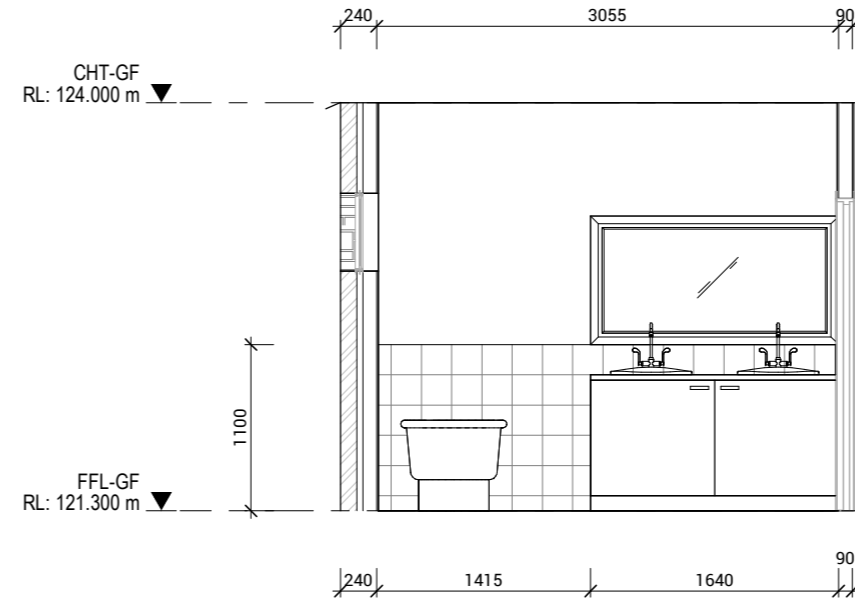
BATH
SCALE 1 : 50



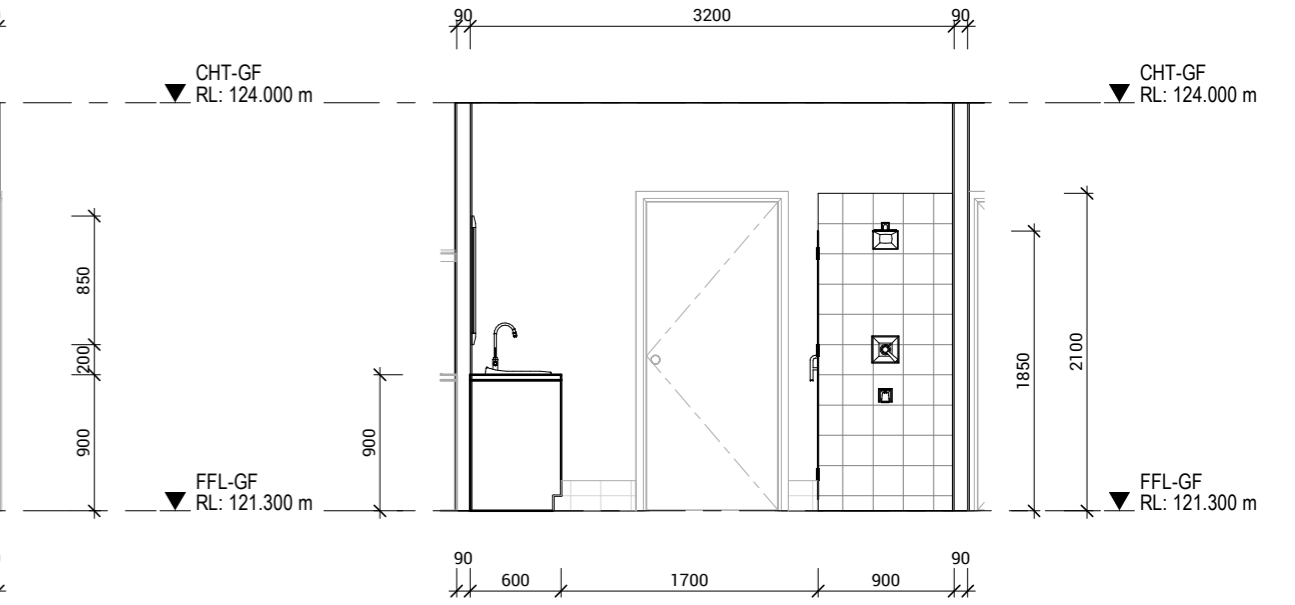
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SCALE 1 : 50



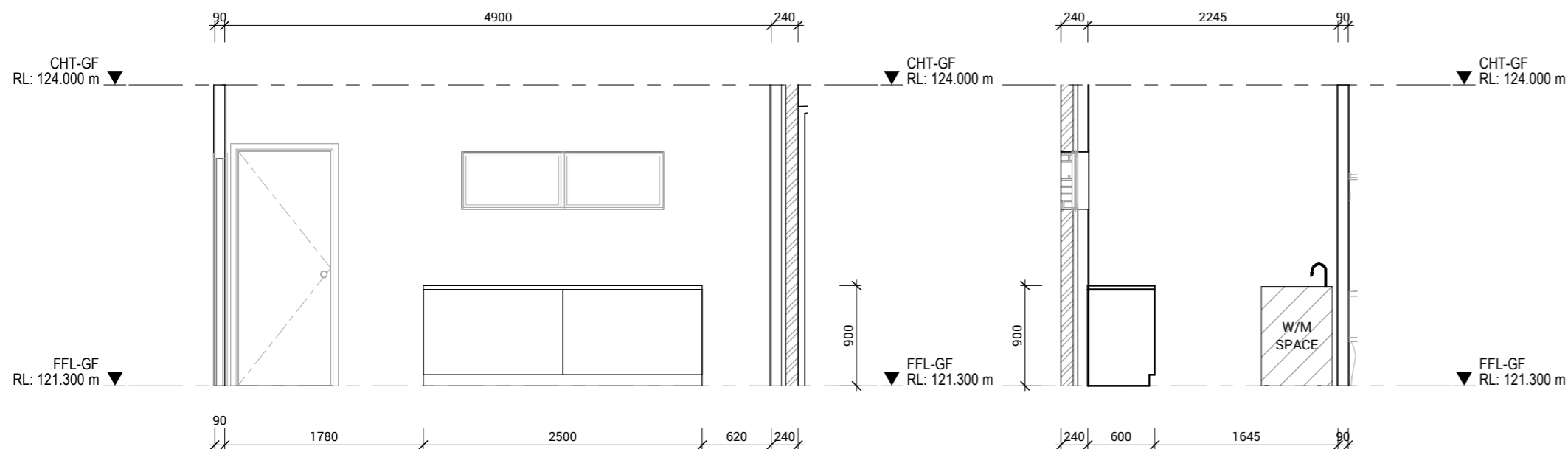
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SCALE 1 : 50



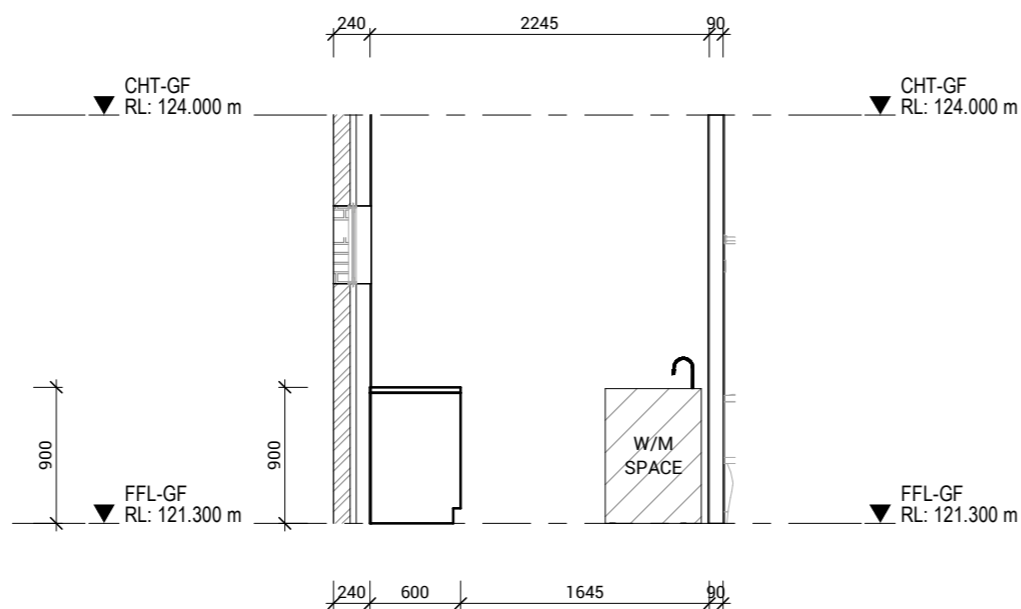
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SCALE 1 : 50



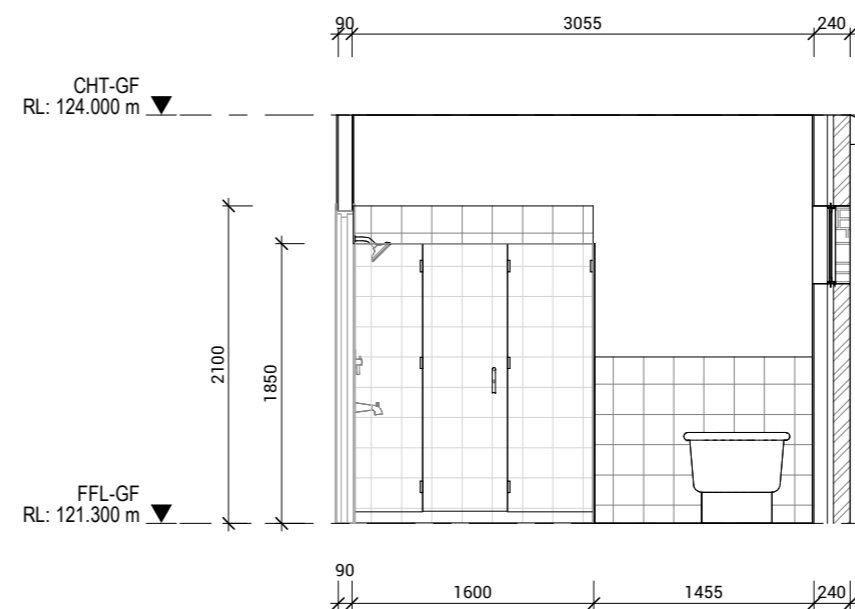
BATH ELEVATION - F
SCALE 1 : 50



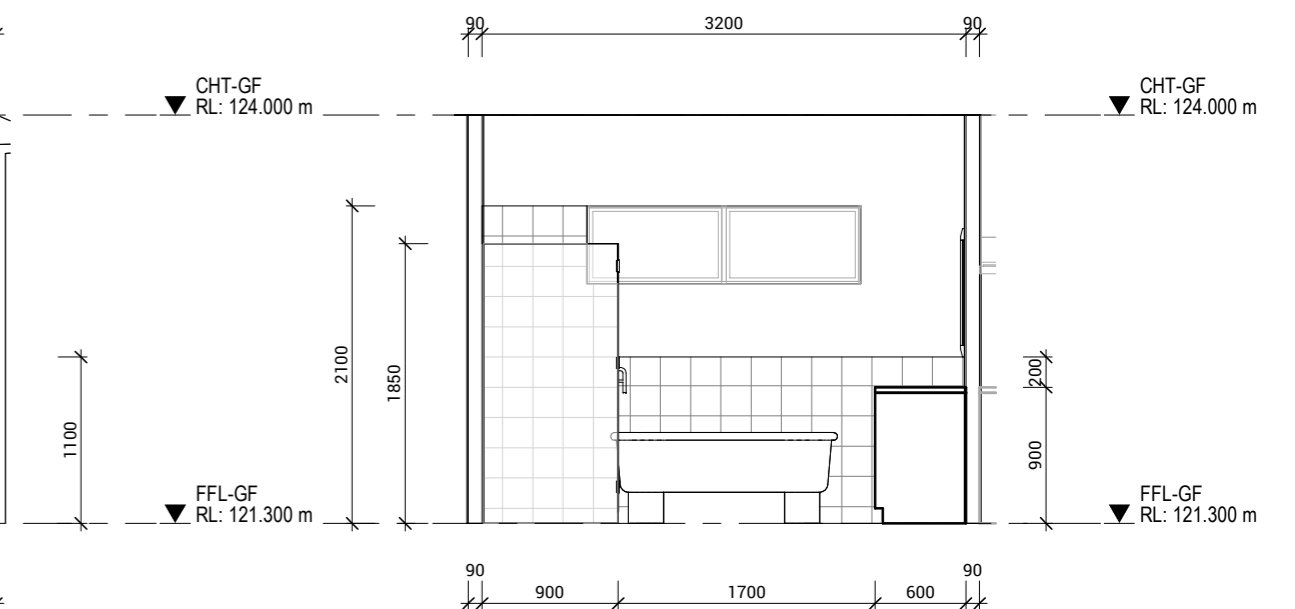
LAUNDRY ELEVATION - C
SCALE 1 : 50



LAUNDRY ELEVATION - D
SCALE 1 : 50



BATH ELEVATION - G
SCALE 1 : 50



BATH ELEVATION - H
SCALE 1 : 50



1202 G/470 St Kilda Road, Melbourne VIC 3004
Phone: 61 3 8687 2118
Email: info@draftee.com.au
DP-AD 66464
TAS 400648168
QLD 1512260

SHEET CONTENT:
LAUNDRY, BATH - DWELLING
HOUSE TYPE:
Residential
PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS
CLIENT:
Adam Martin

CLIENT
I / WE: _____

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.
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SIGNED: _____ **DATE:** _____

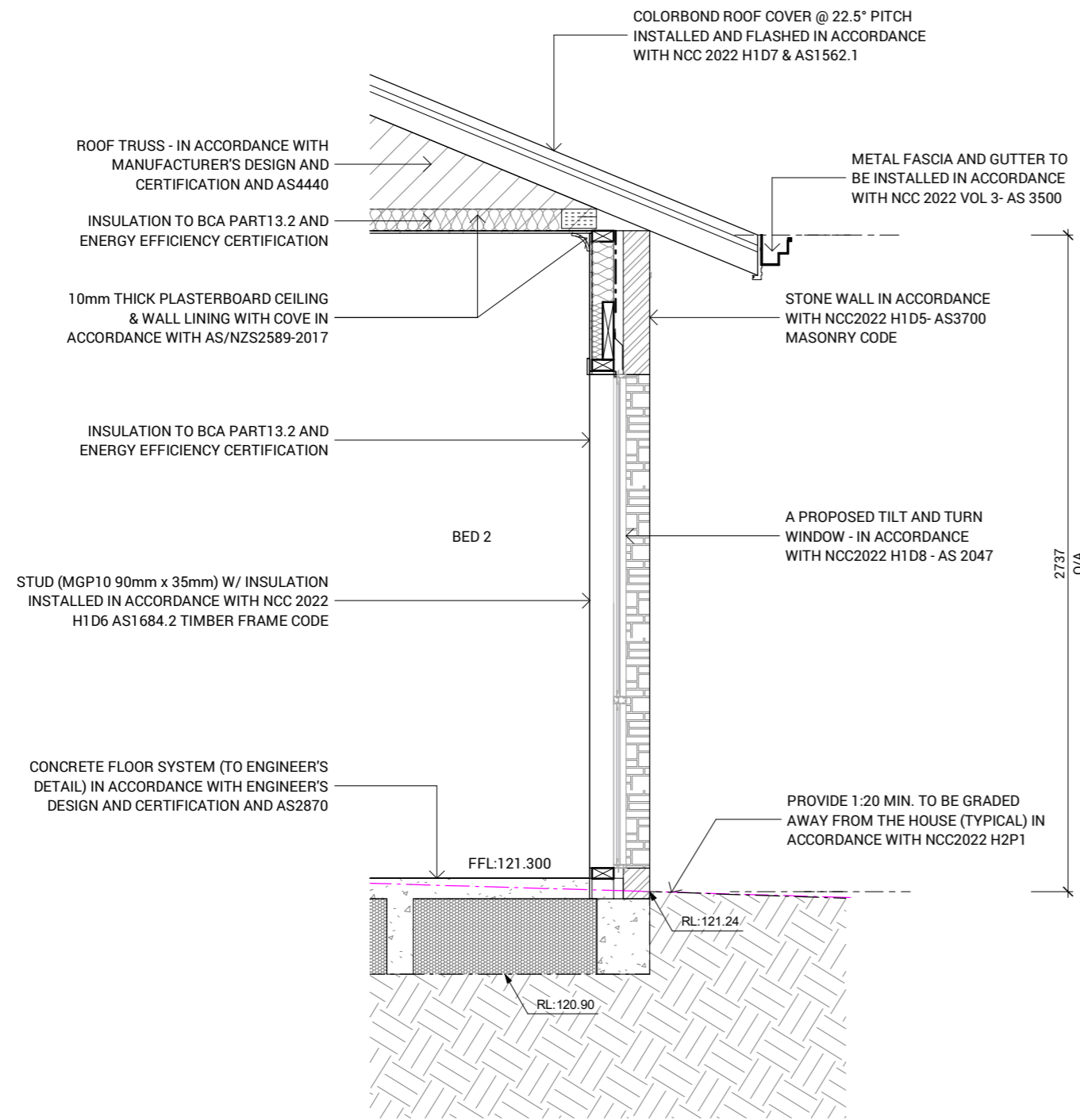
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Development Application: 5.2026.147.1 - Response to Request For Information - 412 Sugarloaf Road, Carlton River - P2.pdf
Plans Reference: P2
Date received: 18/05/2026

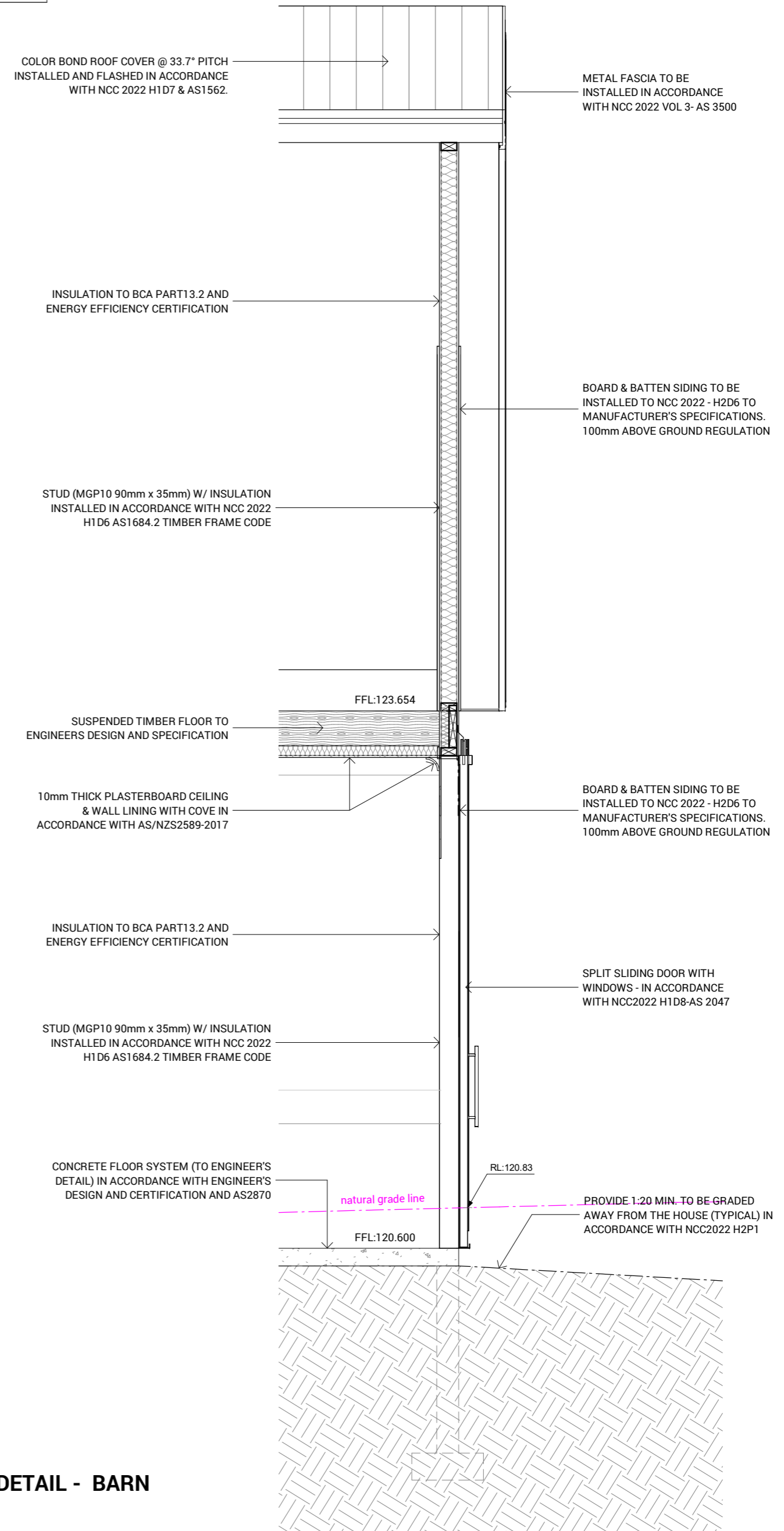
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		CHECKED: MS		
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C	03/02/2026	PRELIMINARY PLANS	MD	
D	28/02/2026	CONSTRUCTION PLANS	MD	
E	14/05/2026	APPROVED FOR CONSTRUCTION	MD	

- NOTE: ROOF TRUSS PERFORMANCE SOLUTION - ROOF TRUSSES TO MANUFACTURER'S DESIGN AND CERTIFICATION TO AS4440
- NOTE: METAL ROOF IN ACCORDANCE WITH NCC2022 H1D7- AS1562.1
- NOTE: FASCIA & GUTTER IN ACCORDANCE WITH NCC2022 VOL 3 - AS3500
- NOTE: METAL ROOF FLASHING - BOX GUTTER/ PARAPETS/ VALLEYS IN ACCORDANCE WITH ABCB BUILDING PROVISIONS PART 7.2.7
- NOTE: BRICK WALL TO BE INSTALLED TO AS3700
- NOTE: TIMBER FRAME IN ACCORDANCE WITH NCC 2022 H1 D6 AS1684.2 TIMBER FRAME CODE
- NOTE: ALUMINUM WINDOW TO BE INSTALLED TO NCC 2022 - H2D6
- NOTE: SLAB IN ACCORDANCE WITH ENGINEERS DESIGN AND CERTIFICATION AND AS2870
- NOTE: GROUND SLOPE IN ACCORDANCE WITH NCC2022 H2P1



WALL SECTION DETAIL - DWELLING
SCALE 1 : 25

- NOTE: STRUCTURAL FRAME STRUCTURAL FRAME TO MANUFACTURERS DESIGN / SPECIFICATIONS / AS1170.1- AS1170.



SWALL SECTION DETAIL - BARN
SCALE 1 : 25



1202 G/470 St Kilda Road, Melbourne VIC 3004
Phone: 61 3 8687 2118
Email: info@draftee.com.au
DP-AD 66464
TAS 400648168
QLD 15127260

SHEET CONTENT:
WALL SECTION DETAIL
HOUSE TYPE:
Residential
PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS
CLIENT:
Adam Martin

CLIENT
I / WE: _____
CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.
SIGN OFF
SIGNED: _____ DATE: _____
SIGNED: _____ DATE: _____

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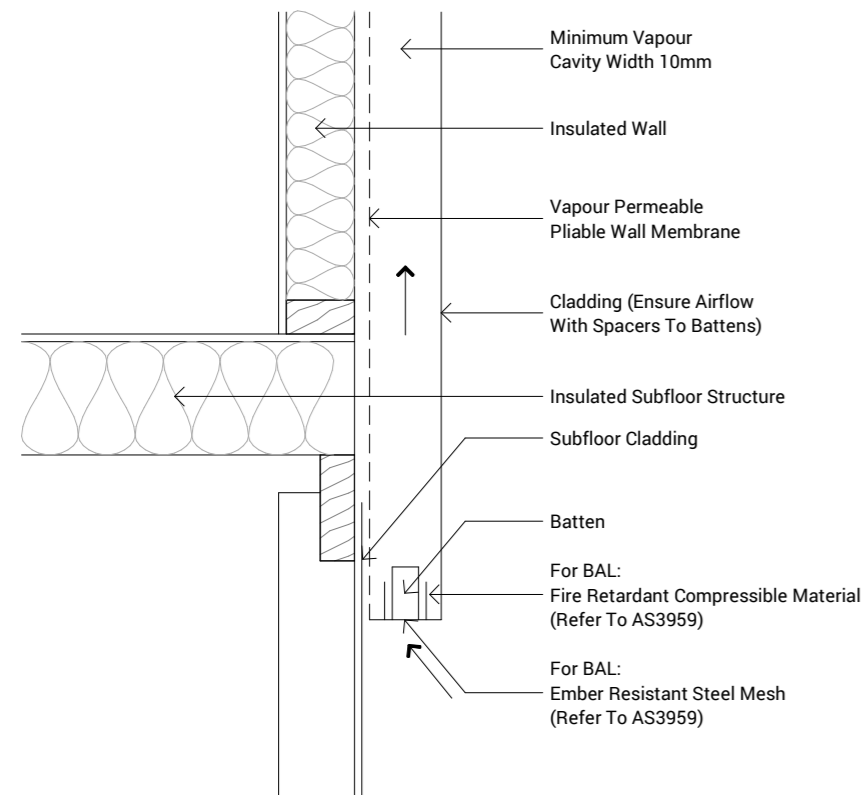


Fig. 37. - SUSPENDED TIMBER FLOOR WITH HORIZONTAL BATTENS

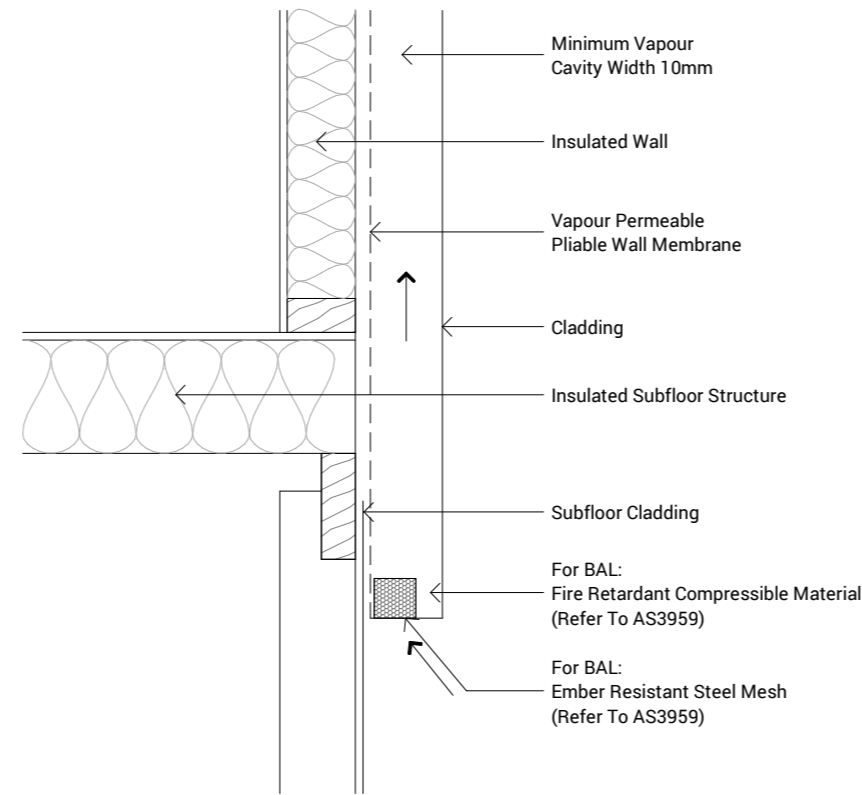


Fig. 38. - SUSPENDED TIMBER FLOOR WITH VERTICAL BATTENS

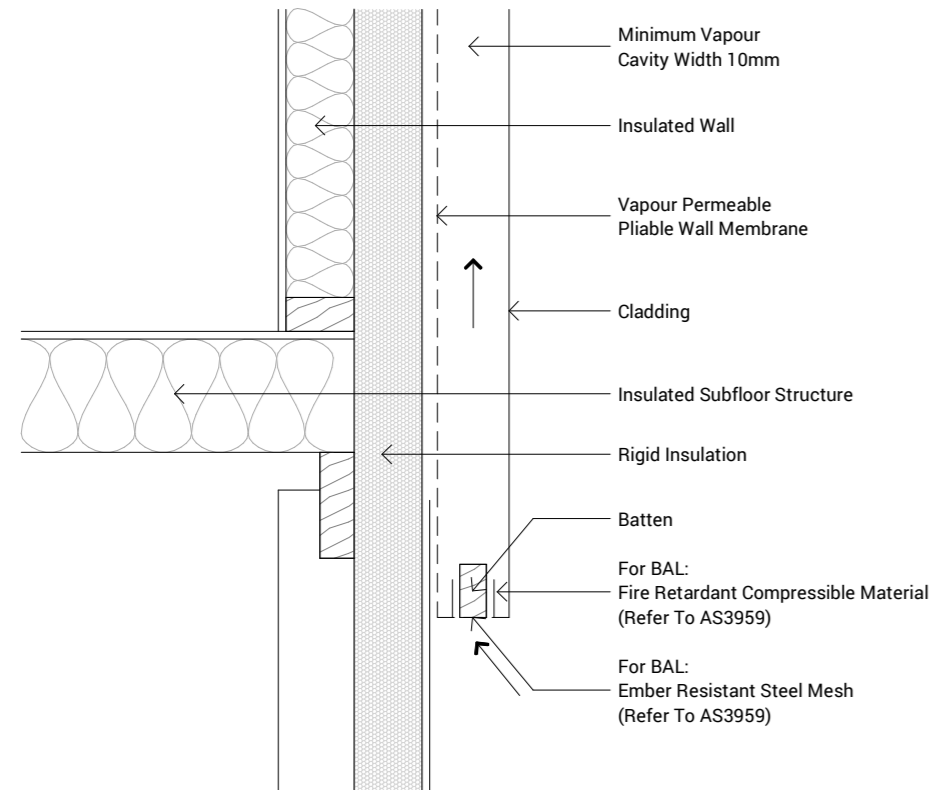


Fig. 39. - SUSPENDED TIMBER FLOOR WITH HORIZONTAL BATTENS AND RIGID INSULATION



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Email: info@draftee.com.au
DP-AD 66464
TAS 4006481168
QLD 15127260

SHEET CONTENT:
CBOS - CONDENSATION WALL SECTION DETAIL
HOUSE TYPE:
Residential
PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS
CLIENT:
Adam Martin

CLIENT
I / WE: _____
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SIGN OFF
SIGNED: _____ DATE: _____
SIGNED: _____ DATE: _____

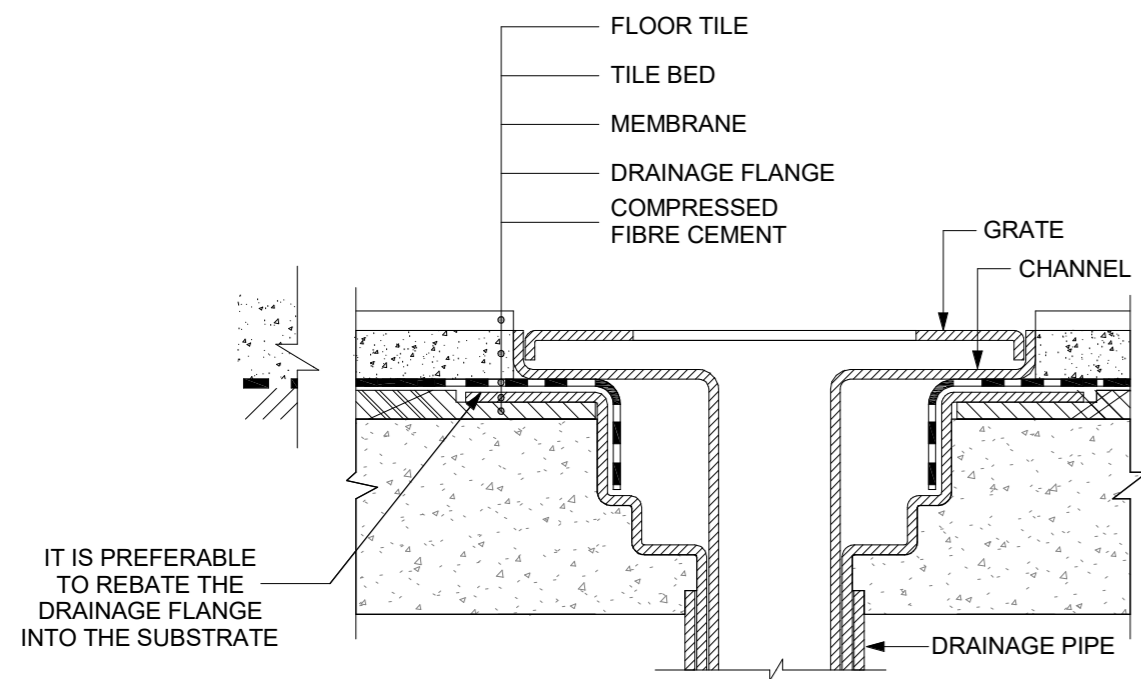
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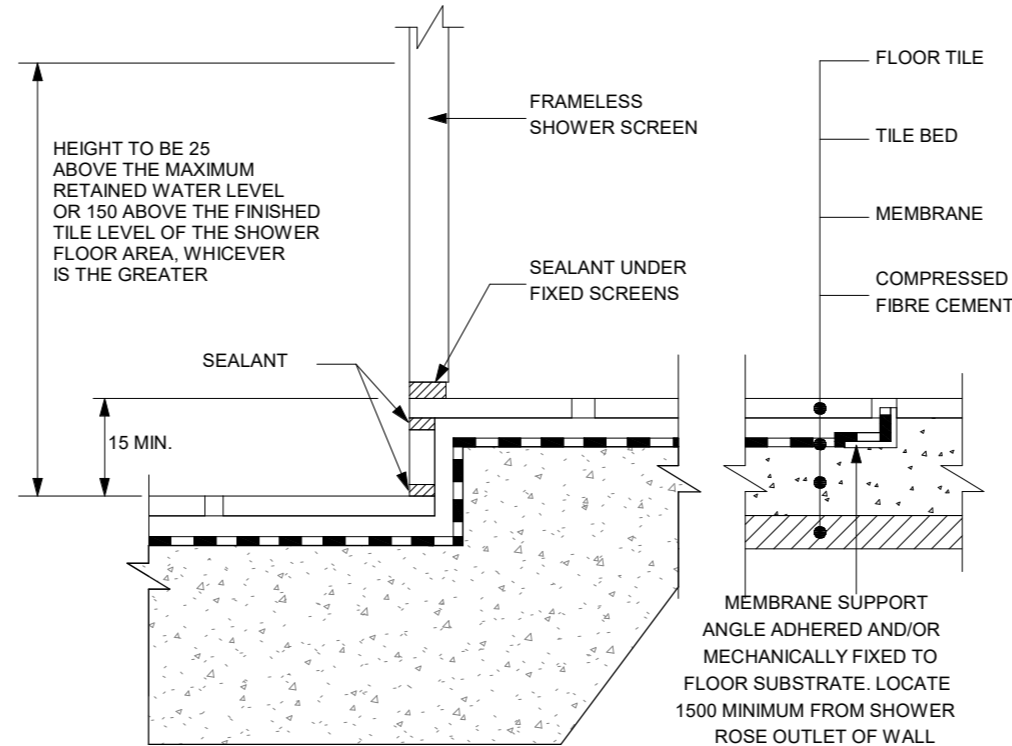
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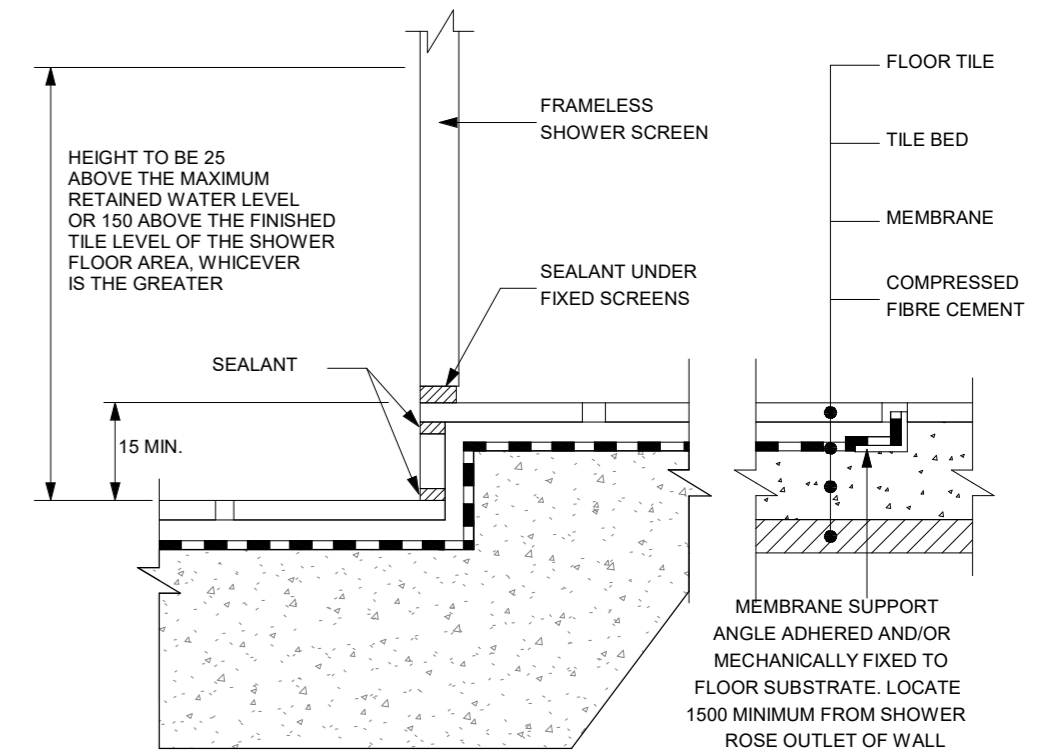
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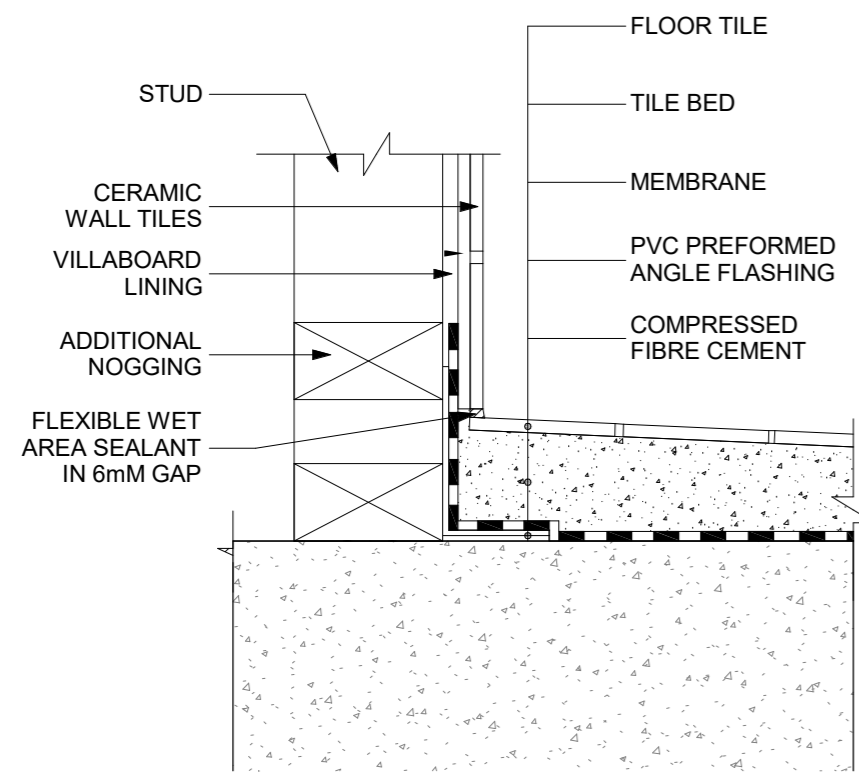
TYPICAL MEMBRANE TERMINATION AT DRAINAGE FLANGE



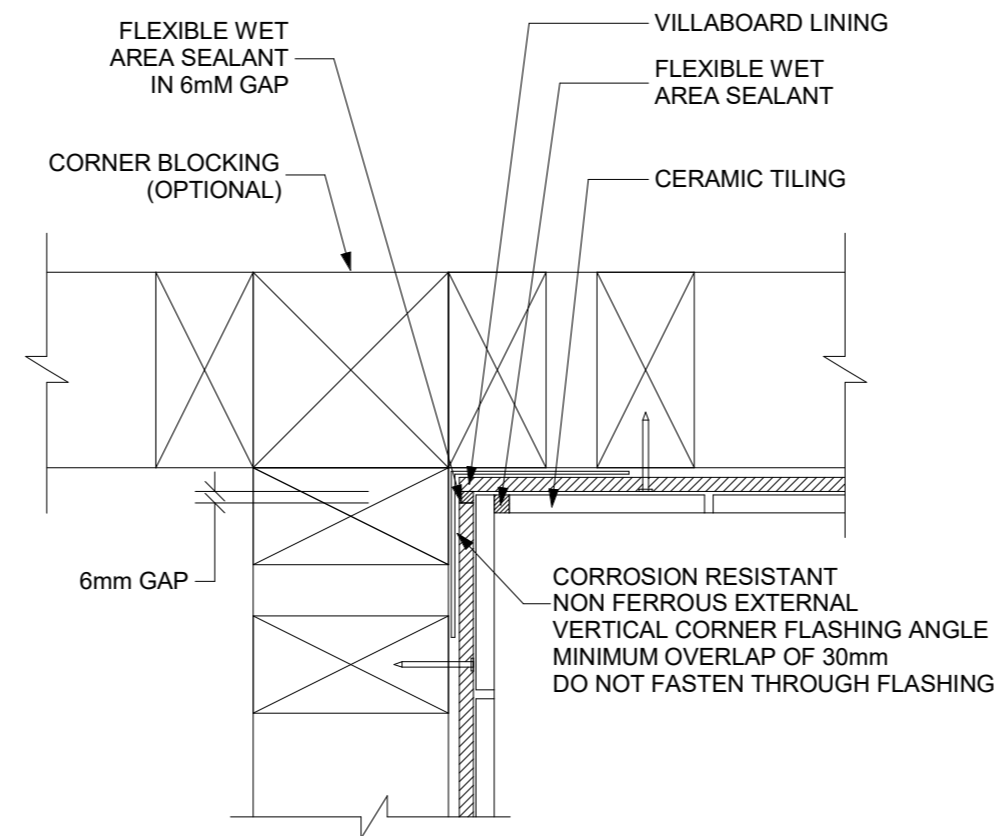
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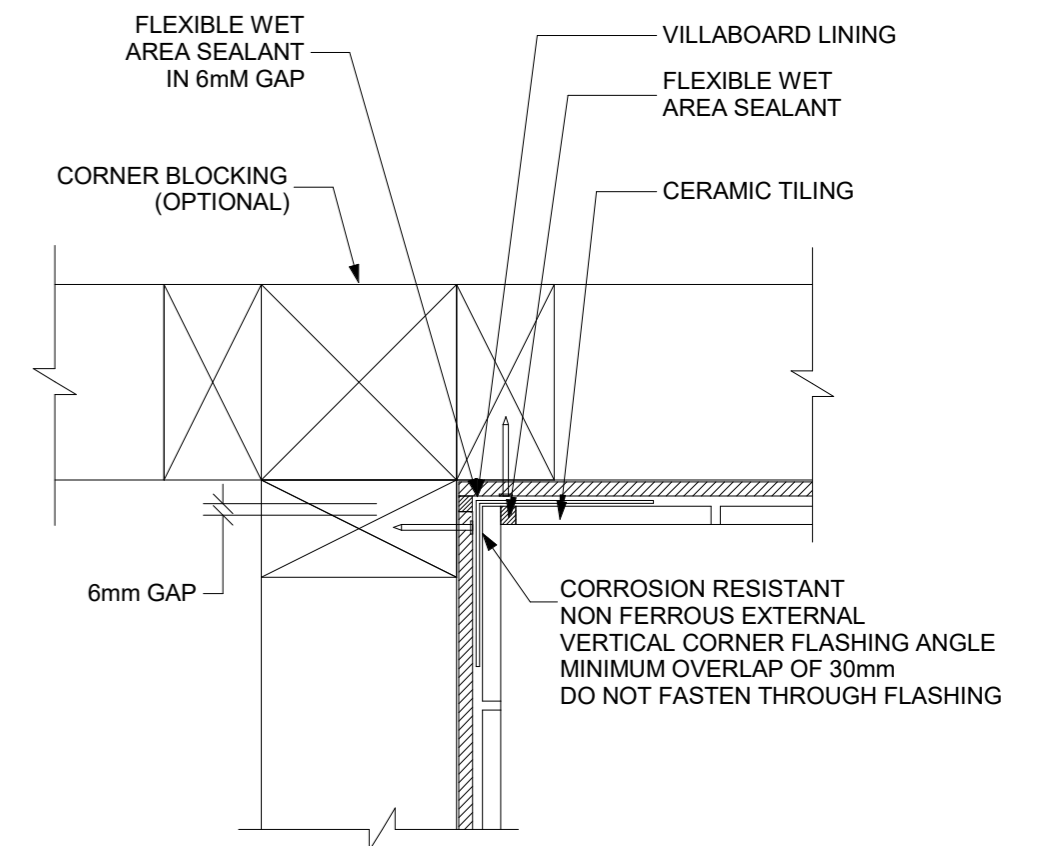
UNENCLOSED SHOWER - MEMBRANE ABOVE TILE BED



UNENCLOSED SHOWER - DETAIL 2



VERTICAL CORNER FLASHING FOR EXTERNAL MEMBRANE SHOWER RECESS



VERTICAL CORNER FLASHING FOR INTERNAL MEMBER SHOWER RECESS

UNENCLOSED SHOWER AREA - STEPPED DOWN



1202 G/470 St Kilda Road, Melbourne VIC 3004
Phone: 61 3 8687 2118
Email: info@draftee.com.au
DP-AD 66464
TAS 400648168
QLD 15127260

SHEET CONTENT:
WATER PROOFING DETAILS - DWELLING
HOUSE TYPE:
Residential
PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS
CLIENT:
Adam Martin

CLIENT
I / WE: _____
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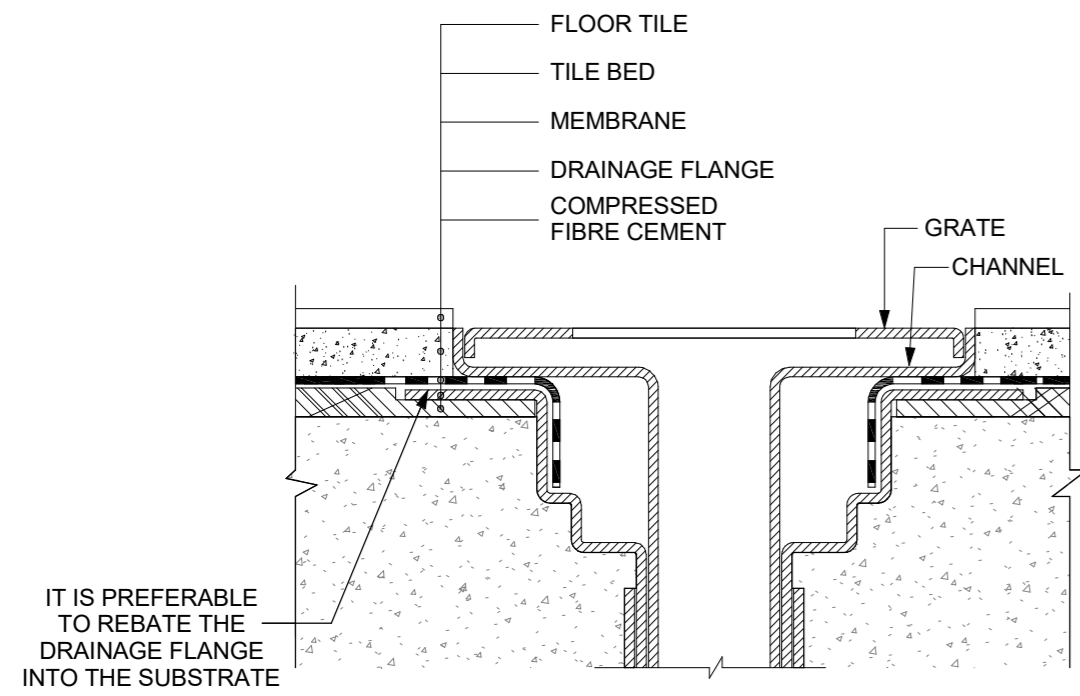
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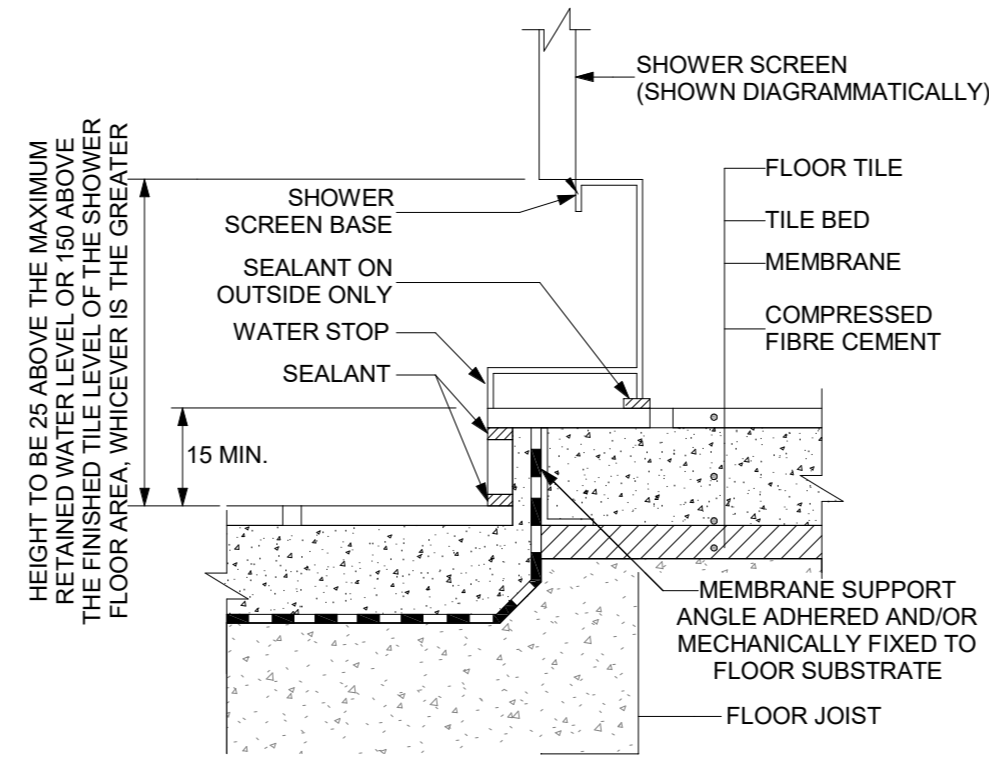
Sorell Council
Development Application: 5.2026.147.1 -
Response to Request For Information - 412
Sugarloaf Road, Carlton River - P2.pdf
Plans Reference: P2
Date received: 18/05/2026

NORTH:	SCALE: @ A2	SHEET NUMBER: 15.1	JOB NUMBER: 25-0146
	DATE: 2026		JOB ISSUE: E
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ISSUE	DATE	REVISION DESCRIPTION	INITIALS
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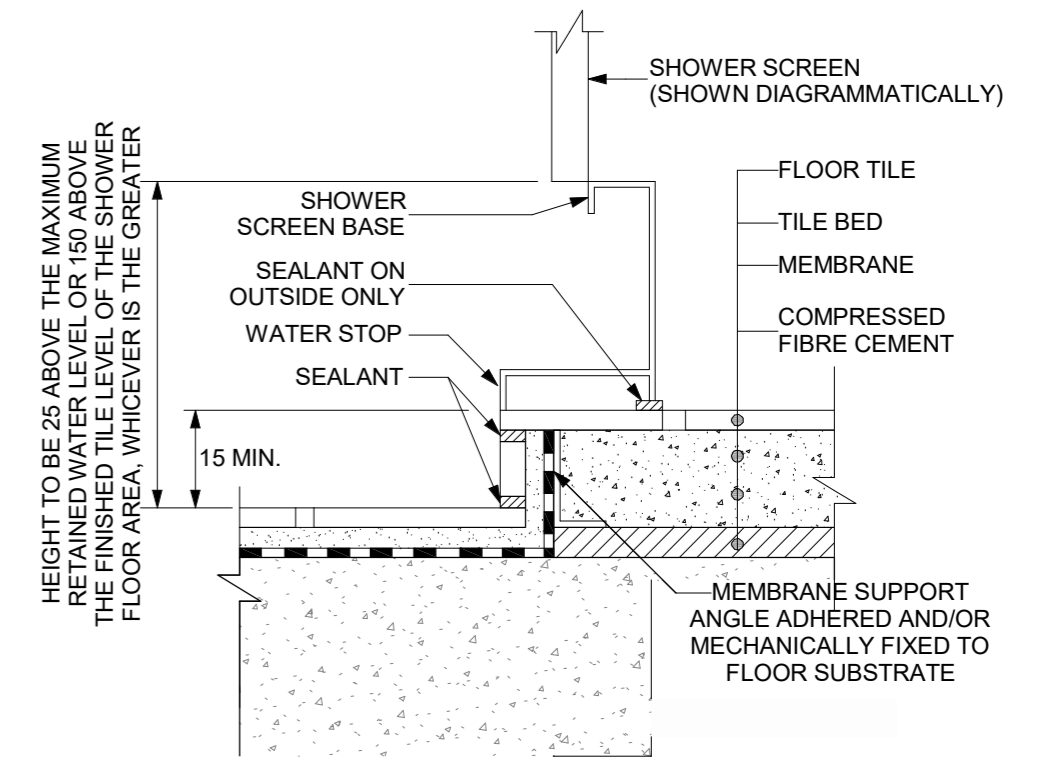
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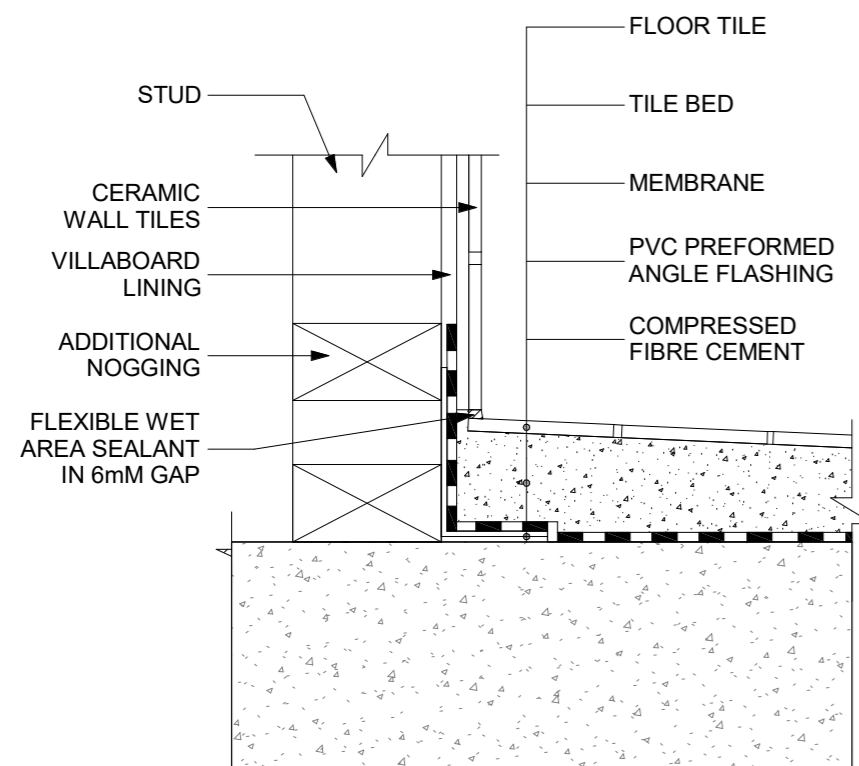
TYPICAL MEMBRANE TERMINATION AT DRAINAGE FLANGE



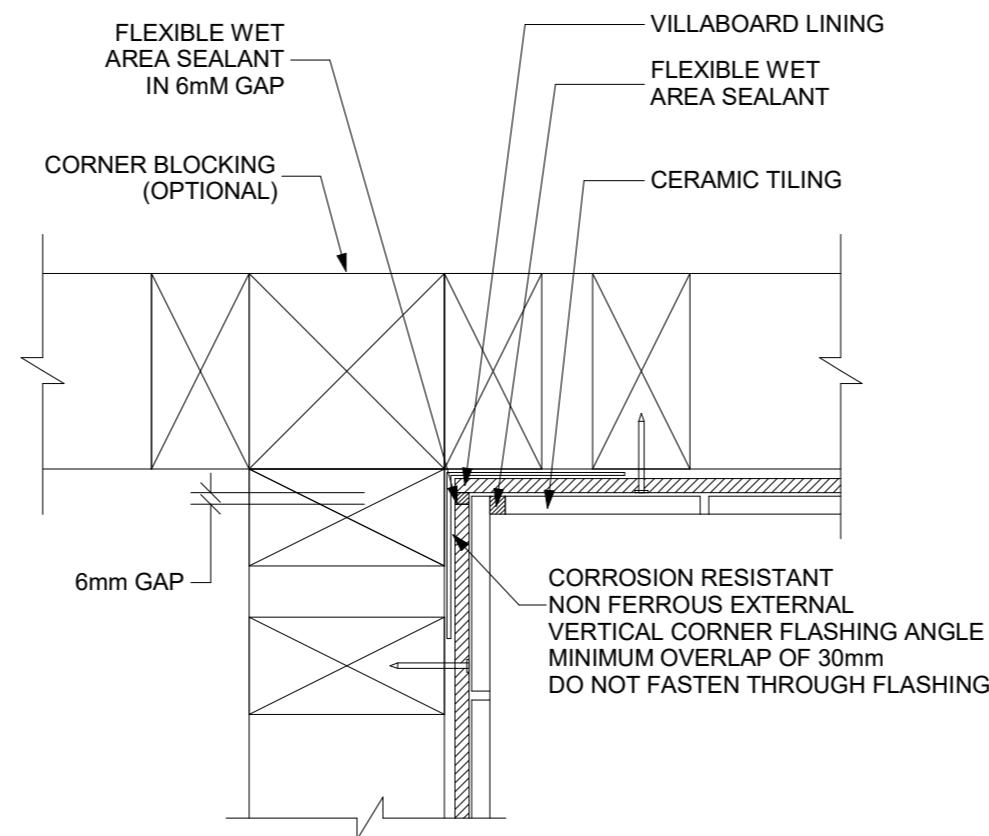
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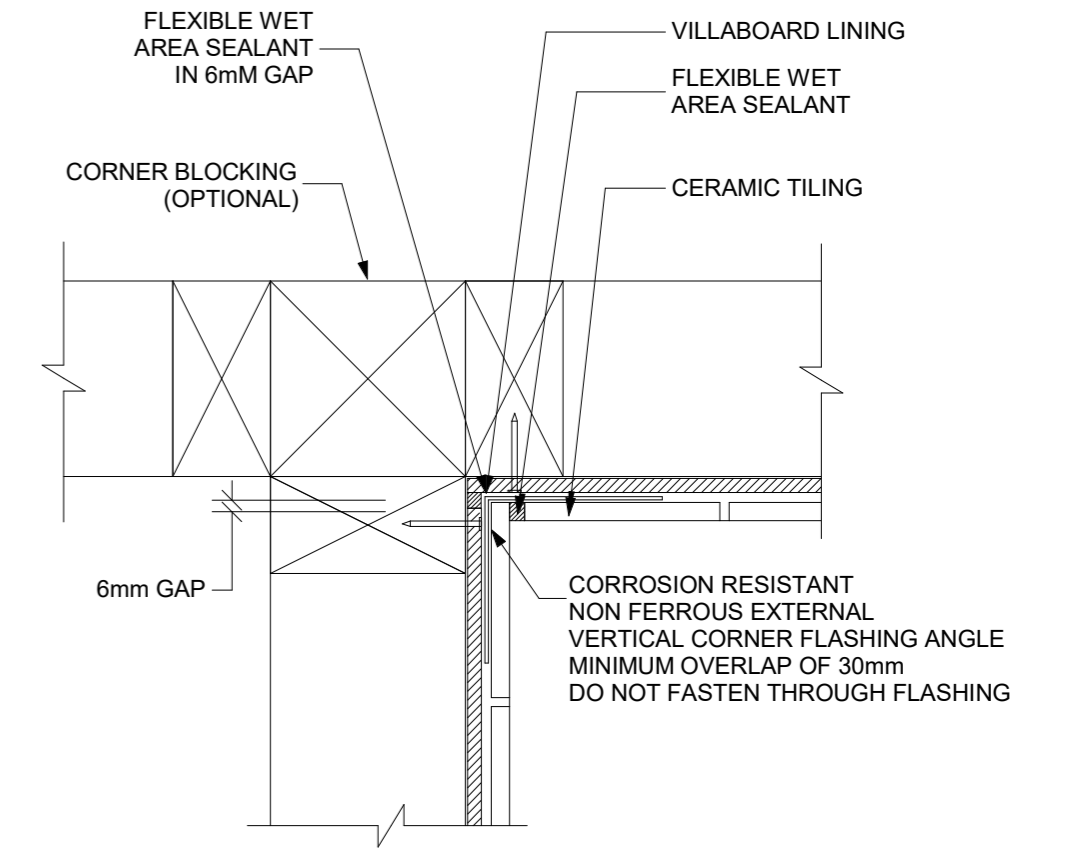
ENCLOSED SHOWER - MEMBRANE ABOVE TILE BED



ENCLOSED SHOWER - DETAIL 2



VERTICAL CORNER FLASHING FOR EXTERNAL MEMBER SHOWER RECESS



ENCLOSED SHOWER - VERTICAL CORNER FLASHING FOR INTERNAL MEMBER SHOWER RECESS

ENCLOSED SHOWER AREA-STEPPED DOWN



1202 G/470 St Kilda Road, Melbourne VIC 3004
Phone: 61 3 8687 2118
Email: info@draftee.com.au
DP-AD 66464
TAS 400648168
QLD 15127260

SHEET CONTENT:
WATER PROOFING DETAILS - DWELLING
HOUSE TYPE:
Residential
PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS
CLIENT:
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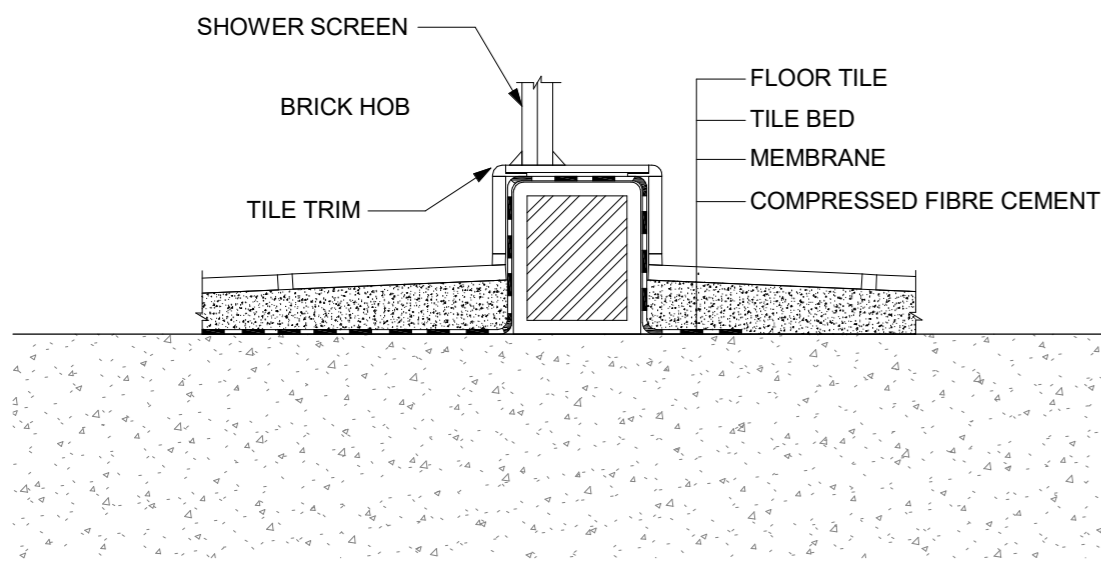
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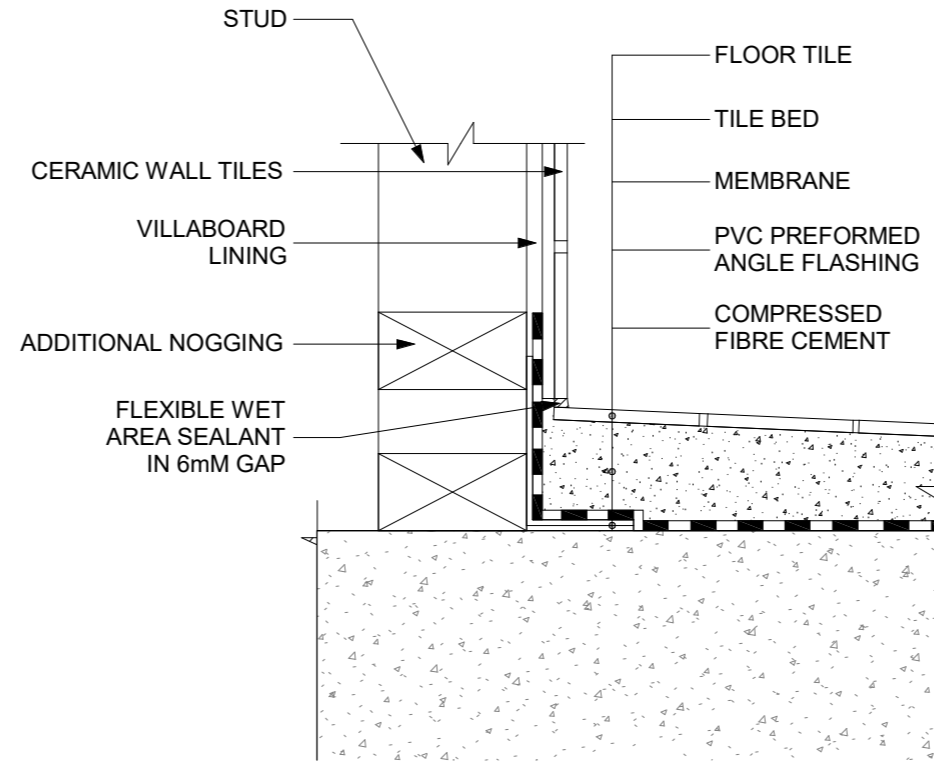
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Sugarloaf Road, Carlton River - P2.pdf
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ISSUE	DATE	REVISION DESCRIPTION	INITIALS
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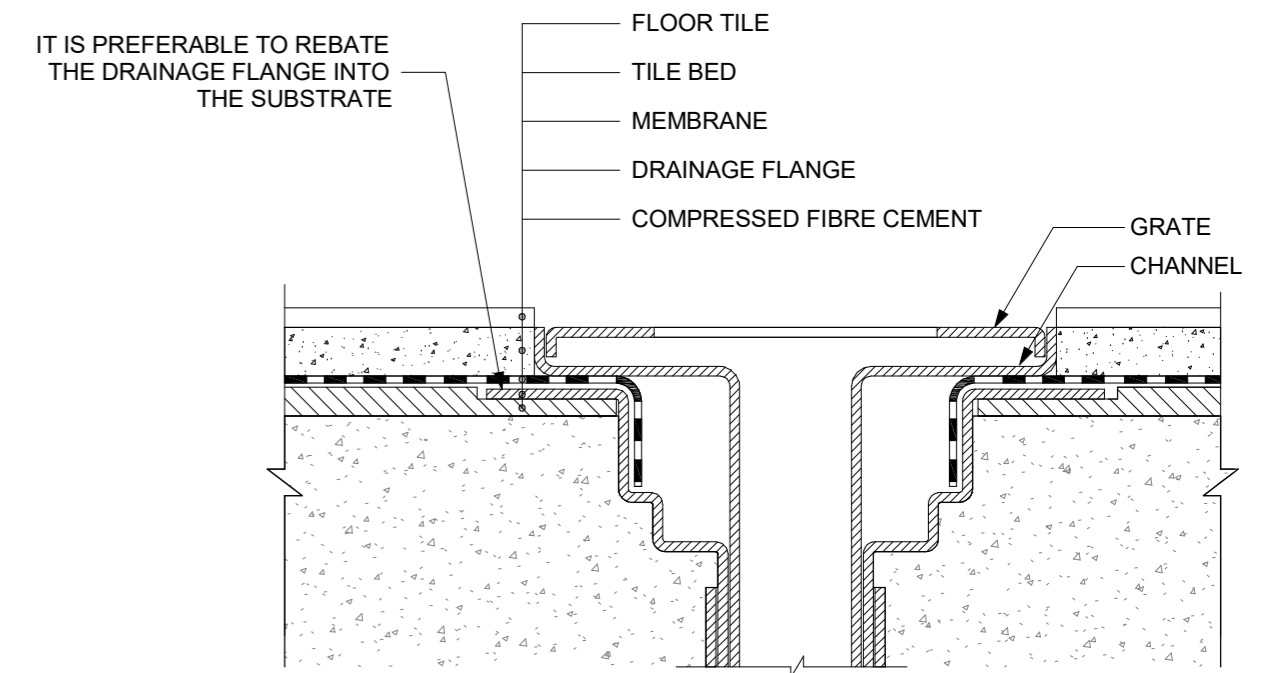
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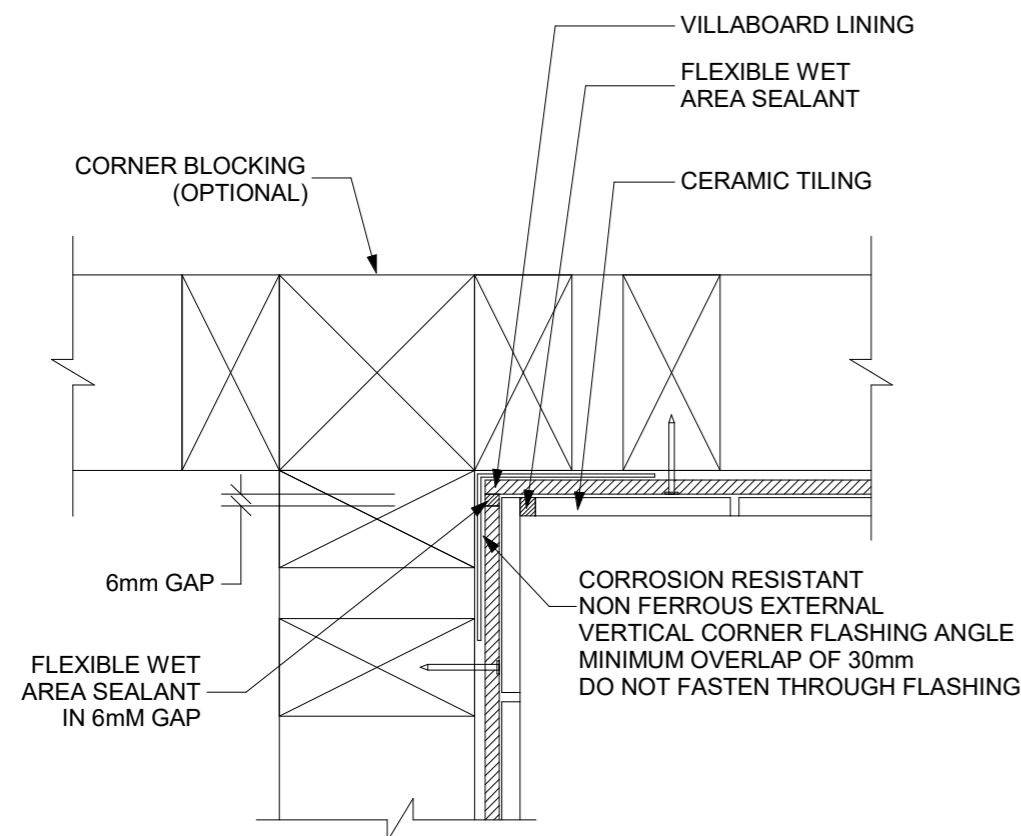
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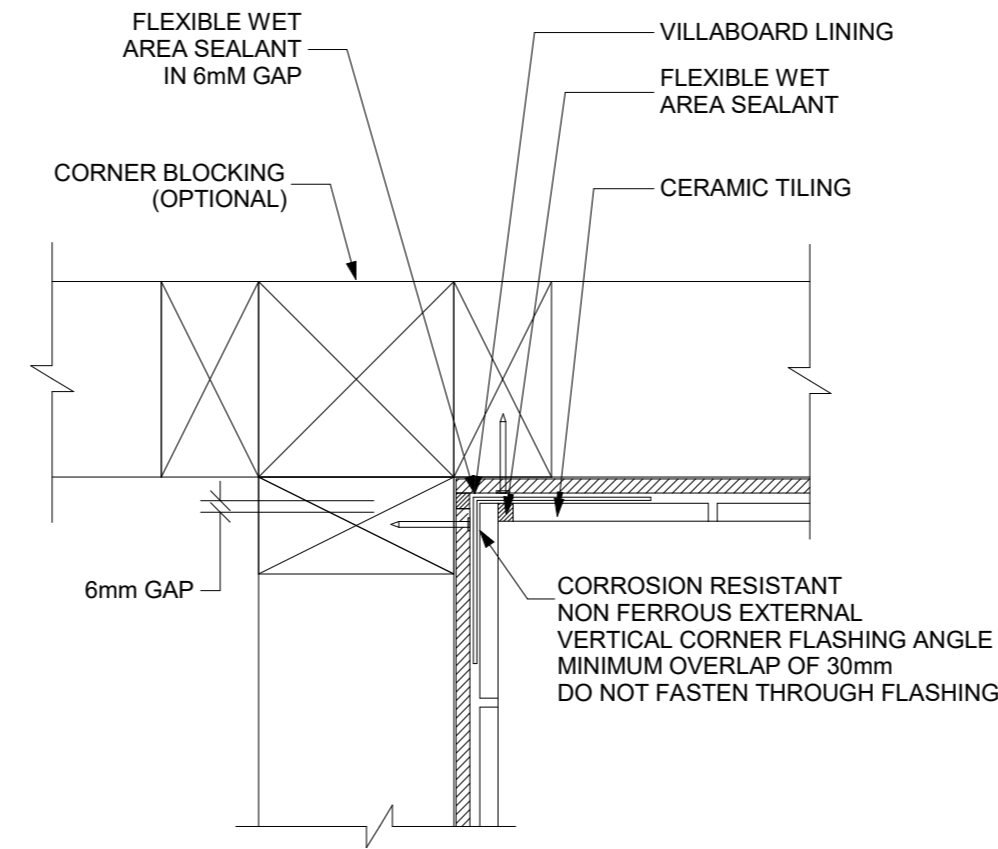
DETAIL 2



TYPICAL MEMBRANE TERMINATION AT DRAINAGE FLANGE



VERTICAL CORNER FLASHING FOR EXTERNAL MEMBRANE SHOWER RECESS



VERTICAL CORNER FLASHING FOR INTERNAL MEMBRANE SHOWER RECESS

SHOWER AREA - WITH HOB



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QLD 15127260

SHEET CONTENT:
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HOUSE TYPE:
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PROPERTY ADDRESS:
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CARLTON RIVER 7173 TAS

CLIENT:
Adam Martin

CLIENT

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SIGNED: _____ DATE: _____

SIGNED: _____ DATE: _____

SIGN OFF

GENERAL DRAFTING NOTES:

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* FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE

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* DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD ETC.

* REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.

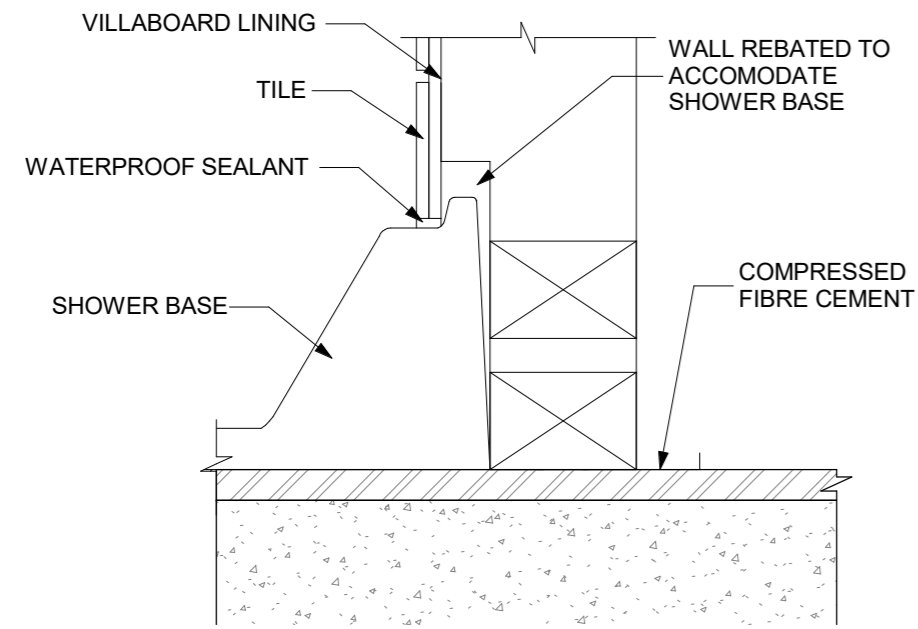
BUILDER SPECIFICATION:

PLANS ARE DRAWN IN ACCORDANCE WITH AS111 AUSTRALIAN STANDARD FOR THE DRAFTING - FOR ALL PERMIT APPLICATIONS THE BUILDER / OWNER BUILDER TO SUPPORT THE PLANS WITH BUILDER SPECIFICATION ON MATERIALS AND METHODS IN ACCORDANCE WITH NCC2022 - GOVERNING REQUIREMENTS ASGI - SUITABILITY

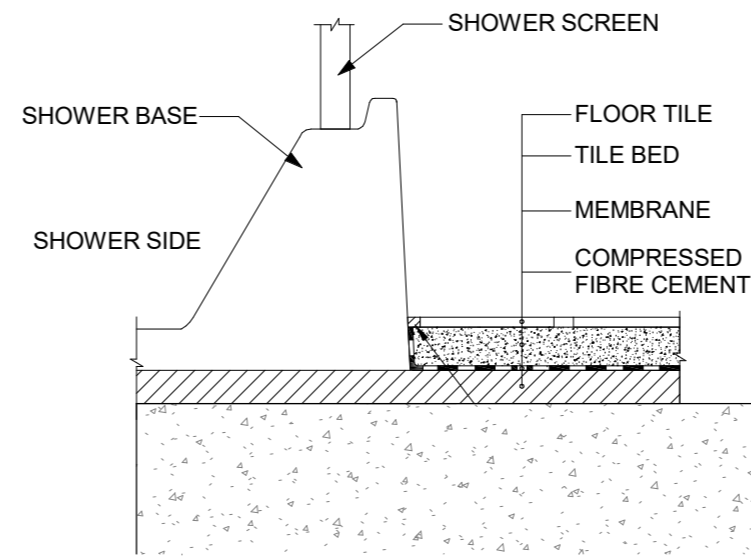
Development Application: 5.2026.147.1 -
Response to Request For Information - 412
Sugarloaf Road, Carlton River - P2.pdf
Plans Reference: P2
Date received: 18/05/2026

NORTH:	SCALE: @ A2	SHEET NUMBER: 15.3	JOB NUMBER: 25-0146
	DATE: 2026		JOB ISSUE: E
	DRAWN: MD		
	CHECKED: MS		
ISSUE	DATE	REVISION DESCRIPTION	INITIALS
A	21/12/2025	PRELIMINARY PLANS	MD
B	30/01/2026	PRELIMINARY PLANS	MD
C	03/02/2026	PRELIMINARY PLANS	MD
D	28/02/2025	CONSTRUCTION PLANS	MD
E	14/05/2026	APPROVED FOR CONSTRUCTION	MD

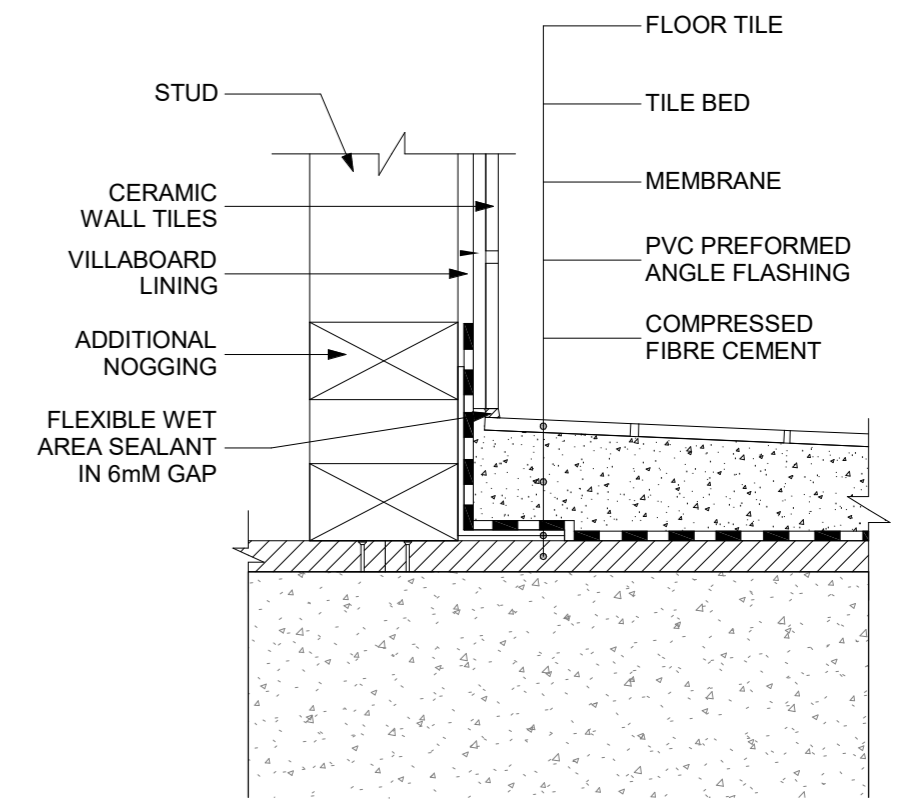
NOTE:
TYPICAL WATERPROOF DETAILS TO AS3740.2021
AND NCC VOLUME TWO 2022 PART 310.2.6 / 10.2.8 -
TO BE INSTALLED & CERTIFIED IN SITU BY
INSTALLER WHERE/IF REQUIRED



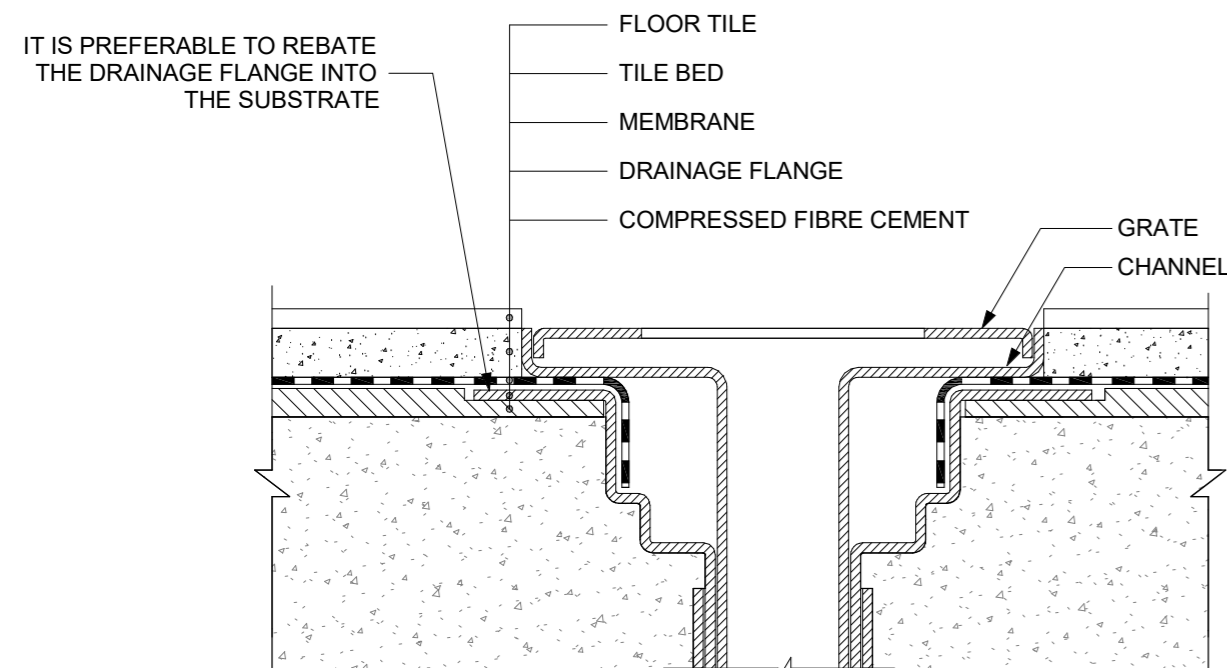
DETAIL 1



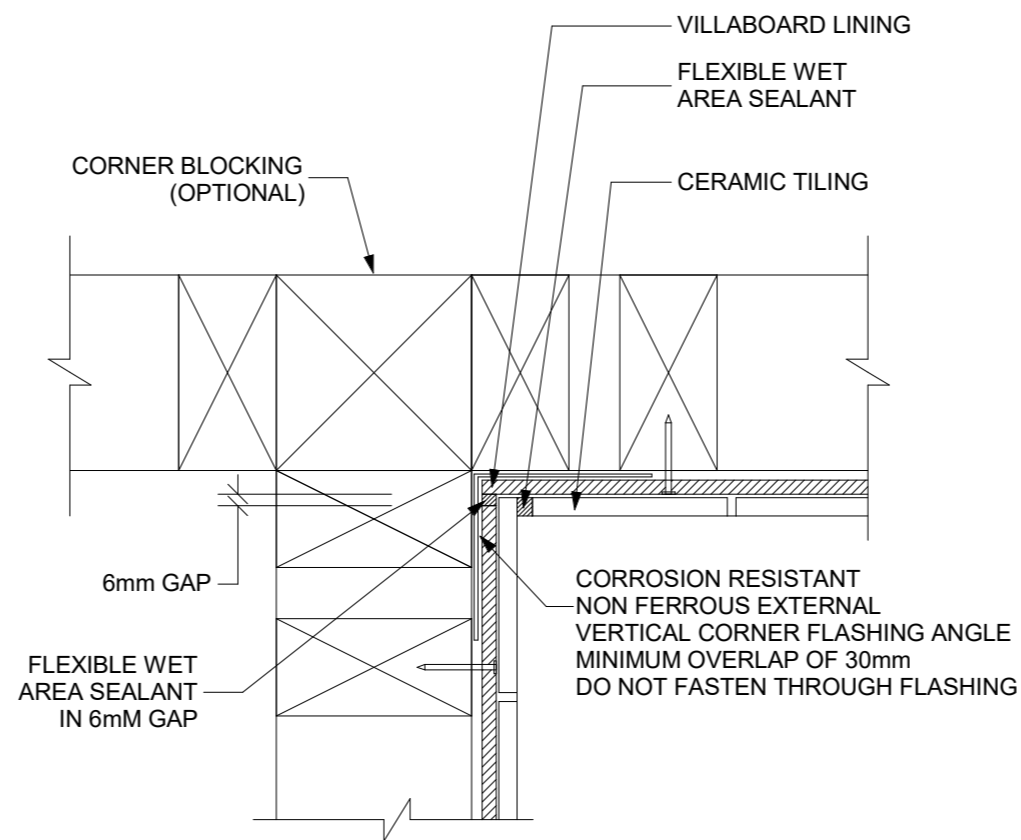
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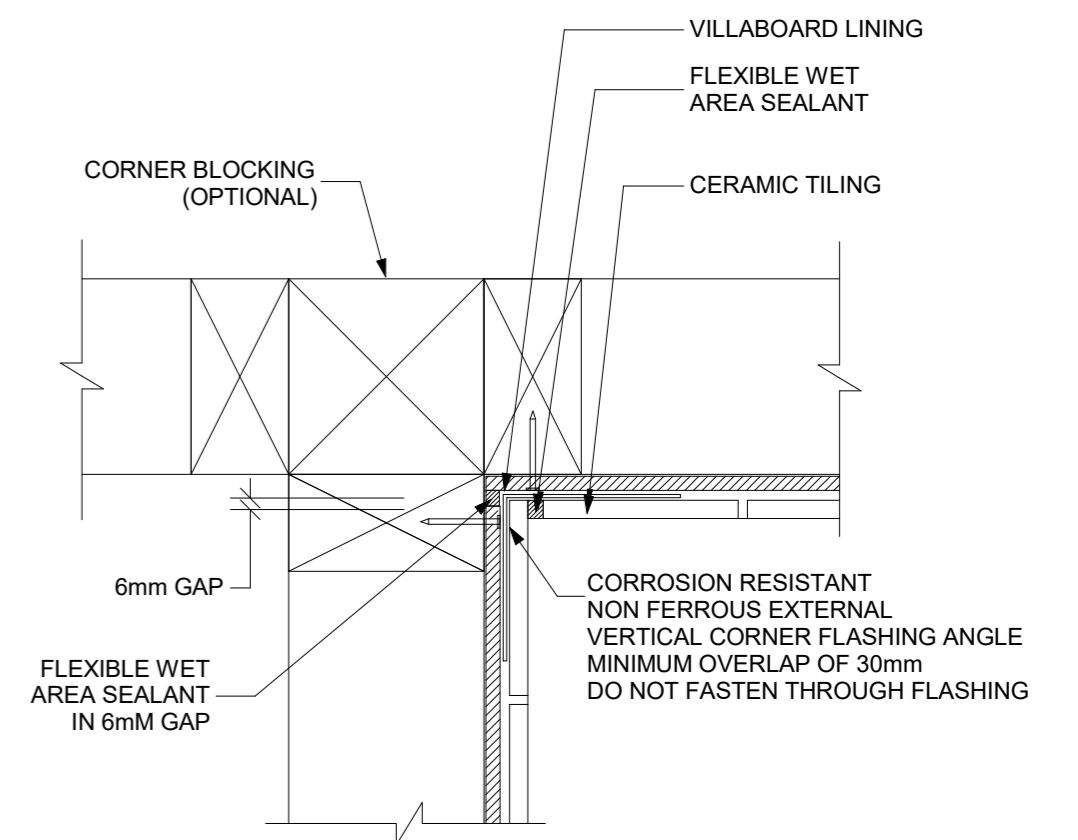
DETAIL 3



TYPICAL MEMBRANE TERMINATION AT DRAINAGE FLANGE



VERTICAL CORNER FLASHING FOR EXTERNAL MEMBRANE SHOWER RECESS



VERTICAL CORNER FLASHING FOR INTERNAL MEMBRANE SHOWER RECESS

SHOWER AREA - PREFORMED SHOWER BASE



1202 G/470 St Kilda Road, Melbourne VIC 3004
Phone: 61 3 8687 2118
Email: info@draftee.com.au
DP-AD 66464
TAS 4006481168
QLD 15127260

SHEET CONTENT:
WATER PROOFING DETAILS - DWELLING
HOUSE TYPE:
Residential
PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS
CLIENT:
Adam Martin

CLIENT
I / WE: _____
CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.
SIGNED: _____ DATE: _____
SIGNED: _____ DATE: _____

SIGN OFF

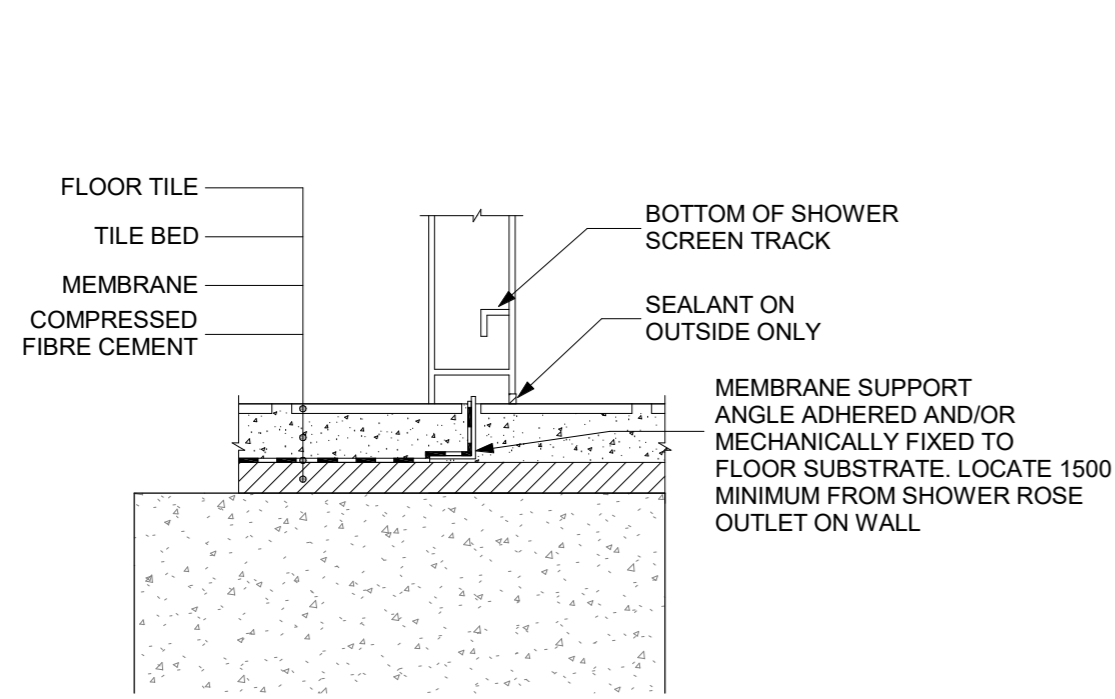
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BUILDER SPECIFICATION:
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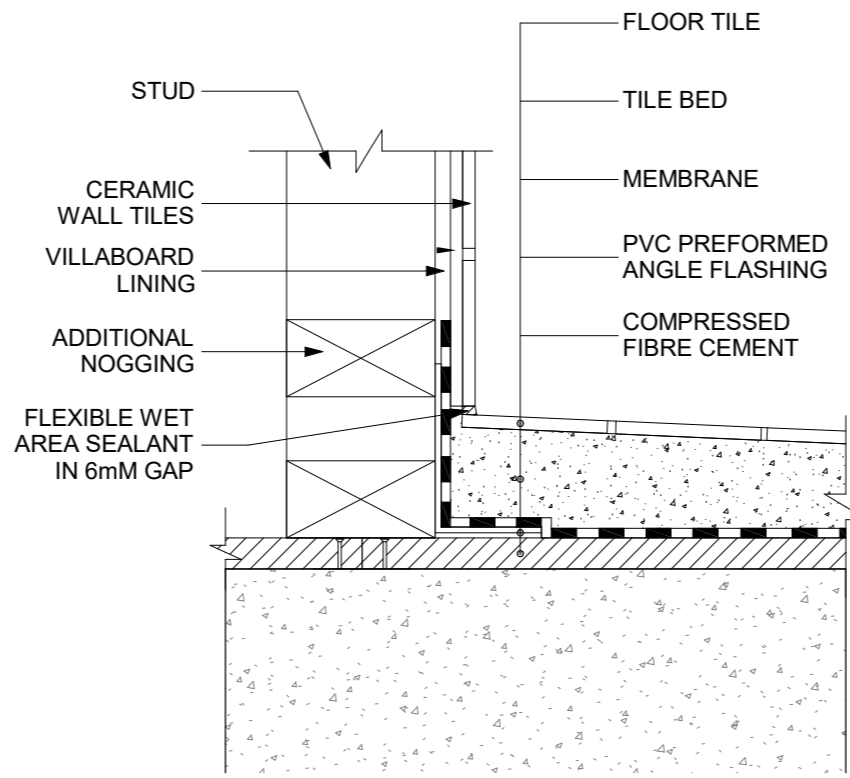
Sorell Council
Development Application: 5.2026.147.1 -
Response to Request For Information - 412
Sugarloaf Road, Carlton River - P2.pdf
Plans Reference: P2
Date received: 18/05/2026

NORTH:	SCALE: @ A2	SHEET NUMBER: 15.4	JOB NUMBER: 25-0146
	DATE: 2026		JOB ISSUE: E
	DRAWN: MD		
	CHECKED: MS		
ISSUE	DATE	REVISION DESCRIPTION	INITIALS
A	21/12/2025	PRELIMINARY PLANS	MD
B	30/01/2026	PRELIMINARY PLANS	MD
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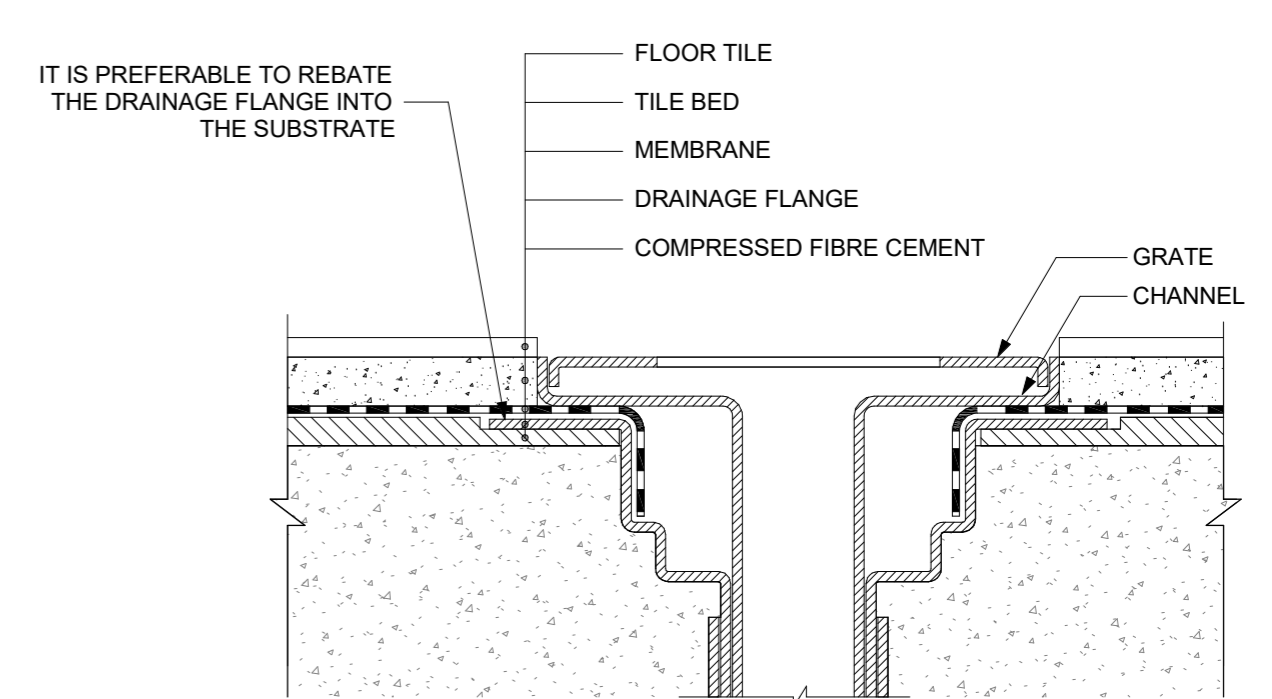
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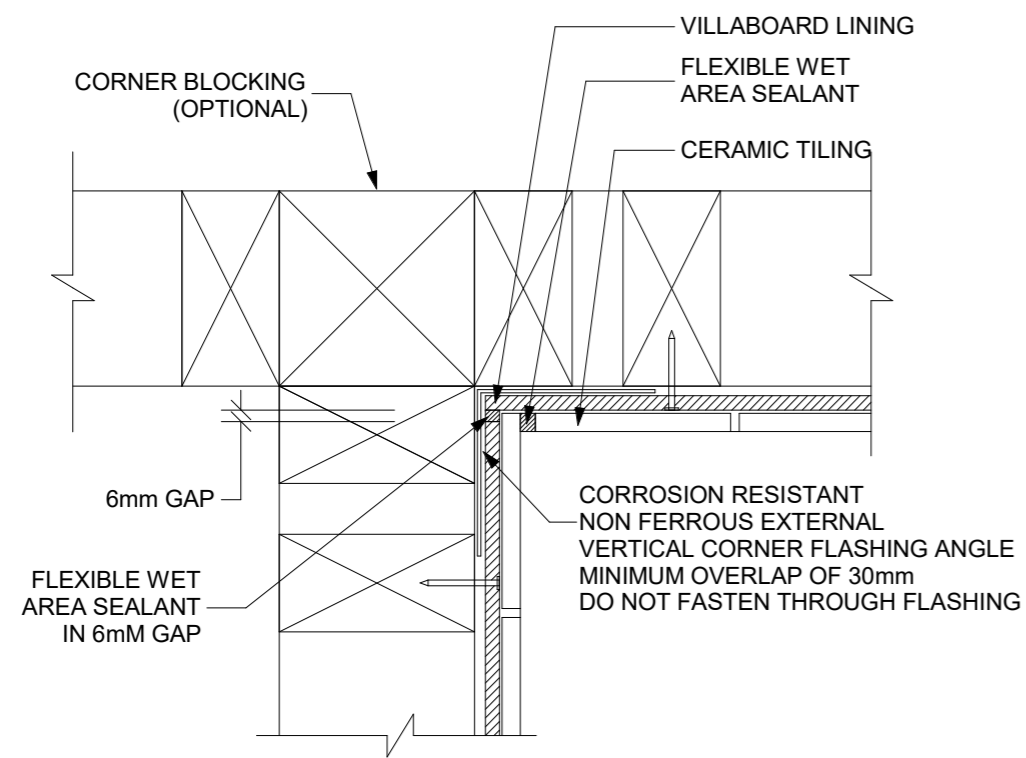
DETAIL 1



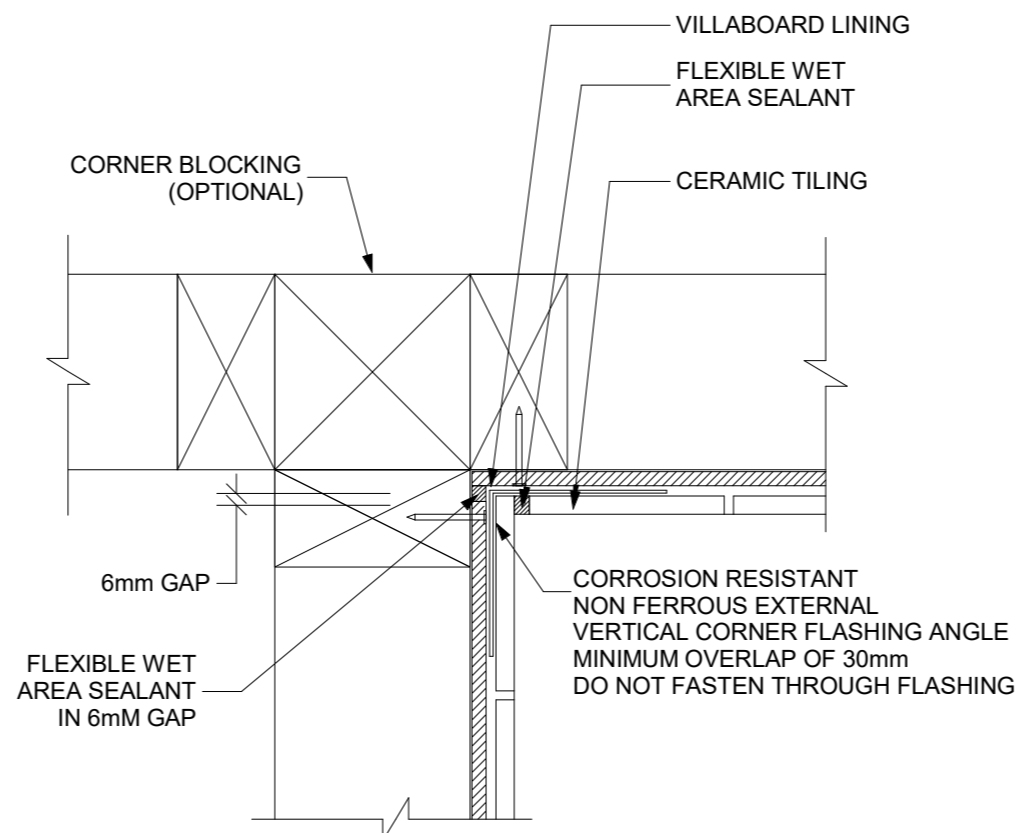
DETAIL 2



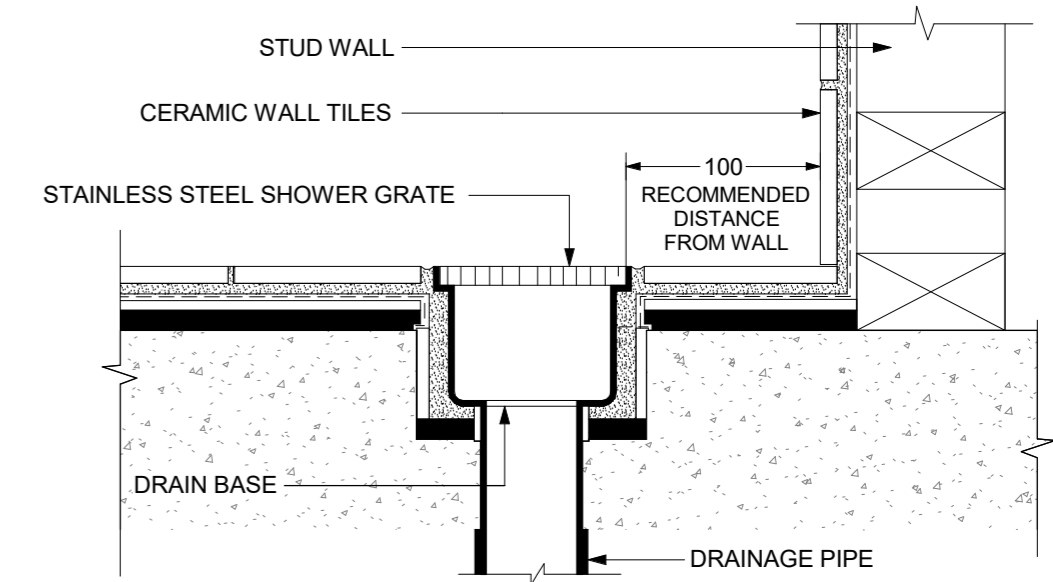
TYPICAL MEMBRANE TERMINATION AT DRAINAGE FLANGE



VERTICAL CORNER FLASHING FOR EXTERNAL MEMBRANE SHOWER RECESS



VERTICAL CORNER FLASHING FOR INTERNAL MEMBRANE SHOWER RECESS



TYPICAL STRIP GRATE DETAIL

SHOWER AREA - WITHOUT HOB



1202 G/470 St Kilda Road, Melbourne VIC 3004
Phone: 61 3 8687 2118
Email: info@draftee.com.au
DP-AD 66464
TAS 400648168
QLD 15127260

SHEET CONTENT:
WATER PROOFING DETAILS - DWELLING

HOUSE TYPE:
Residential

PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS

CLIENT:
Adam Martin

CLIENT

I / WE

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.

SIGNED: DATE:

SIGNED: DATE:

SIGN OFF

GENERAL DRAFTING NOTES:

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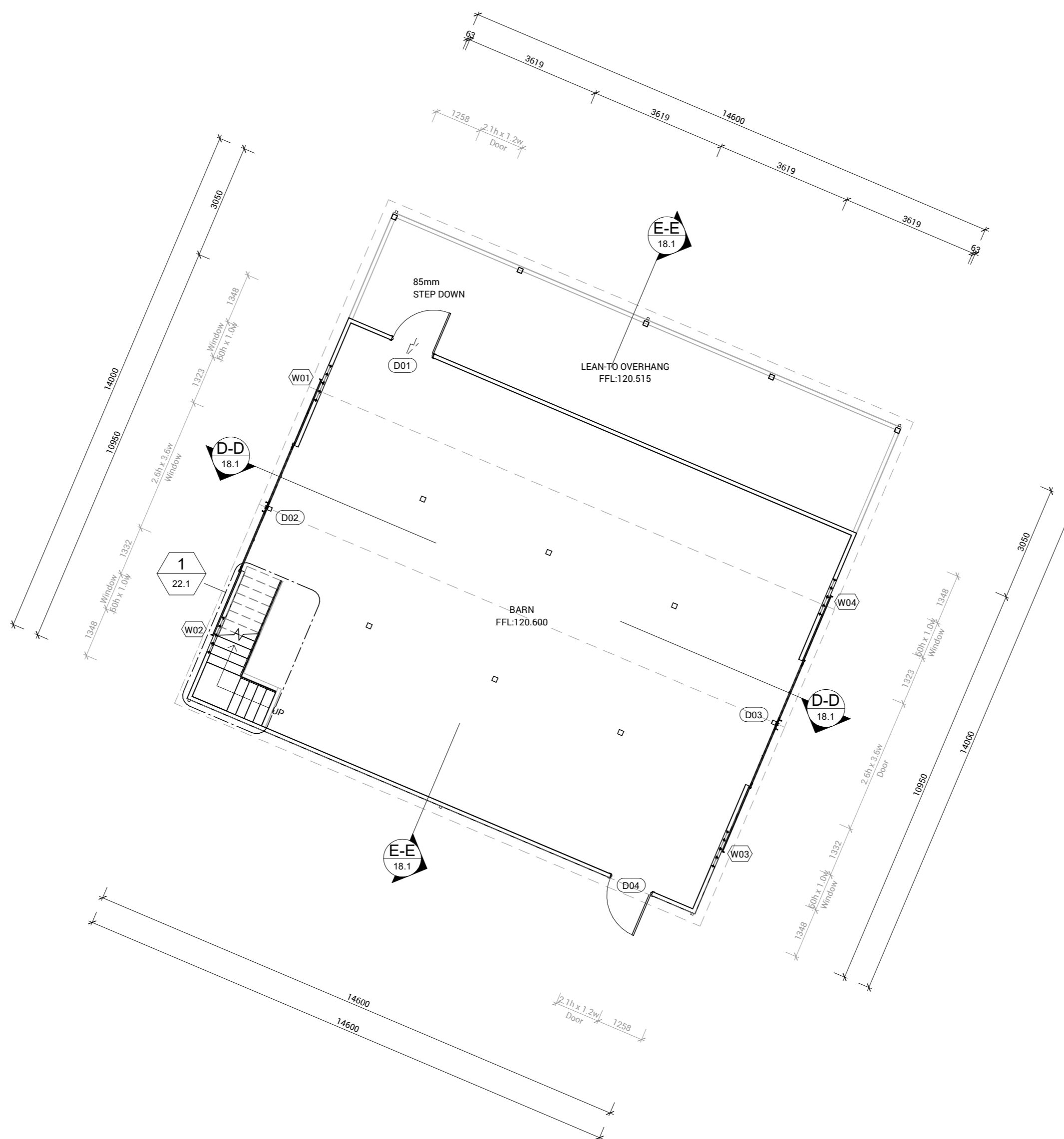
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Sorell Council

Development Application: 5.2026.147.1 -
Response to Request For Information - 412
Sugarloaf Road, Carlton River - P2.pdf
Plans Reference: P2
Date received: 18/05/2026

NORTH:	SCALE: @ A2	SHEET NUMBER: 15.5	JOB NUMBER: 25-0146
	DATE: 2026		JOB ISSUE: E
	DRAWN: MD		
	CHECKED: MS		
ISSUE	DATE	REVISION DESCRIPTION	INITIALS
A	21/12/2025	PRELIMINARY PLANS	MD
B	30/01/2026	PRELIMINARY PLANS	MD
C	03/02/2026	PRELIMINARY PLANS	MD
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E	14/05/2026	APPROVED FOR CONSTRUCTION	MD



1202 G/470 St Kilda Road, Melbourne VIC 3004
Phone: 61 3 8687 2118
Email: info@draftee.com.au
DP-AD 66464
TAS 400648168
QLD 15127260

SHEET CONTENT:
GROUND FLOOR PLAN - BARN

HOUSE TYPE:
Residential

PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS

CLIENT:
Adam Martin

CLIENT

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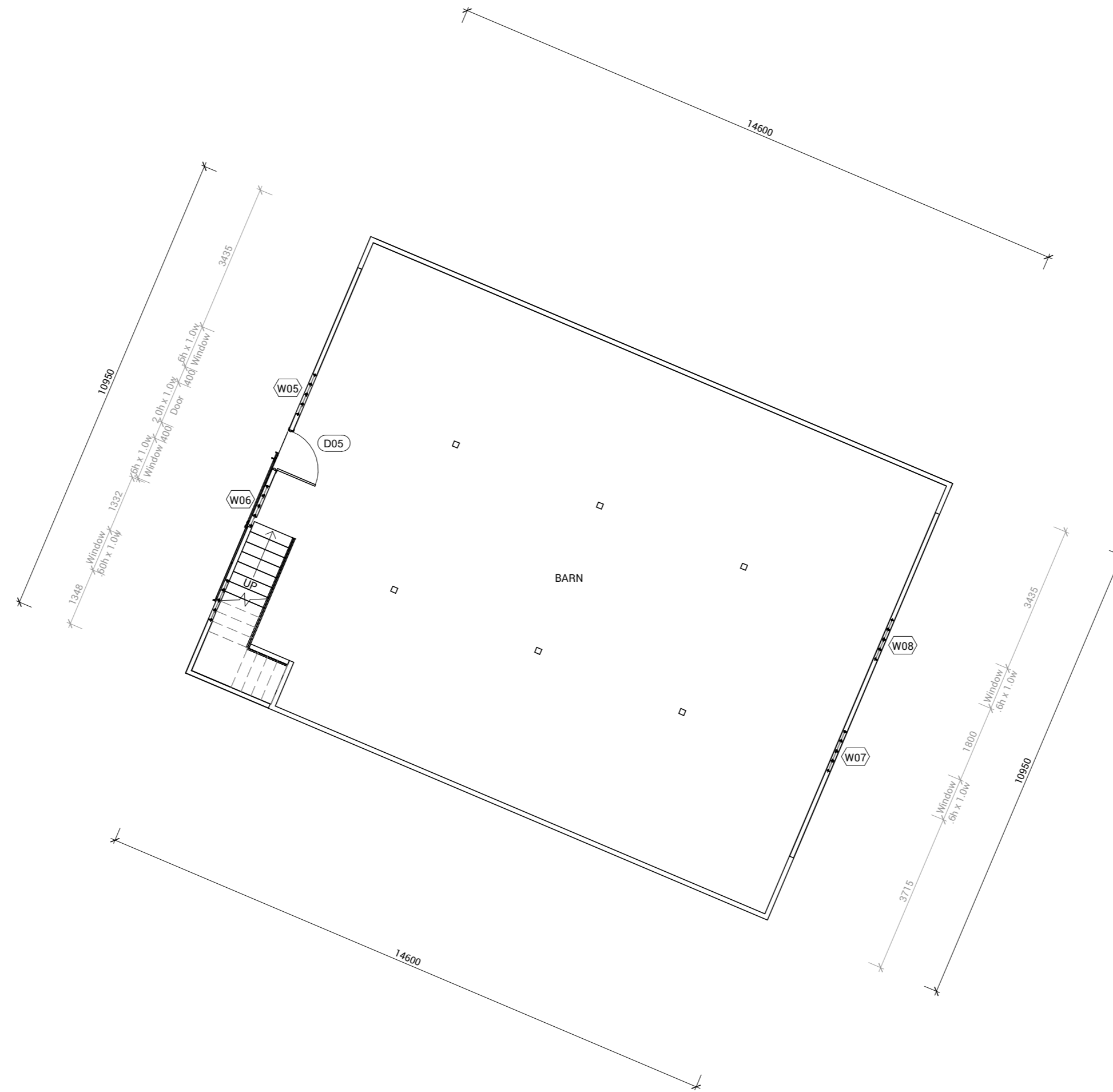
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NORTH:		SCALE: @ A2	SHEET NUMBER: 16.1	JOB NUMBER: 25-0146
DATE: 2026		DRAWN: MD	CHECKED: MS	JOB ISSUE: E
ISSUE	DATE	REVISION DESCRIPTION	INITIALS	
A	21/12/2025	PRELIMINARY PLANS	MD	
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1202 G/470 St Kilda Road, Melbourne VIC 3004
 Phone: 61 3 8687 2118
 Email: info@draftee.com.au
 DP-AD 66464
 TAS 4006481168
 QLD 15127260

SHEET CONTENT:
 FIRST FLOOR PLAN - BARN

HOUSE TYPE:
 Residential

PROPERTY ADDRESS:
 412 SUGARLOAF ROAD
 CARLTON RIVER 7173 TAS

CLIENT:
 Adam Martin

CLIENT

I / WE: _____

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Sorell Council
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NORTH:		SCALE: @ A2	SHEET NUMBER: 16.2	JOB NUMBER: 25-0146
DATE: 2026		DRAWN: MD	CHECKED: MS	JOB ISSUE: E
ISSUE	DATE	REVISION DESCRIPTION	INITIALS	
A	21/12/2025	PRELIMINARY PLANS	MD	
B	30/01/2026	PRELIMINARY PLANS	MD	
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E	14/05/2026	APPROVED FOR CONSTRUCTION	MD	

NOTE: METAL ROOF
IN ACCORDANCE WITH NCC2022 H1D7- AS1562.1

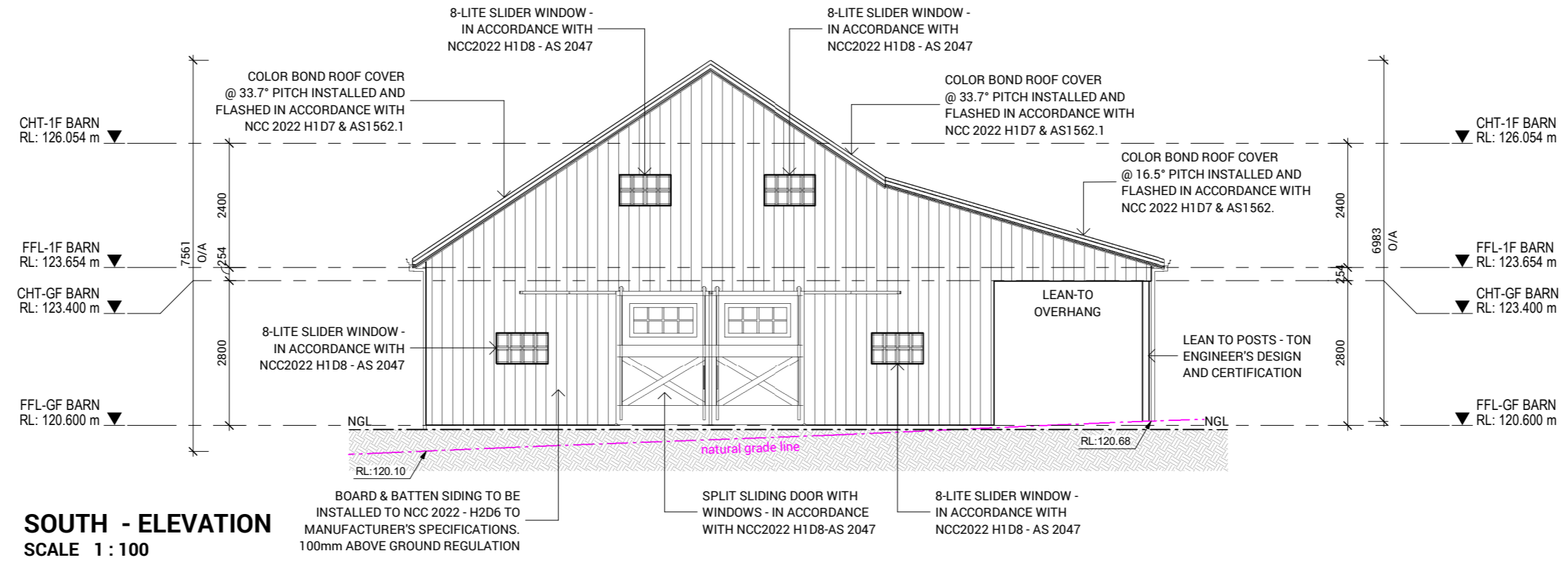
NOTE: STRUCTURAL FRAME
STRUCTURAL FRAME TO MANUFACTURERS
DESIGN / SPECIFICATIONS / AS1170.1-AS1170.

NOTE: BOARD & BATTEN SIDING
IN ACCORDANCE WITH NCC 2022 - H2D6 TO
MANUFACTURER'S SPECIFICATIONS

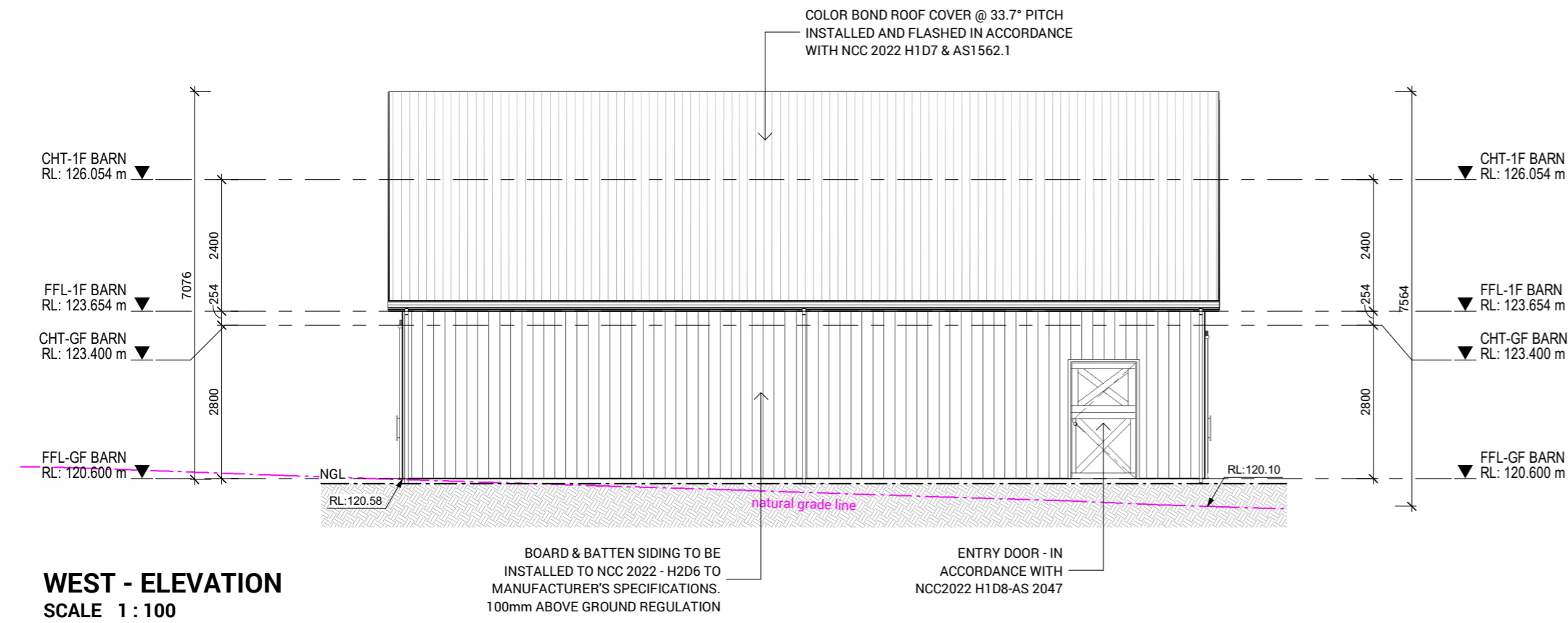
NOTE: ALUMINUM WINDOW
IN ACCORDANCE WITH NCC2022 H1D8-AS 2047

NOTE: DOOR
IN ACCORDANCE WITH NCC2022 H1D8-AS 2047

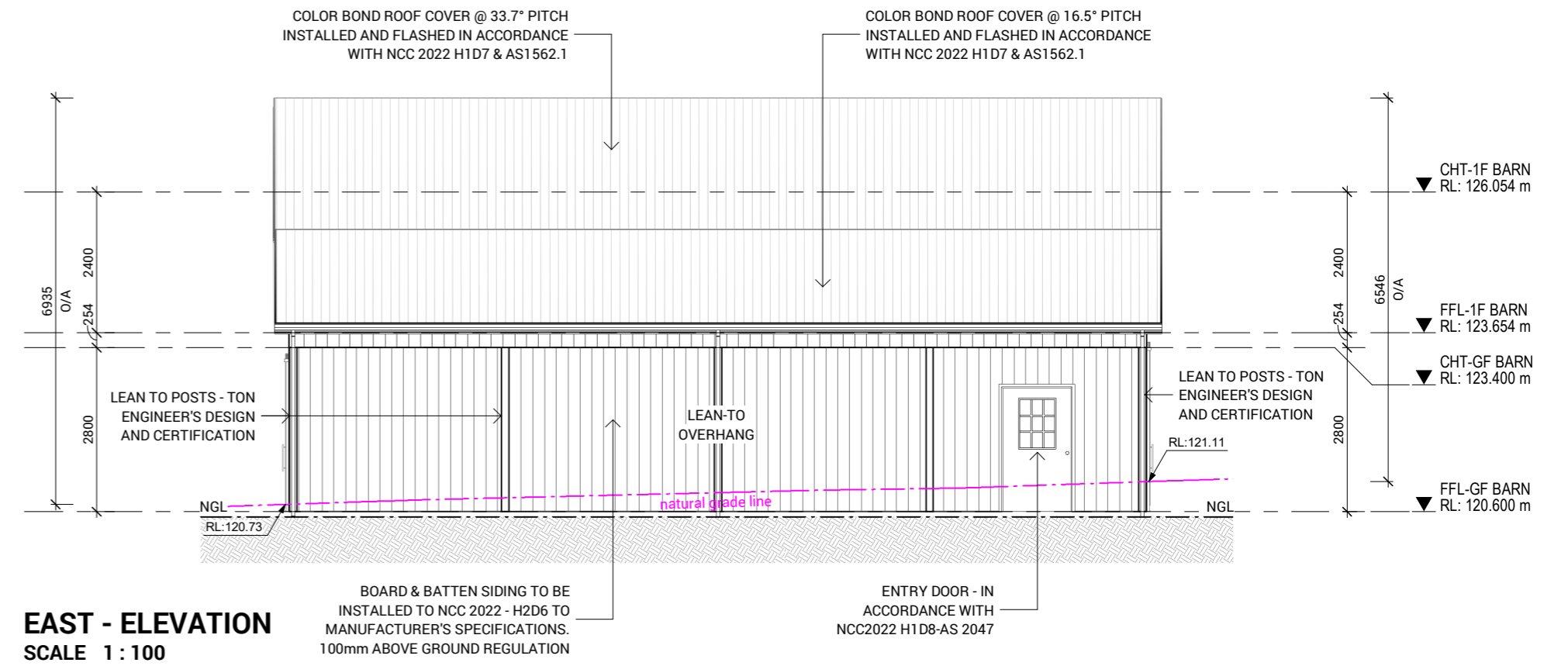
NOTE: SLAB
IN ACCORDANCE WITH ENGINEER'S DESIGN AND
CERTIFICATION AND AS2870



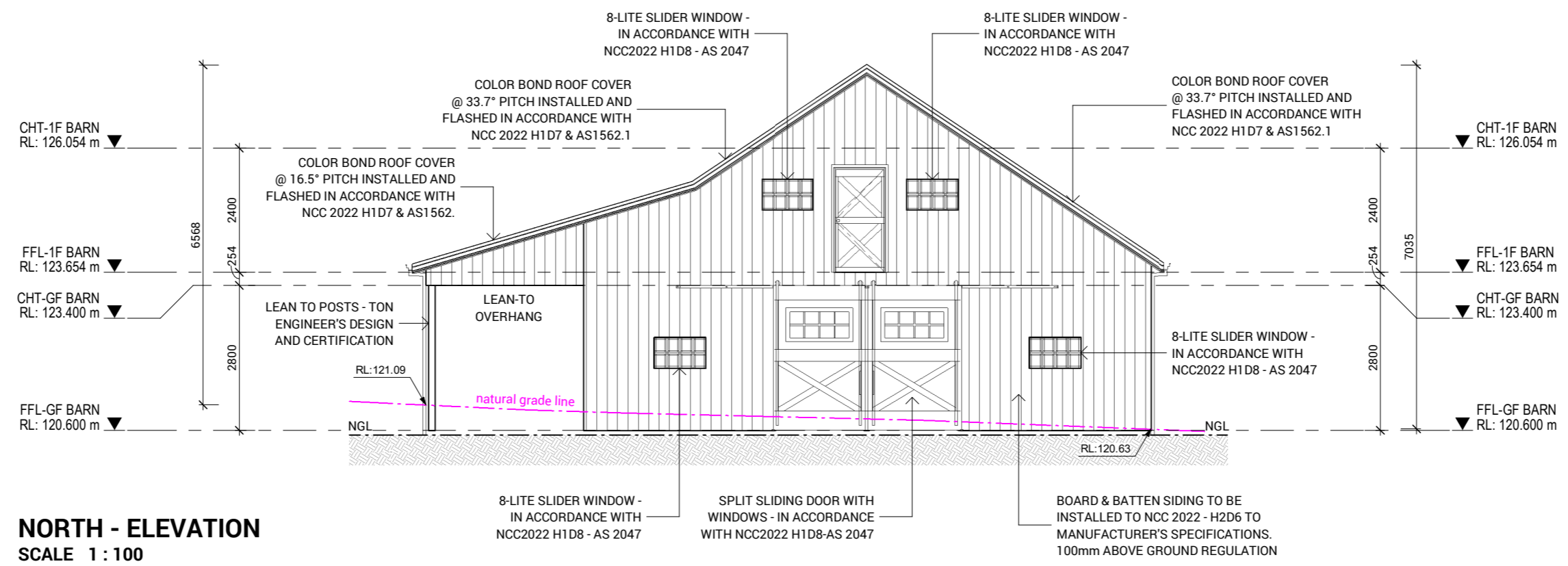
SOUTH - ELEVATION
SCALE 1 : 100



WEST - ELEVATION
SCALE 1 : 100



EAST - ELEVATION
SCALE 1 : 100



NORTH - ELEVATION
SCALE 1 : 100



1202 G/470 St Kilda Road, Melbourne VIC 3004
Phone: 61 3 8687 2118
Email: info@draftee.com.au
DP-AD 66464
TAS 400648168
QLD 15127260

SHEET CONTENT:
ELEVATIONS - BARN

HOUSE TYPE:
Residential

PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS

CLIENT:
Adam Martin

CLIENT

I / WE _____

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SIGNED _____ DATE _____

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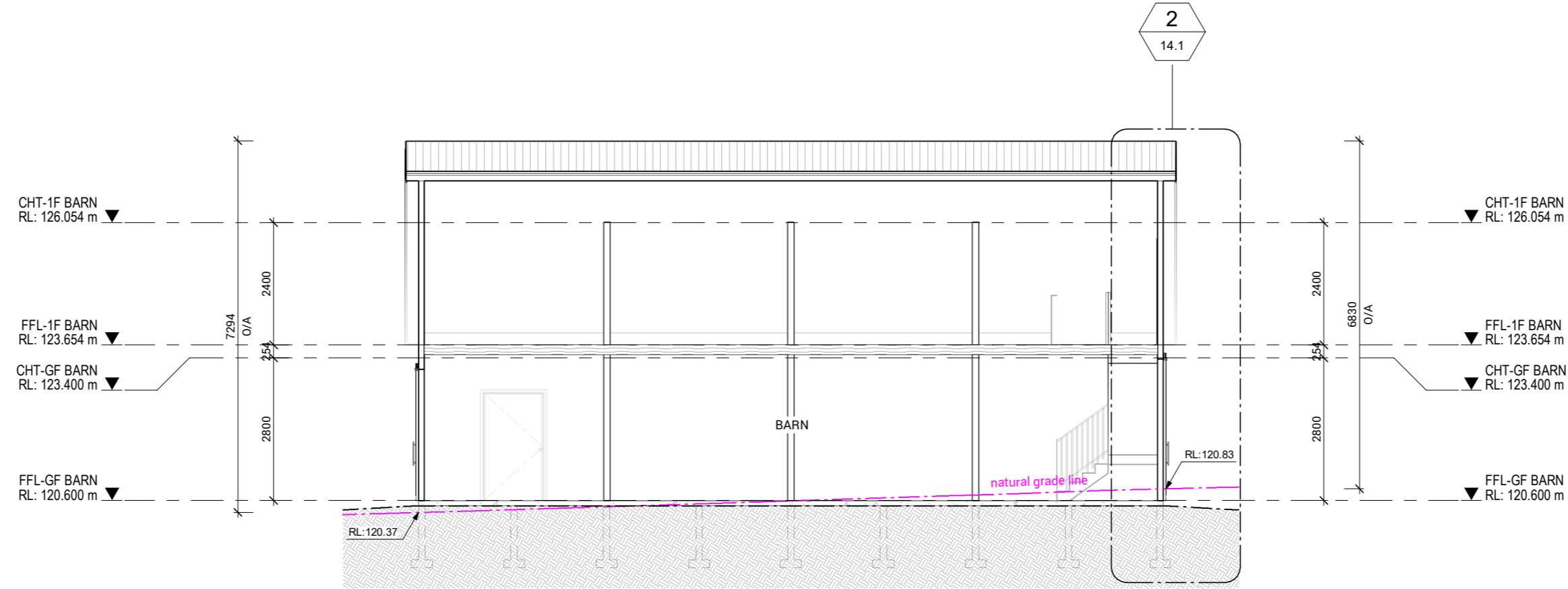
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Sorell Council

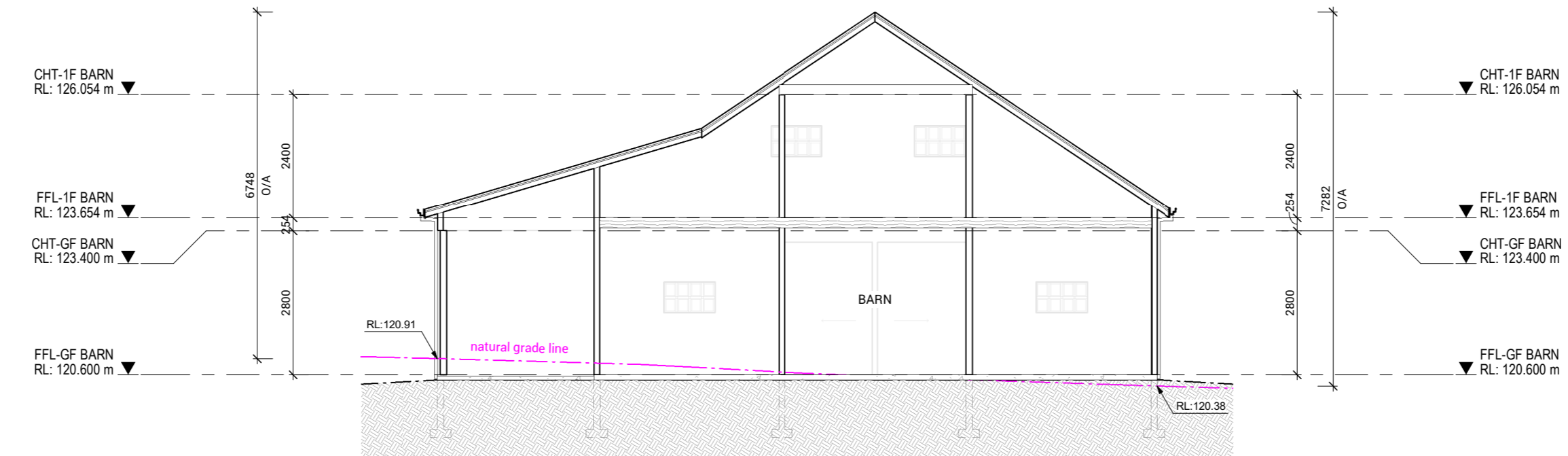
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- NOTE: METAL ROOF
IN ACCORDANCE WITH NCC2022 H1D7- AS1562.1
- NOTE: STRUCTURAL FRAME
STRUCTURAL FRAME TO MANUFACTURERS
DESIGN / SPECIFICATIONS / AS1170.1-AS1170.
- NOTE: BOARD & BATTEN SIDING
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MANUFACTURER'S SPECIFICATIONS
- NOTE: ALUMINIM WINDOW
IN ACCORDANCE WITH NCC2022 H1D8-AS 2047
- NOTE: DOOR
IN ACCORDANCE WITH NCC2022 H1D8-AS 2047
- NOTE: SLAB
IN ACCORDANCE WITH ENGINEER'S DESIGN AND
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SECTION D-D
SCALE 1 : 100



SECTION E-E
SCALE 1 : 100



1202 G/470 St Kilda Road, Melbourne VIC 3004
Phone: 61 3 8687 2118
Email: info@draftee.com.au
DP-AD 66464
TAS 4006481168
QLD 15127260

SHEET CONTENT:
SECTIONS - BARN

HOUSE TYPE:
Residential

PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS

CLIENT:
Adam Martin

CLIENT

I / WE: _____

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.

SIGNED: _____ DATE: _____

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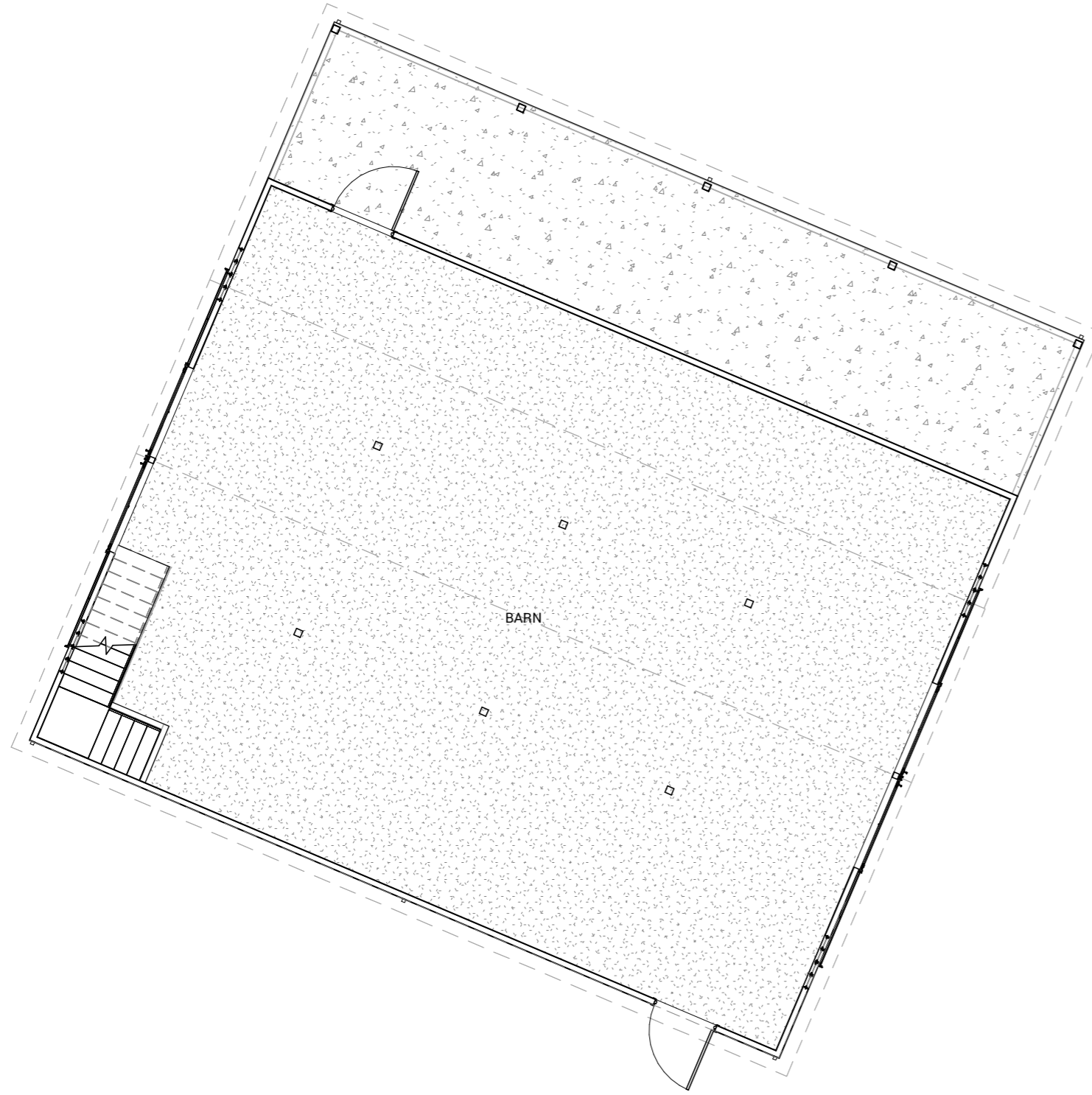
Sorell Council

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NORTH:		SCALE: @ A2	SHEET NUMBER: 18.1	JOB NUMBER: 25-0146
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ISSUE	DATE	REVISION DESCRIPTION	INITIALS	
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FLOOR COVERINGS

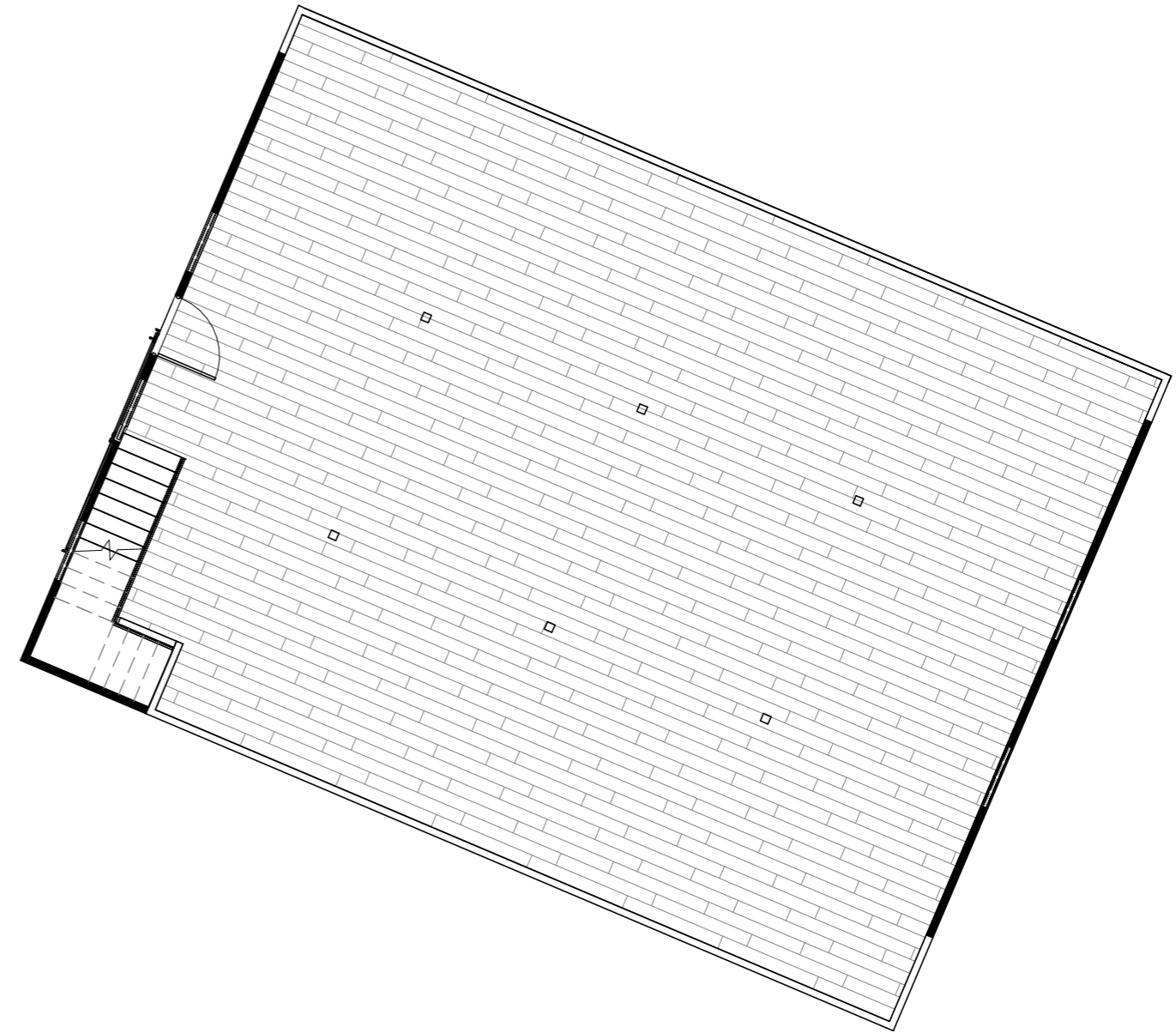
-  DENOTES CONCRETE FLOOR (Broom Finished)
-  DENOTES NATURAL CONCRETE



FLOOR COVERING PLAN - GF BARN
SCALE 1 : 100

FLOOR COVERINGS

-  DENOTES PLY WOOD



FLOOR COVERING PLAN - FF BARN
SCALE 1 : 100



1202 G/470 St Kilda Road, Melbourne VIC 3004
Phone: 61 3 8687 2118
Email: info@draftee.com.au
DP-AD 66464
TAS 4006481168
QLD 15127260

SHEET CONTENT:
FLOOR COVERING PLAN - BARN

HOUSE TYPE:
Residential

PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS

CLIENT:
Adam Martin

CLIENT

I / WE: _____

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.

SIGNED: _____ DATE: _____

SIGNED: _____ DATE: _____

SIGN OFF

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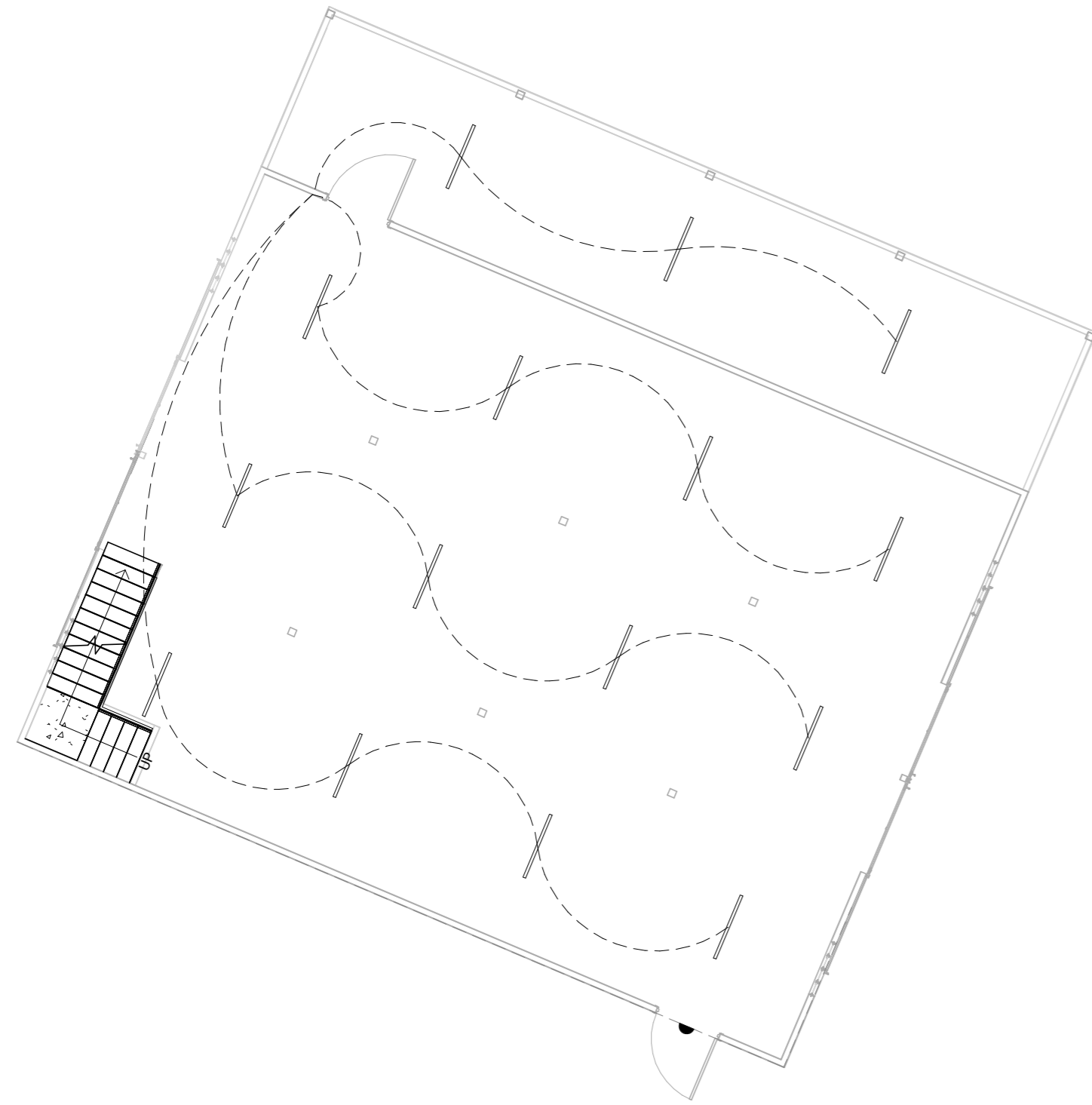
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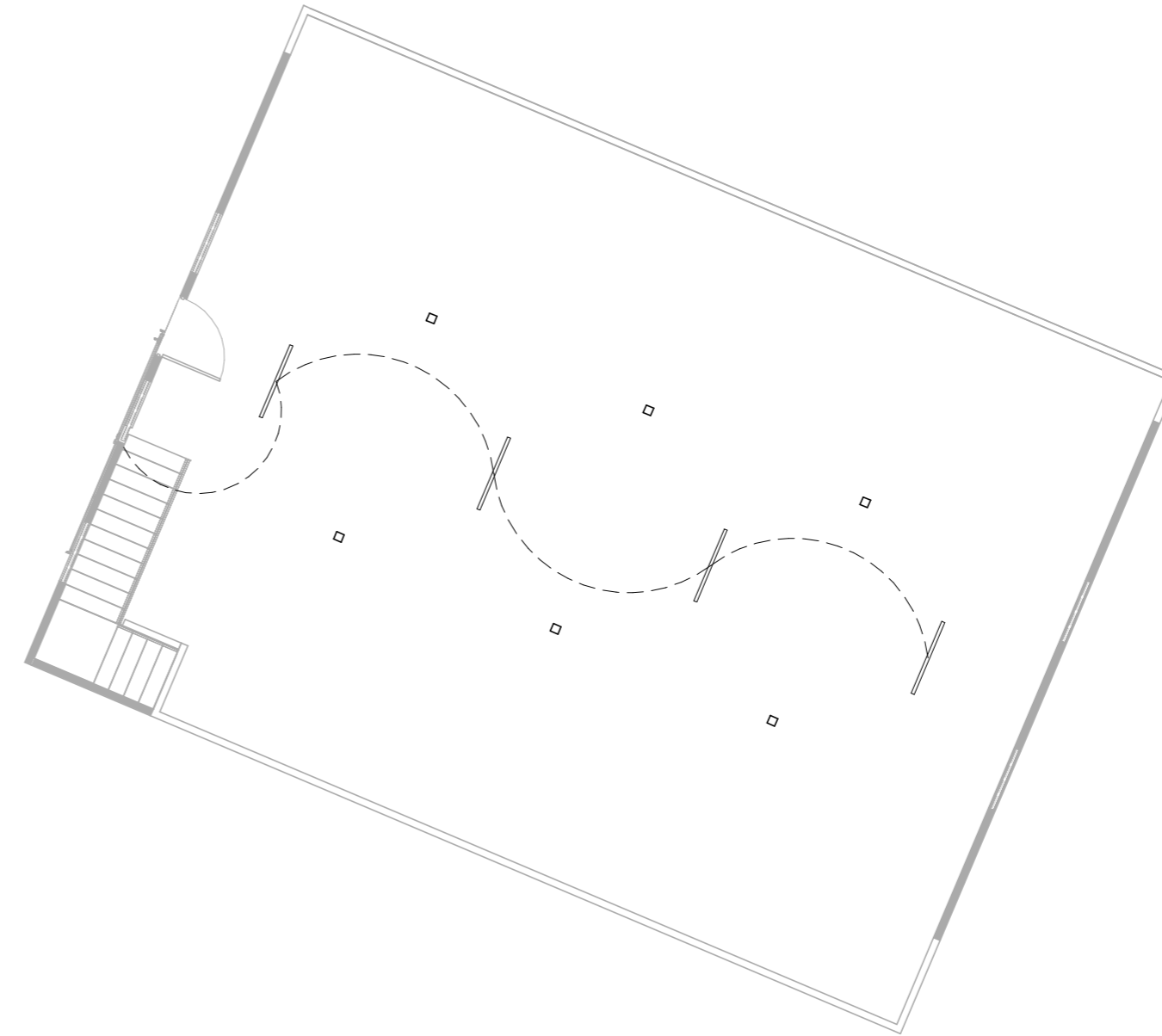
Development Application: 5.2026.147.1 -
Response to Request For Information - 412
Sugarloaf Road, Carlton River - P2.pdf
Plans Reference: P2
Date received: 18/05/2026

NORTH: 		SCALE: @ A2	SHEET NUMBER: 19.1	JOB NUMBER: 25-0146
DATE: 2026		DRAWN: MD	CHECKED: MS	JOB ISSUE: E
ISSUE	DATE	REVISION DESCRIPTION	INITIALS	
A	21/12/2025	PRELIMINARY PLANS	MD	
B	30/01/2026	PRELIMINARY PLANS	MD	
C	03/02/2026	PRELIMINARY PLANS	MD	
D	28/02/2025	CONSTRUCTION PLANS	MD	
E	14/05/2026	APPROVED FOR CONSTRUCTION	MD	

ELECTRICAL LEGEND	
ALL ELECTRICAL LOCATIONS ARE INDICATIVE ONLY	
○	STANDARD BATTEN
●	LED DOWNLIGHT (AS SELECTED)
⊗	POWERSAVER 133 DOWNLIGHT (AS SELECTED)
⊗ dim	POWERSAVER 133 DOWNLIGHT - DIMMABLE
⊗ PL	PENDANT LIGHT
●	EXTERNAL LIGHT POINT
⊖	FLOOD LIGHT - SINGLE
⊖	FLOOD LIGHT - DOUBLE
⊖	PENDANT LIGHTING
●	WALL LIGHT BATTEN HOLDER - EXTERNAL
⊖	600 FLUORO - SINGLE
⊖	CEILING FAN
⊖	CEILING FAN WITH LIGHT
⊖	CEILING EXHAUST FAN W/ LIGHT
⊗	SINGLE GPO - 300mm
⊗	SINGLE GPO - 1100mm
⊗ WP	SINGLE GPO - EXTERNAL WEATHERPROOF
⊗ WP	DOUBLE GPO - EXTERNAL WEATHERPROOF
⊗ M	SINGLE GPO - FOR M/WAVE @ 750mm(H)
⊗ D	SINGLE GPO - DISHWASHER @ 750mm(H)
⊗	DOUBLE GPO - 300mm
⊗	DOUBLE GPO - 1100mm
⊗	DOUBLE GPO - 1350mm
▽	TELEVISION POINT
▽ PT	PAY TV POINT
⊖	SMOKE ALARM
⊖	GAS METER
⊖	HEAT PUMP
⊖	METER BOX
ECU	EVAPORATIVE COOLING UNIT - INDICATIVE LOCATION
⊖	CEILING HEATING DUCT (APPROX. LOCATION)
⊖	THERMOSTAT
E	EVAPORATIVE COOLING DUCT
RA	RETURN AIR
⊗	HEATING UNIT WITH LIGHT & GPO IN CEILING
⊖	POWER POINT FOR GARAGE REMOTE PANEL DOOR - LOCATE ON CEILING 3300mm FROM DOOR OPENING LINTEL & 200mm OFF DOOR CENTRE.
⊗	20 AMP ISOLATION SWITCH HARD WIRED ON A SEPERATE CIRCUIT FOR AIR-CON @ 500mm HIGH.
JB	JUNCTION BOX
⊗	ALARM UNIT (SENSOR & KEYPAD AS PER MANUFACTURERS' SPECIFICATIONS)
⊗	SINGLE GPO - FOR SECURITY SYS.
⊗	HEATER/FAN UNIT - 2 GLOBE - 3 in 1
⊗	HEATER/FAN UNIT - 4 GLOBE - 3 in 1
D	DATA POINT
HPB	HUB POINT
TP	TERMINATION POINT
⊖	TELEPHONE POINT
DB	DOOR BELL
AKP	ALARM KEYPAD
AM	ALARM MONITOR
⊗	ALARM SENSORS (INDICATIVE ONLY)
⊖	GARDEN TAP
V	VACUUM DUCT
VM	VACUUM MOTOR



ELECTRICAL PLAN - GF BARN
SCALE 1 : 100



ELECTRICAL PLAN - FF BARN
SCALE 1 : 100

Lighting Calculation - 412 Sugarloaf Road - Barn						
Regulations	Area of Space - m ²	Maximum Wattage Allowance	Watt / Unit	Qty. - Units	Total	Compliance achieved - Y / N
5W/m ² in a Class 1a Building	n/a	n/a	n/a	n/a	n/a	n/a
4W/m ² on Verandah or Balcony	44.561	178.244	14	3	42	n/a
3W/m ² in a Class 10a Building	310.598	931.794	14	16	224	Y



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Email: info@draftee.com.au
DP-AD 66464
TAS 400648168
QLD 15127260

SHEET CONTENT:
ELECTRICAL PLAN - BARN
HOUSE TYPE:
Residential
PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS
CLIENT:
Adam Martin

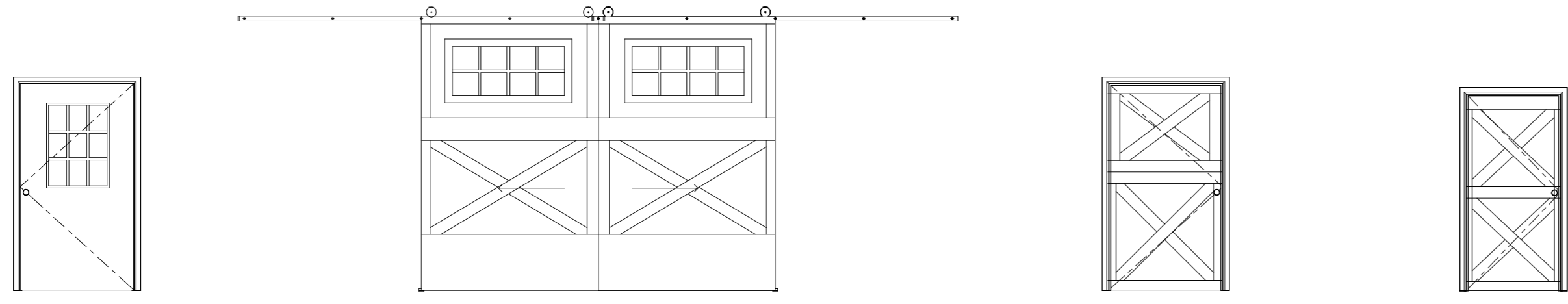
CLIENT
I / WE: _____
CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.
SIGN OFF
SIGNED: _____ DATE: _____
SIGNED: _____ DATE: _____

GENERAL DRAFTING NOTES:
* THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS.
* FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE
* UNLESS OTHERWISE DIMENSIONED ALL STUD WALL ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 240mm THICK.
* DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD ETC.
* REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.

BUILDER SPECIFICATION:
PLANS ARE DRAWN IN ACCORDANCE WITH AS111 AUSTRALIAN STANDARD FOR THE DRAFTING - FOR ALL PERMIT APPLICATIONS THE BUILDER / OWNER BUILDER TO SUPPORT THE PLANS WITH BUILDER SPECIFICATION ON MATERIALS AND METHODS IN ACCORDANCE WITH NCC2022 - GOVERNING REQUIREMENTS ASGI - SUITABILITY

Sorell Council
Development Application: 5.2026.147.1 - Response to Request For Information - 412 Sugarloaf Road, Carlton River - P2.pdf
Plans Reference: P2
Date received: 18/05/2026

NORTH:	SCALE: @ A2	SHEET NUMBER: 20.1	JOB NUMBER: 25-0146
	DATE: 2026		JOB ISSUE: E
	DRAWN: MD		
	CHECKED: MS		
ISSUE	DATE	REVISION DESCRIPTION	INITIALS
A	21/12/2025	PRELIMINARY PLANS	MD
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E	14/05/2026	APPROVED FOR CONSTRUCTION	MD



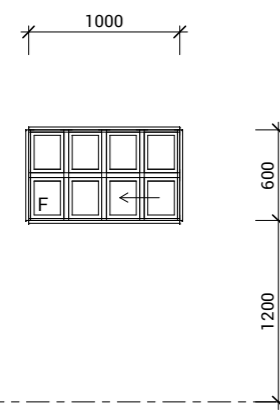
TYPE: ENTRY DOOR
 SIZE: 2100mm x 1200mm
 MARK: D01

TYPE: SPLIT SLIDING DOOR WITH WINDOWS
 SIZE: 2600mm x 3600mm
 MARK: D02, D03

TYPE: ENTRY DOOR
 SIZE: 2100mm x 1200mm
 MARK: D04

TYPE: EXTERNAL DOOR
 SIZE: 2100mm x 1000mm
 MARK: D05

DOOR SCHEDULE



TYPE: SLIDING / FIXED
 SIZE: 600mm x 1000mm
 SILL HEIGHT: 1200mm
 MARK: W01, W02, W03, W04
 W05, W06, W07, W08

WINDOW SCHEDULE

NOTE: WINDOW SCHEDULE

"All glazing in bathrooms, ensuites, spa rooms or the like, including shower doors, shower screens, bath enclosures, and associated windows, where the lowest sight line is less than 2.0 m above the highest abutting finished level of the floor, bottom of the bath, or shower base, must—

(i) for framed panels, be glazed with—

(A) Grade A safety glazing material in accordance with NCC 2022

(B) Grade B safety glazing material in accordance with NCC 2022

All full glazed doors, sidelights, including any glazing capable of being mistaken for an unobstructed opening must be glazed with the glass is made apparent by means of transoms, colonial bars, other components of the glazing system, permanent motifs or other decorative treatment on or etched into the glass, of sufficient magnitude to be readily apparent, or the glass is opaque colored or patterned to indicate its presence. Clarify on plans.

A habitable room must have 5% of natural ventilation and 10% of natural light. Specify on the windows schedule the type and dimensions of the windows for bedrooms, and kitchen to enable the assessment of compliance with BCA requirements for natural light and ventilation.



SHEET CONTENT:
 DOOR & WINDOW SCHEDULE - BARN

HOUSE TYPE:
 Residential

PROPERTY ADDRESS:
 412 SUGARLOAF ROAD
 CARLTON RIVER 7173 TAS

CLIENT:
 Adam Martin

CLIENT

I / WE _____

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.

SIGNED _____ DATE _____

SIGNED _____ DATE _____

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CHECKED: MS				
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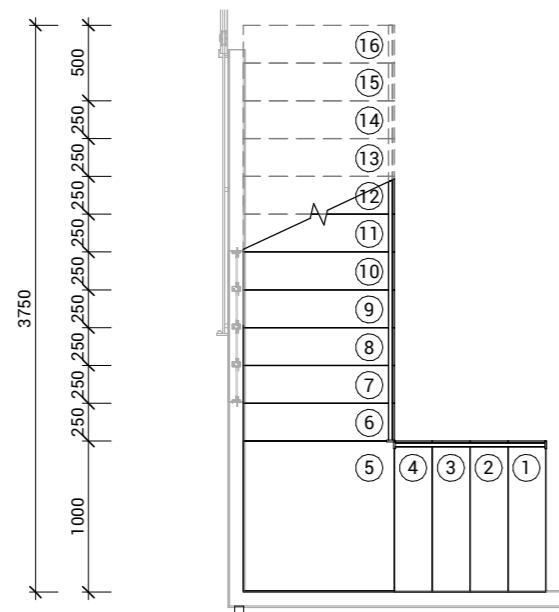
NOTE: STAIRS
STAIRS AND LANDING IN ACCORDANCE WITH PART 3.9.1.5

NOTE: STAIRS
TREAD NOSE TO BE TREATED FOR SLIP RESISTANCE IN ACCORDANCE WITH AS 4586

NOTE: STAIRS
BALUSTRADE & POSTS TO NCC PART 3.9.1. TABLE 3.9.2.1, 3.9.2.3

NOTE: HANDRAILS
EXTENT OF HANDRAILS TO BE GOVERNED IN ACCORDANCE WITH BCA PART 3.9.2.2 / FIG 3.9.2.1 FOR ALL INSTANCES WHERE HEIGHT TO THE FINISHED GROUND SURFACE LEVEL EXCEEDS 1000mm.

NOTE: HANDRAILS
1000mm HIGH CONTINUOUS BALUSTRADE AND HANDRAIL - IN ACCORDANCE WITH NCC2022 H5D3- BARRIERS AND HANDRAILS



STAIR PLAN
SCALE 1 : 50

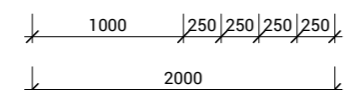
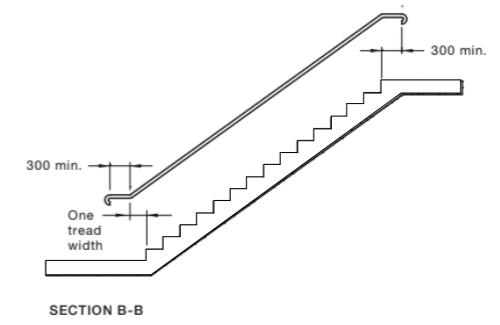
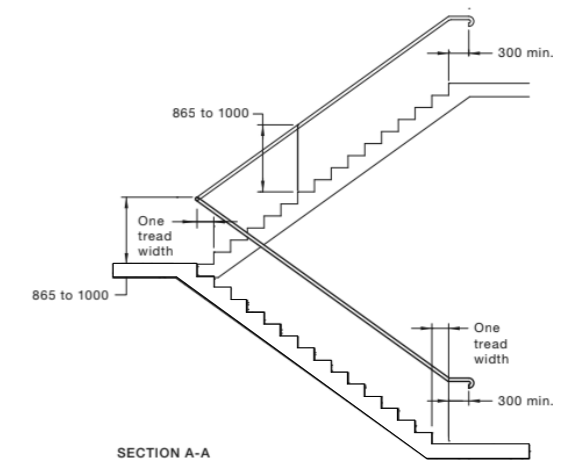
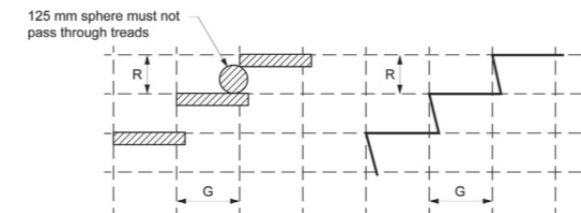


Table 3.9.1.1 Riser and going dimensions (mm)

Stair type	Riser (R) (see Figure 3.9.1.4 below)		Going (G) (see Figure 3.9.1.4 below)		Slope relationship (2R+G)	
	Max	Min	Max	Min	Max	Min
Stairs (other than spiral)	190	115	355	240	700	550
Spiral	220	140	370	210	680	590

Note to Table 3.9.1.1: Riser and going dimensions must be measured in accordance with Figure 3.9.1.4.

Figure 3.9.1.4 Riser and going dimensions—Measurement



(b) Sections

DIMENSIONS IN MILLIMETRES

FIGURE 28 (in part) HANDRAILS TO STAIRS WITH INTERMEDIATE LANDINGS

11.2 Stairway handrails

Handrails shall be continuous throughout the stair flight and, where practicable, around landings (see Figure 28) and have no obstruction on or above up to a height of 600 mm and as follows:

- The design and construction of handrails shall comply with Clause 12.
- Handrails shall be installed on both sides of the stairs and as shown in Figures 26(A) and 26(B).
- Handrails shall have no vertical sections and shall follow the angle of the stairway nosings, as shown in Figure 28(b).
- Where a handrail terminates at the bottom of a flight of stairs, the handrail shall extend at least one tread depth parallel to the line of nosings plus minimum of 300 mm horizontally from the last riser (see Figure 28(b)).
- The handrail shall extend a minimum of 300 mm horizontally past the nosing on the top riser.
- Where the handrail is continuous, the 300 mm extension is not required in the inner handrail at intermediate landings as shown in Figure 28(a).
- The dimensions indicating the heights of handrails shall be taken vertically from the nosing of the tread to the top of the handrail or from the landing to the top of the handrail.

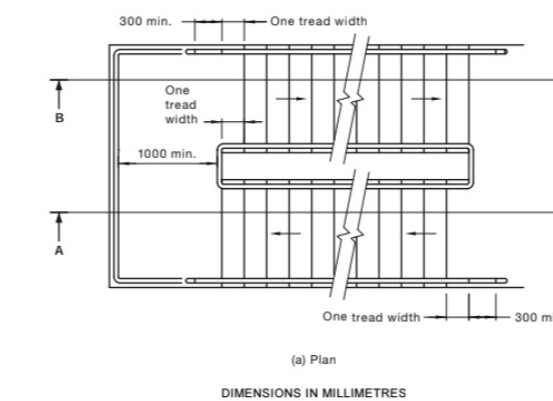
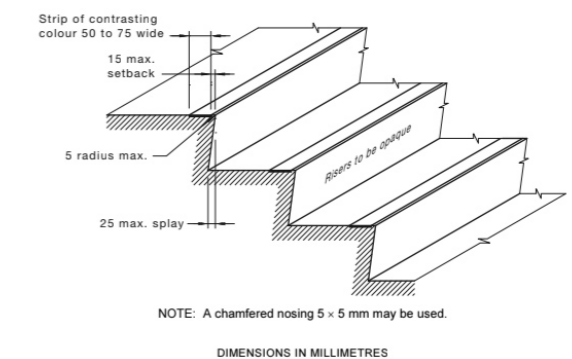


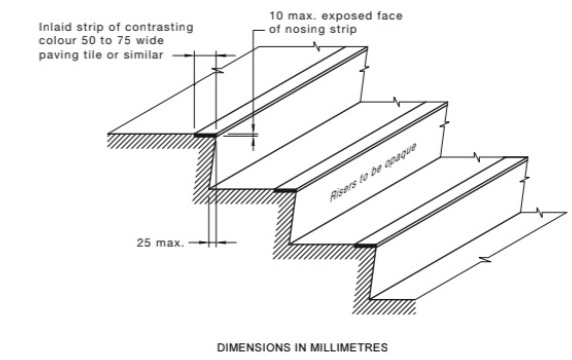
FIGURE 28 (in part) HANDRAILS TO STAIRS WITH INTERMEDIATE LANDINGS



NOTE: A chamfered nosing 5 x 5 mm may be used.

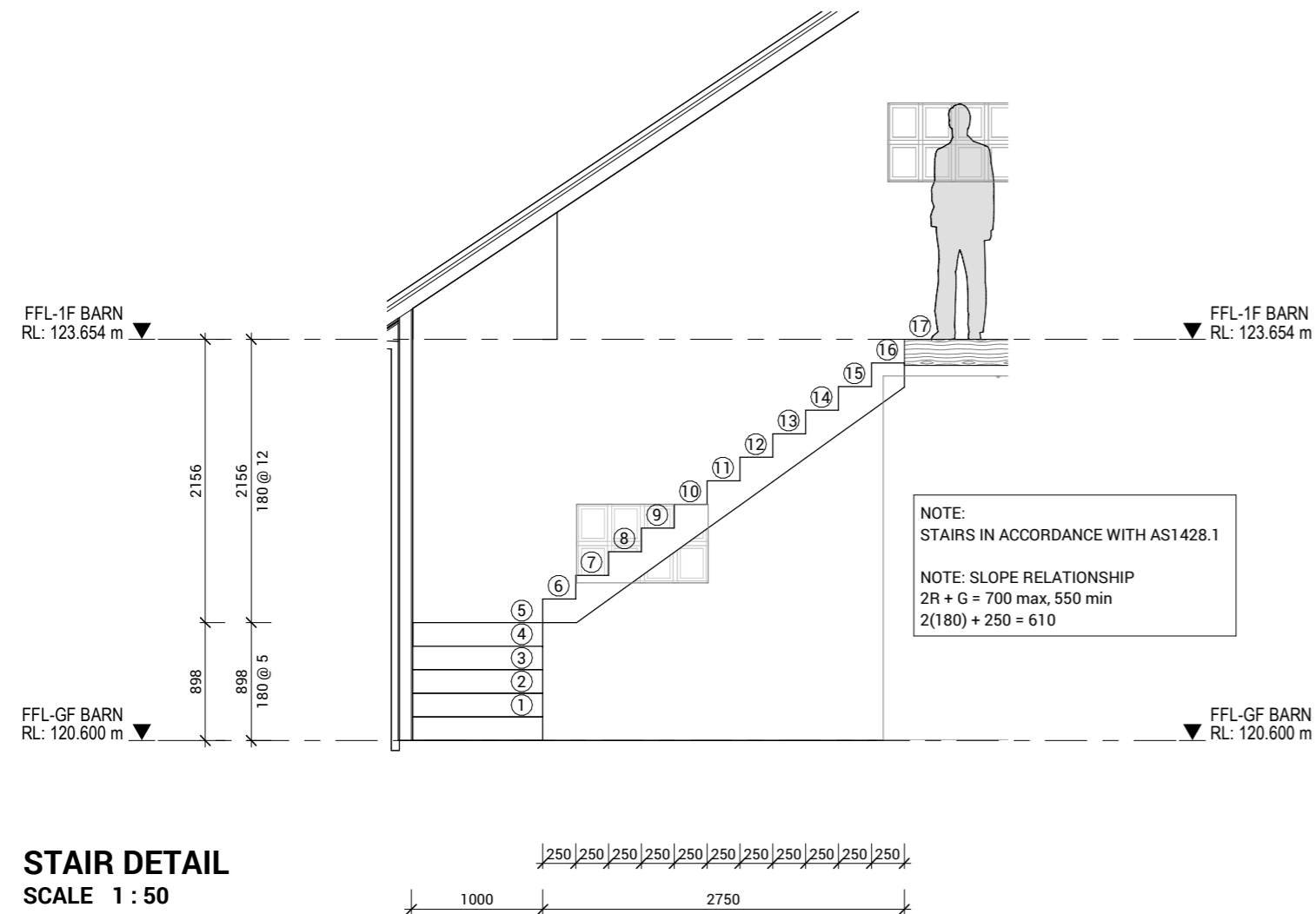
DIMENSIONS IN MILLIMETRES

FIGURE 27(A) A TYPICAL STAIR NOSING PROFILE WITH NOSING STRIP

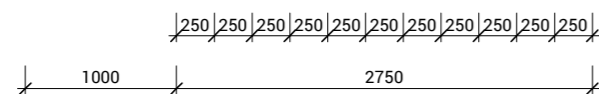


DIMENSIONS IN MILLIMETRES

FIGURE 27(B) A TYPICAL STAIR NOSING PROFILE WITH EXPOSED NOSING STRIP



STAIR DETAIL
SCALE 1 : 50



1202 G/470 St Kilda Road, Melbourne VIC 3004
Phone: 61 3 8687 2118
Email: info@draftee.com.au
DP-AD 66464
TAS 400648168
QLD 1512760

SHEET CONTENT:
STAIR PLAN & DETAILS, GENERAL NOTES

HOUSE TYPE:
Residential

PROPERTY ADDRESS:
412 SUGARLOAF ROAD
CARLTON RIVER 7173 TAS

CLIENT:
Adam Martin

CLIENT

I / WE: _____

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.

SIGNED: _____ DATE: _____

SIGNED: _____ DATE: _____

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