

# NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

## SITE:

**8A WARDS AVENUE, LEWISHAM**

## PROPOSED DEVELOPMENT:

**DWELLING**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au) until **Tuesday 23rd June 2026**.

Any person may make representation in relation to the proposal by letter or electronic mail ([sorell.council@sorell.tas.gov.au](mailto:sorell.council@sorell.tas.gov.au)) addressed to the Chief Executive Officer. Representations must be received no later than **Tuesday 23rd June 2026**.

**APPLICATION NO: 5.2026-138.1**

**DATE: 5 JUNE 2026**



**Disclaimer**

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

50 m



**Part B: Please note that Part B of this form is publicly exhibited.**

Full description of Proposal:	Use: Residential
	Development: New Dwelling
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal:	\$ 380,000

Is all, or some the work already constructed:	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>
-----------------------------------------------	-----------------------------------------------------------------------

Location of proposed works:	Street address: 8A Wards Avenue
	Suburb: Lewisham Postcode: 7173
	Certificate of Title(s) Volume: 189375 Folio: 2

Current Use of Site	Vacant
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Current Owner/s:	Name(s) Emily Louise Harris & Carly Michelle Archer
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Is the Property on the Tasmanian Heritage Register?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form  
<https://www.sorell.tas.gov.au/services/engineering/>



**Sorell Council**  
 Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham  
 Plans Reference: P1  
 Date Received: 27/04/2026

**Part B continued: Please note that Part B of this form is publicly exhibited**

<b>Declarations and acknowledgements</b>	
<ul style="list-style-type: none"> <li>I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.</li> <li>I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council’s representatives to enter the land at any time during normal business hours.</li> <li>I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.</li> <li>I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application.</li> <li>I/we declare that the information in this application is true and correct.</li> </ul> <p><i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council’s Privacy Policy available on the Council website.</i></p>	
<ul style="list-style-type: none"> <li>I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.</li> </ul>	
<ul style="list-style-type: none"> <li>Where the General Manager’s consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent.</li> </ul>	
<b>Applicant Signature:</b>	<div style="text-align: center;">                       Signature: ...acting as General Manager for... Date: 27/04/2026                      SJM Property Developments                 </div>

<b>Crown or General Manager Land Owner Consent</b>	
If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i> ).	
Please note: <ul style="list-style-type: none"> <li>If General Manager consent if required, please first complete the General Manager consent application form available on our website <a href="http://www.sorell.tas.gov.au">www.sorell.tas.gov.au</a></li> <li>If the application involves Crown land you will also need a letter of consent.</li> <li>Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.</li> </ul>	
I <u>N/A</u> being responsible for the administration of land at _____ declare that I have given permission for the making of this application for _____	
<b>Signature of General Manager, Minister or Delegate:</b>	Signature: ..... Date: .....



**Sorell Council**

Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham

Plans Reference: P1

Date Received: 27/04/2026

SEARCH OF TORRENS TITLE

VOLUME 189375	FOLIO 2
EDITION 1	DATE OF ISSUE 08-Sept-2025



**Sorell Council**  
 Development Application: 5.2026.90.1 - 8A Wards  
 Avenue, Lewisham  
 Plans Reference: P1  
 Date Received: 27/04/2026

SEARCH DATE : 11-Feb-2026  
 SEARCH TIME : 03.57 pm

DESCRIPTION OF LAND

Parish of FORCETT Land District of PEMBROKE  
 Lot 2 on Sealed Plan [189375](#)  
 Derivation : Part of 98A-0R-23P Gtd. to Arthur Perry  
 Prior CT [113327/4](#)

SCHEDULE 1

[N235549](#) TRANSFER to EMMA LOUISE HARRIS and CARLY MICHELLE  
 ARCHER Registered 15-Feb-2025 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 SP[189375](#) COVENANTS in Schedule of Easements  
 SP[189375](#) FENCING PROVISION in Schedule of Easements  
 SP[113327](#) COVENANTS in Schedule of Easements  
 SP[113327](#) FENCING PROVISION in Schedule of Easements  
 SP [65220](#) FENCING COVENANT in Schedule of Easements  
 SP[113327](#) COUNCIL NOTIFICATION under Section 83(5) of the Local  
 Government (Building and Miscellaneous Provisions)  
 Act 1993.  
 SP [65220](#) COUNCIL NOTIFICATION under Section 468(12) of the  
 Local Government Act 1962  
[E403566](#) MORTGAGE to Perpetual Corporate Trust Limited  
 Registered 15-Feb-2025 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

[N301505](#) PRIORITY NOTICE reserving priority for 90 days  
 D/MORTGAGE PERPETUAL CORPORATE TRUST LIMITED to EMMA  
 LOUISE HARRIS and CARLY MICHELLE ARCHER  
 TRANSFER EMMA LOUISE HARRIS and CARLY MICHELLE ARCHER  
 to DAVID JOSEPH COTTON  
 MORTGAGE DAVID JOSEPH COTTON to MyState Bank Limited  
 Lodged by TIERNEY LAW - HUON on 24-Nov-2025 BP:  
[N301505](#)  
[E443673](#) DISCHARGE OF MORTGAGE [E403566](#) Lodged by WALLACE WILK

& WEB on 10-Dec-2025 BP: E443673  
E443674 MORTGAGE to MyState Bank Limited Lodged by WALLACE  
WILK & WEB on 10-Dec-2025 BP: E443673  
N301450 TRANSFER to DAVID JOSEPH COTTON Lodged by WALLACE  
WILK & WEB on 10-Dec-2025 BP: E443673



**Sorell Council**  
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<b>SCHEDULE OF EASEMENTS</b>	Registered Number
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 189375

PAGE 1 OF 1 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

No easements or covenants are created by this schedule

**Restrictive covenants**

Lots 1 and 2 on the plan are SUBJECT TO the restrictive covenants created by and more fully set forth in Sealed Plan 113327 (subject to the conditions (if any) more fully set forth in that Sealed Plan)

**Fencing provision**


In respect of each lot shown on the plan the Vendor (Emma Louise Harris and Carly Michelle Archer) will not be required to fence

**Signed by Emma Louise Harris** in the presence of:

) 

James Robert Ramsay  
Dobson Mitchell Allport  
Solicitor for Subdivider  
1/8/2025

Witness signature

 .....

Full name (print)

Brittnee Eastley .....

Witness address

.....

**Signed by Carly Michelle Archer** in the presence of:

) 

1/8/2025

Witness signature

 .....

Full name (print)

Brett Silver .....

Witness address

.....

3442-8683-8331, v. 1

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Emma Louise Harris and Carly Michelle Archer	PLAN SEALED BY: Sorell Council
FOLIO REF: CT 113327/4	DATE: 14.8.25
SOLICITOR & REFERENCE: Dobson Mitchell Allport James Ramsay	SA 2021/16-1
	REF NO. Council Delegate

**NOTE:** The Council Delegate must sign the Certificate for the purposes of identification.



**Sorell Council**

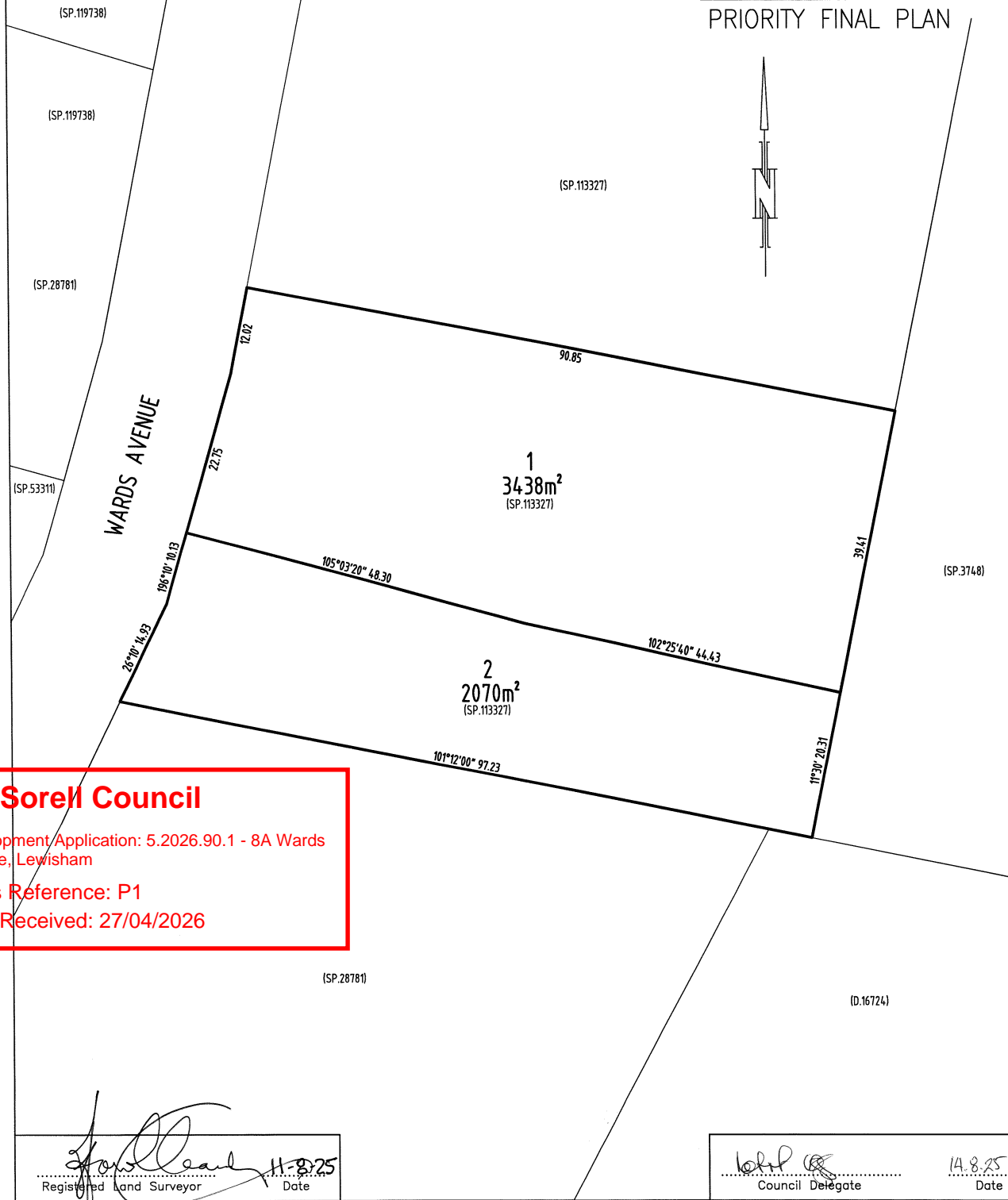
Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham

Plans Reference: P1

Date Received: 27/04/2026

<p>OWNER: EMMA LOUISE HARRIS CARLY MICHELLE ARCHER</p> <p>FOLIO REFERENCE: CT.113327-4</p> <p>GRANTEE: PART OF 98-0-23 GRANTED TO ARTHUR PERRY</p>	<p><b>PLAN OF SURVEY</b></p> <p>BY SURVEYOR TIMOTHY LEIGH GOWLLAND <b>ROGERSON AND BIRCH SURVEYORS</b> UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0419-594-966</p> <p><b>TOWN OF DODGES FERRY</b></p> <p>SCALE 1:500      LENGTHS IN METRES</p>	<p>REGISTERED NUMBER <b>SP189375</b></p> <p>APPROVED EFFECTIVE FROM - 8 SEP 2025</p> <p><i>Renner</i> Recorder of Titles</p>
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LOT 1 IS COMPILED FROM CT.113327-4 & THIS SURVEY      ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



**Sorell Council**

Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham

Plans Reference: P1

Date Received: 27/04/2026

*Timothy Leigh Gowlland*  
Registered Land Surveyor      11.8.25  
Date

*John P. ...*  
Council Delegate      14.8.25  
Date

Proposed Residential Development – 8a Wards Avenue, Lewisham

## Bushfire Hazard Report

Applicant: SJM Property Developments Pty Ltd



April 2026 J12724v1.0



**Sorell Council**

Development Application: 5.2026.90.1 - 8A Wards  
Avenue, Lewisham

Plans Reference: P1

Date Received: 27/04/2026

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**Sorell Council**  
Development Application: 5/2026/90:1 - 8A Wards  
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Attachment 1 – Bushfire Hazard Management Plan

Attachment 2 - Certificate of Others (Form 55)

## Disclaimer

The measures contained in Australian Standard 3959-2018 cannot guarantee that a building will survive a bushfire event on every occasion. This is due to the unpredictable nature and behaviour of fire and extreme weather conditions.

Geo Environmental Solutions (GES) has taken reasonable steps to ensure that the information contained within this report is accurate and reflects the conditions on and around the lot at the time of assessment. The assessment has been based on the information provided by you or your designer.

## Authorship

Prepared and certified by Alice Higgins FPO (planning), Bushfire Practitioner (BFP165), Geo Environmental Solutions.

Base data for mapping: LISTmap, aerial photography, and Google Earth.

On site Photography: Geo Environmental Solutions.



# 1.0 Purpose

This bushfire hazard report for 8a Wards Avenue, Lewisham has been developed in support of a building application in a bushfire-prone area. It will demonstrate compliance with the Building Regulations 2016, and the Director’s Determination – Bushfire Hazard Areas, version 1.2, 16<sup>th</sup> July 2024. A Certificate of Others (Form 55) and a certified Bushfire Hazard Management Plan (BHMP) indicating the management and protection measures to be implemented in a form approved by the Chief Fire Officer of the Tasmania Fire Service, are attached.

# 2.0 Summary

## Site details and compliance

Title reference	189375/2
PID	1647682
Address	8a Wards Avenue, Lewisham
Applicant	SJM Property Developments Pty Ltd
Municipality	Sorell
Planning Scheme	Tasmanian Planning Scheme - Sorell
Zoning	Low Density Residential
Land size	~0.2097Ha
Class of Building/s	Class 1a Habitable Building
Bushfire Attack Level	BAL-12.5
Certificate of Others (Form 55)	Complete and attached
Bushfire Hazard Management Plan	Certified and attached

Development of a new class 1a habitable building at 8a Wards Avenue, Lewisham requires demonstrated compliance with the Building Regulations 2016, and the Director’s Determination – Bushfire Hazard Areas, version 1.2, 16<sup>th</sup> July 2024. The site is within a bushfire-prone area as defined under the Tasmanian Planning Scheme – Sorell. The Bushfire attack level has been determined as ‘BAL-12.5’ as defined in AS 3959 - 2018. Provisions for construction standards, hazard management areas (HMA), property access and water supplies for firefighting will be required as detailed in this report and on the BHMP.

**Sorell Council**  
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## 3.0 Introduction

This bushfire hazard report has been completed to form part of supporting documentation for a building permit application for the proposed development. The proposed development site has been identified as being in a bushfire-prone area. A site-specific Bushfire Attack Level (BAL) assessment and BHMP has been provided to ensure compliance with AS 3959 – 2018 Construction of Buildings in Bushfire Prone Areas, National Construction Code (NCC), and the Director’s Determination. Additional guidance for planning and building in bushfire-prone areas is available on the Tasmania Fire Service website.

## 4.0 Proposal

The proposal is for the construction of a new class 1a habitable building in the central part of the title at 8a Wards Avenue, Lewisham. This assessment is based on plans provided by the client (Appendix B).

## 5.0 Bushfire Attack Level (BAL) Assessment

### 5.1 Methods

The bushfire attack level has been determined through the application of section 2 of AS 3959-2018 ‘Simplified Procedure’. Vegetation has been classified using a combination of onsite observations and remotely sensed data to ensure consistency with Table 2.3 of AS 3959-2018. Slope and distances have been determined by infield measurement and analysis of aerial/satellite imagery, photography, and GIS layers from various sources. Where appropriate vegetation has been classified as low threat. The fire danger index (FDI) of 50 applies across Tasmania.





## 5.2 Site Description

The proposal is located at 8a Wards Avenue, Lewisham, in the municipality of Sorell and is zoned Low Density Residential under the Tasmanian Planning Scheme - Sorell. Access to the lot will be by an existing crossover from Wards Avenue, a council-maintained road. The lot is ~0.2097 Ha, is rectangular in shape and is located approximately 0.38 kms east of Townsends Lagoon (Figure 1).

Adjacent lands surrounding the lot are zoned Low Density Residential with Rural Living further to the north and east. The lot is situated near coastline in a rural setting characterised by low-density residential development and grassland vegetation. At a landscape scale the lot occurs within an area of broader low-density residential development transitioning into large scale grassland vegetation further to the north and east. The lot has gentle to moderate slopes with a westerly aspect with an altitude of approximately 35 metres above sea level and is unlikely to have a significant effect on fire behaviour.

## 5.3. Bushfire Attack Level Assessment

The vegetation classification system as defined in AS 3959-2018 Table 2.3 and Figure 2.3 (A to H) has been used to determine vegetation types within 140 metres of the site (Table 1). Vegetation surrounding the lot was assessed (Table 1) and described as 'grassland' or excluded from the assessment as 'low threat vegetation'. The classified vegetation potentially having the greatest impact on the site occurs to the northeast of the site (Figure 2). The prevailing fire weather wind direction is from the north and west of the site.





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Figure 1. Site location outlined in pink (Image source: LISTmap 2026).

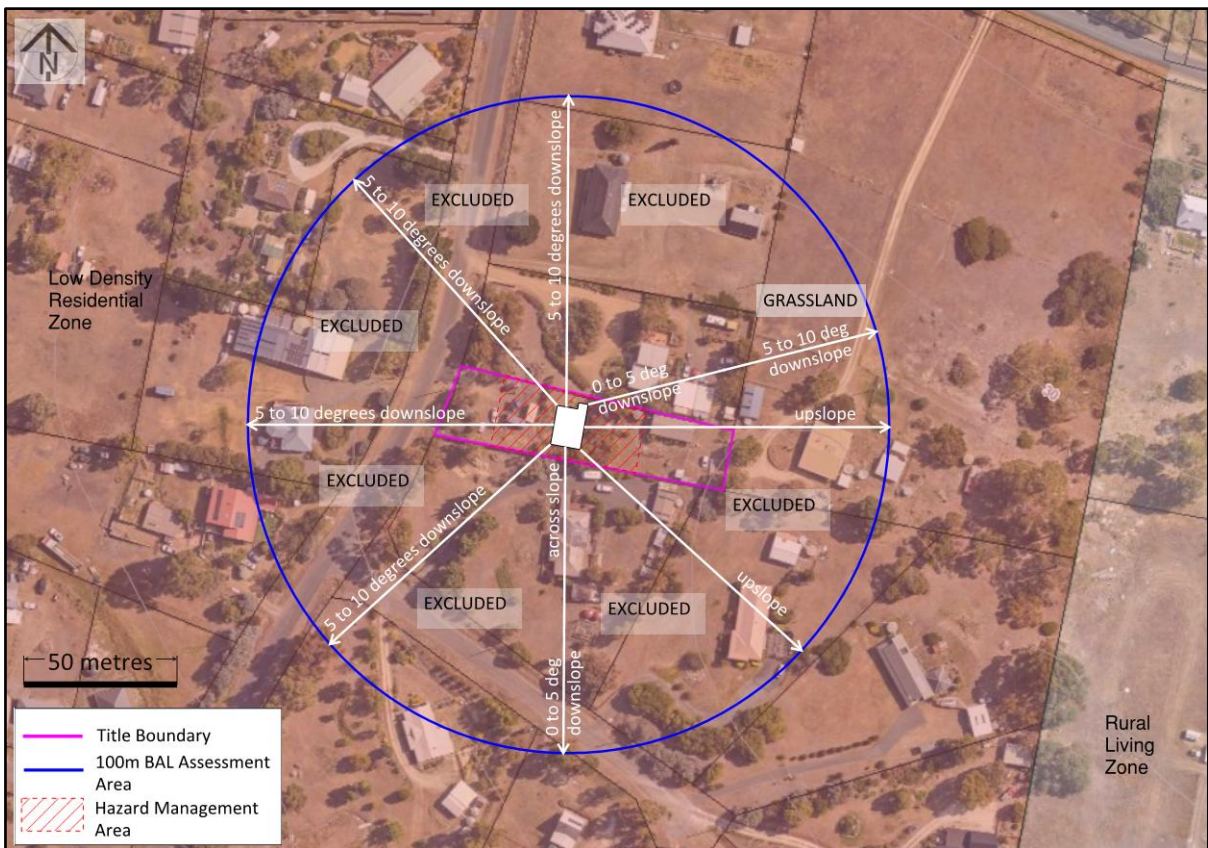


Figure 2. Shows the location of the site (outlined in pink) in the context of the adjacent lands, zoning, classified vegetation, and slopes (Image source: LISTmap 2026).



Table 1. Bushfire Attack Level (BAL) Assessment for the proposed class 1a habitable building

Azimuth	Vegetation Classification	Effective Slope	Distance to Bushfire-prone vegetation	Hazard Management Area Width	Bushfire Attack Level
North	Exclusion 2.2.3.2 (e, f)^	>5° to 10° downslope	0 to >100 metres	Title Boundary	BAL-LOW
	--	--	--		
	--	--	--		
	--	--	--		
North-east	Exclusion 2.2.3.2 (e, f)^	>0 to 5° downslope	0 to 49 metres	19 metres	BAL-12.5
	Grassland^	>5° to 10° downslope	49 to >100 metres		
	--	--	--		
	--	--	--		
East	Exclusion 2.2.3.2 (e, f)^	upslope	0 to >100 metres	19 metres	BAL-LOW
	--	--	--		
	--	--	--		
	--	--	--		
South-east	Exclusion 2.2.3.2 (e, f)^	upslope	0 to >100 metres	Title Boundary	BAL-LOW
	--	--	--		
	--	--	--		
	--	--	--		
South	Exclusion 2.2.3.2 (e, f)^	flat 0°	0 to 38 metres	Title Boundary	BAL-LOW
	Exclusion 2.2.3.2 (e, f)^	>0 to 5° downslope	38 to >100 metres		
	--	--	--		
	--	--	--		
South-west	Exclusion 2.2.3.2 (e, f)^	>5° to 10° downslope	0 to >100 metres	Title Boundary	BAL-LOW
	--	--	--		
	--	--	--		
	--	--	--		
West	Exclusion 2.2.3.2 (e, f)^	>5° to 10° downslope	0 to >100 metres	19 metres	BAL-LOW
	--	--	--		
	--	--	--		
	--	--	--		
North-west	Exclusion 2.2.3.2 (e, f)^	>5° to 10° downslope	0 to >100 metres	Title Boundary	BAL-LOW
	--	--	--		
	--	--	--		
	--	--	--		

^ Vegetation classification as per AS 3959-2018, Table 2.3 and Figures 2.4(A) to 2.4 (H).

^^ Exclusions as per AS 3959-2018, section 2.2.3.2, (a) to (f).



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## 6.0 Results

The bushfire attack level for the site has been determined as BAL-12.5. There is a risk of ember attack consistent with BAL-12.5. The construction elements are expected to be exposed to a heat flux not greater than 12.5 kW/m<sup>2</sup>.

### 6.1 Construction Requirements

The proposed class 1a habitable building must be constructed to BAL-12.5 standards in accordance with Sections 3 and 5 of AS 3959-2018.

### 6.2 Property Access Requirements

Property access length is 30 metres or greater and less than 200 metres and access is required for a fire appliance to access a firefighting water connection point. Property access is required to comply with design and construction standards as per Clause 2.3.2 and Table 2 Element B of the Director's Determination – Bushfire Hazard Areas, v1.2, 16<sup>th</sup> July 2024 as below:

#### Element B

- all- weather construction,
- load capacity of at least 20 tonnes, including for bridges and culverts,
- minimum carriageway width of 4 metres,
- minimum vertical clearance of 4 metres,
- minimum horizontal clearance of 0.5 metres from the edge of the carriageway,
- cross falls of less than 3 degrees (1:20 or 5%),
- dips less than 7 degrees (1:8 or 12.5%) entry and exit angle,
- curves with a minimum inner radius of 10 metres,
- maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads, and
- terminate with a turning area for fire appliances provided by one of the following:
  - a turning circle with a minimum outer radius of 10 metres, or
  - a property access encircling the building, or
  - a hammerhead "T" or "Y" turning head 4 metres wide and 8 metres long.



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## 6.3 Water Supplies for Firefighting Requirements

An adequate, accessible, and reliable water supply for firefighting purposes must be supplied for the protection of life and property from the risks associated with bushfire. The site is not serviced by a reticulated water supply, therefore, a static water supply and associated infrastructure for firefighting is required in accordance with Clause 2.3.3 and Table 3B of the Director's Determination – Bushfire Hazard Areas, v1.2, 16<sup>th</sup> July 2024 as shown below:

### A. Distance between building to be protected and water supply

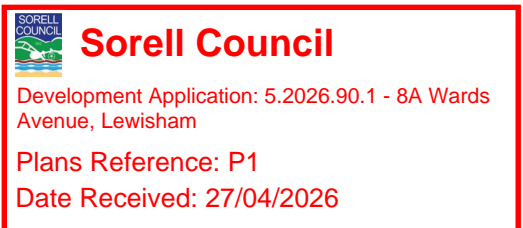
The following requirements apply:

- a) The building area to be protected must be located within 90 metres of the firefighting water point of a static water supply, and
- b) The distance must be measured as a hose lay, between the firefighting water point and the furthest part of the building.

### B. Static Water Supplies

A static water supply:

- a) May have a remotely located offtake connected to the static water supply,
- b) May be a supply for combined use (firefighting and other uses) but the specified minimum quantity of firefighting water must always be available,
- c) Must be a minimum of 10,000 litres per building including associated Class 10 building or deck to be protected. This volume of water must not be used for any other purpose including firefighting sprinkler or spray systems,
- d) Must be metal, concrete or lagged by non-combustible materials if above ground, and
- e) If a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959:2018, the tank may be constructed of any material provided that the lowest 400 mm of the tank exterior is protected by:
  - i. metal,
  - ii. non-combustible material, or
  - iii. fibre-cement a minimum of 6 mm thickness.



### C. Fittings, pipework and accessories (including stands and tank supports)

Fittings and pipework associated with a firefighting water point for a static water supply must:

- a) Have a minimum nominal internal diameter of 50 mm,
- b) Be fitted with a valve with a minimum nominal internal diameter of 50 mm,
- c) Be metal or lagged by non-combustible materials if above ground,
- d) Where buried, have a minimum depth of 300 mm,



- e) Provide a DIN or NEN standard forged Storz 65 mm coupling fitted with a suction washer for connection to firefighting equipment,
- f) Ensure the coupling is always accessible and available for connection,
- g) Ensure the coupling is fitted with a blank cap and securing chain (minimum 220 mm length),
- h) Ensure underground tanks have either an opening at the top of not less than 250 mm diameter or a coupling compliant with this Table, and
- i) Where a remote offtake is installed, ensure the offtake is in a position that is:
  - i. “Visible”,
  - ii. “Accessible” to allow connection by firefighting equipment,
  - iii. At a working height of 450 – 600 mm above ground level, and
  - iv. Protected from possible damage, including damage by vehicles.

#### **D. Signage for static water connections**

The firefighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must:

- a) Comply with water tank signage requirements within AS 2304, or
- b) Comply with the Tasmania Fire Service Water Supply Signage Guideline published by the Tasmania Fire Service.

#### **E. Hardstand**

A hardstand area for fire appliances must be provided:

- a) No more than three metres from the firefighting water point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like),
- b) No closer than six metres from the building to be protected,
- c) With a minimum width of three metres and a minimum length of six metres constructed to the same standard as the carriageway, and
- d) Connected to the property access by a carriageway equivalent to the standard of the property access.

*Note: The BHMP demonstrates an indicative firefighting water tank and hardstand provisions which comply with the Director’s Determination.*

*The building surveyor will ensure that the final design and installation of static water supply for firefighting is compliant prior to completion of building works.*





## 6.4 Hazard Management Area Requirements

The Bushfire Attack Level for this site is BAL-12.5. Table 1 above shows the separation distances (hazard management area width) for each azimuth of the site that will result in a bushfire attack level of BAL-12.5.

A HMA will need to be established and maintained for the life of the development and is shown on the BHMP.

Guidance for the establishment and maintenance of the HMA is given below and on the BHMP.

A HMA is the area, between a habitable building or building area and the bushfire prone vegetation, which provides access to a fire front for firefighting, which is maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire. This can be achieved through but is not limited to the following strategies.

- Remove fallen limbs, sticks, leaf and bark litter,
- Maintaining grass at less than a 100 mm height,
- Avoid or minimise the use of flammable mulches (especially against buildings),
- Thin out under-story vegetation to provide horizontal separation between fuels,
- Prune low-hanging tree branches (<2 metres from the ground) to provide vertical separation between fuel layers,
- Remove and/or prune larger trees to maintain a 6-metre horizontal separation between canopies,
- Minimise the storage of flammable materials such as firewood,
- Maintaining vegetation clearance around vehicular access,
- Use low-flammability plant species for landscaping purposes where possible, and
- Clear out any accumulated leaf and other debris from roof gutters and other debris accumulation points.

### HMA Maintenance

The established HMA must be maintained in a minimal fuel state for bushfire protection mechanisms to be effective. The need to maintain an effective HMA into the future must be considered when planting gardens and landscaping. An annual inspection and maintenance of the HMA should be conducted prior to the bushfire season. It is particularly important that any flammable fine fuels at ground level such as leaves, litter and wood piles are suitably managed.

Any additional fire protection measures implemented by the owners such as fire pumps and sprinkler systems must be tested regularly to ensure functionality.

	<b>Sorell Council</b>
Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham	
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# 7.0 Compliance

Table 2. Compliance with the Director’s Determination - Bushfire Hazard Areas, version 1.2, 16<sup>th</sup> July 2024.

Requirements	Compliance
2.3.1 Design & Construction Requirements	<p>Clause 2.3.1 requires buildings to be constructed in accordance with AS 3959-2018 or NASH standard – Steel Framed Construction in Bushfire Areas consistent with the BAL determined for the site.</p> <p>The BHMP specifies construction to BAL-12.5 standards of AS 3959-2018.</p> <p>If the proposed class 1a habitable building is designed and constructed in accordance with the above construction standards, the development will comply with clause 2.3.1</p>
2.3.2 Property Access	<p>Clause 2.3.2 requires property access to be designed and constructed to comply with Table 2 of the determination and is applicable from the public roadway to within (at minimum) 90 metres of the furthest part of the building/s and includes access to a hardstand for the firefighting water point.</p> <p>Property access length is 30 metres long or greater and less than 200 metres and access is required for a fire appliance to access a firefighting water point and therefore design and construction requirements specified in this report are required for compliance with Table 2.</p> <p>If the requirements of section 6.2 of this report are implemented the proposal will comply with clause 2.3.2</p>
2.3.3 Water Supply for Firefighting	<p>Clause 2.3.3 requires that a new building constructed in a bushfire-prone area is provided with a dedicated firefighting water supply in accordance with Tables 3A or 3B.</p> <p>Static water supplies consistent with Table 3B have been specified in this report and are required for compliance on the BHMP.</p> <p>If the requirements of section 6.3 of this report are implemented the proposal will comply with clause 2.3.3</p>
2.3.4 Hazard Management Areas	<p>Clause 2.3.4 requires that new buildings in bushfire-prone areas are provided with an HMA which is compliant with Table 4. The HMA must have the minimum separation distances required for the BAL determined for the site and, have an HMA established which reduces fuels and other hazards so that fuels and other hazards do not significantly contribute to the bushfire attack.</p> <p>HMA’s are shown on the BHMP and are specified to the widths required to achieve BAL-12.5 for the proposed class 1a habitable building. This report and the BHMP specify requirements for hazard management areas.</p> <p>If the HMA’s are established in accordance with the BHMP the proposal will comply with clause 2.3.4</p>
2.3.5 Emergency Plan	<p>The proposal is for the construction of a new class 1a habitable building and therefore in this circumstance Emergency Plans are not required for compliance.</p>
3. Bushfire Hazard Management Plan and Certificate	<p>A bushfire hazard management plan has been prepared for work for which this division applies and has been certified in accordance with the Chief Officers requirements by an accredited person. Form 55 is attached.</p>



**Sorell Council**

Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham

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## 8.0 Guidance

The defensible space (HMA) around a building is critical for providing occupants and/or fire fighters with safe access to the building in order that firefighting activities may be undertaken. The larger the defensible space, the safer it will be for those defending the structure. Some desirable characteristics of a hazard management area are:

- The area directly adjacent to the building has a significant amount of flammable material removed such that there is little to no material available to burn around the building,
- Includes non-flammable areas such as paths, driveways, managed lawns,
- Establishment of orchards, vegetable gardens, dams or wastewater effluent disposal areas on the fire prone side of the building,
- Creating wind breaks and radiation shields such as non-combustible fences and low flammability hedges, and
- It is not necessary to remove all vegetation from the defensible space; trees can provide protection from wind borne embers and radiant heat in some circumstances.

## 9.0 Further Information

For further information on preparing yourself and your property for bushfires visit the Tasmania Fire Service website at [www.fire.tas.gov.au](http://www.fire.tas.gov.au) or phone 1800 000 699 for resources on:

- Preparing a bushfire survival plan,
- Preparing yourself and your home for a bushfire,
- Guidelines for development in bushfire-prone areas in Tasmania,
- Fire resisting plants for the urban fringe and rural areas,
- Using fire outdoors,
- Fire permits,
- Total fire bans, and
- Bushfires burning in Tasmania.

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Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham	
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## 10.0 Glossary

**AS** – Australian Standard

**BAL – Bushfire Attack Level** – A means of measuring the severity of a building’s potential exposure to ember attack, radiant heat, and direct flame contact, using increments of radiant heat expressed in kilowatts per metre squared, and the basis for establishing the requirements for construction to improve protection of building elements from attack by bushfire (AS 3959-2018).

**BFP – Bushfire Practitioner** – An accredited practitioner recognised by Tasmania Fire Service.

**BHMP – Bushfire Hazard Management Plan** – A plan for an individual habitable building or subdivision identifying separation distances required between a habitable building(s) and bushfire-prone vegetation based on the BAL for the site. The BHMP also indicates requirements for construction, property access and firefighting water.

**Bushfire-prone area:**

- (a) land shown on an overlay map in the relevant Local Provisions Schedule, as within a bushfire-prone area; or
- (b) where there is no overlay map in the relevant Local Provisions Schedule, land that is within 100 m of an area of bushfire-prone vegetation equal to or greater than 1 ha.

**Class 1a building** – A single habitable building, being a detached house, or one of a group of attached habitable buildings being a town house, row house or the like (NCC 2022).

**deg** – degrees

**FDI – fire danger index** – Relates to the chance of a fire starting, its rate of spread, its intensity, and the difficulty of its suppression, according to various combinations of air temperature, relative humidity, wind speed and both the long- and short-term drought effects (AS 3959-2018).

**ha** – hectares

**HMA – Hazard Management Area** – The area, between a habitable building or building area and the bushfire-prone vegetation, which provides access to a fire front for firefighting, which is maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire.

**km** - kilometres

**m** – metres

**mm** – millimetres

**NASH** – National Association of Steel Framed Housing

**t** – tonnes

	<b>Sorell Council</b>
Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham	
Plans Reference: P1	
Date Received: 27/04/2026	



## 11.0 References

Australian Building Codes Board, National Construction Code, Building Code of Australia, Australian Building Codes Board, Canberra.

*Building Act 2016*. The State of Tasmania Department of Premier and Cabinet.

Building Regulations 2016. The State of Tasmania Department of Premier and Cabinet.

Director's Determination – Bushfire Hazard Areas, version 1.2 16<sup>th</sup> July 2024. Director of Building Control.

LISTmap 2026. Land Information System Tasmania, Tasmania Government.

Standards Australia, AS 3959-2018 Construction of buildings in bushfire-prone areas. Sydney, NSW., Australia.

Tasmania Fire Service 2020, Building for Bushfire – Planning and Building in Bushfire-Prone Areas for Owners and Builders. Tasmania Fire Service, Tasmania.

Tasmanian Planning Scheme – Sorell, Tasmanian Planning Commission 2015, Tasmanian Planning Commission, Hobart.



**Sorell Council**  
Development Application: 5.2026.90.1 - 8A Wards  
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Date Received: 27/04/2026



## 12.0 Limitations Statement

This Bushfire Hazard Report has been prepared in accordance with the scope of services between Geoenvironmental Solutions Pty. Ltd. (GES) and the applicant named in section 2. To the best of GES's knowledge, the information presented herein represents the Client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that described in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible bushfire hazard condition and does not provide a guarantee that no loss of property or life will occur because of bushfire. As stated in AS 3959-2018 "It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions". In addition, no responsibility is taken for any loss which is a result of actions contrary to AS 3959-2018 or the Tasmanian Planning Commission Bushfire code.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required. No responsibility is accepted for use of any part of this report in any other context or for any other purpose by third party.

	<b>Sorell Council</b>
Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham	
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Date Received: 27/04/2026	



## Appendix A – Site Photos



Figure 3. North-eastern azimuth from the site of the proposed development looking at excluded land 0 to 5 degrees downslope and grassland 5 to 10 degrees downslope beyond.

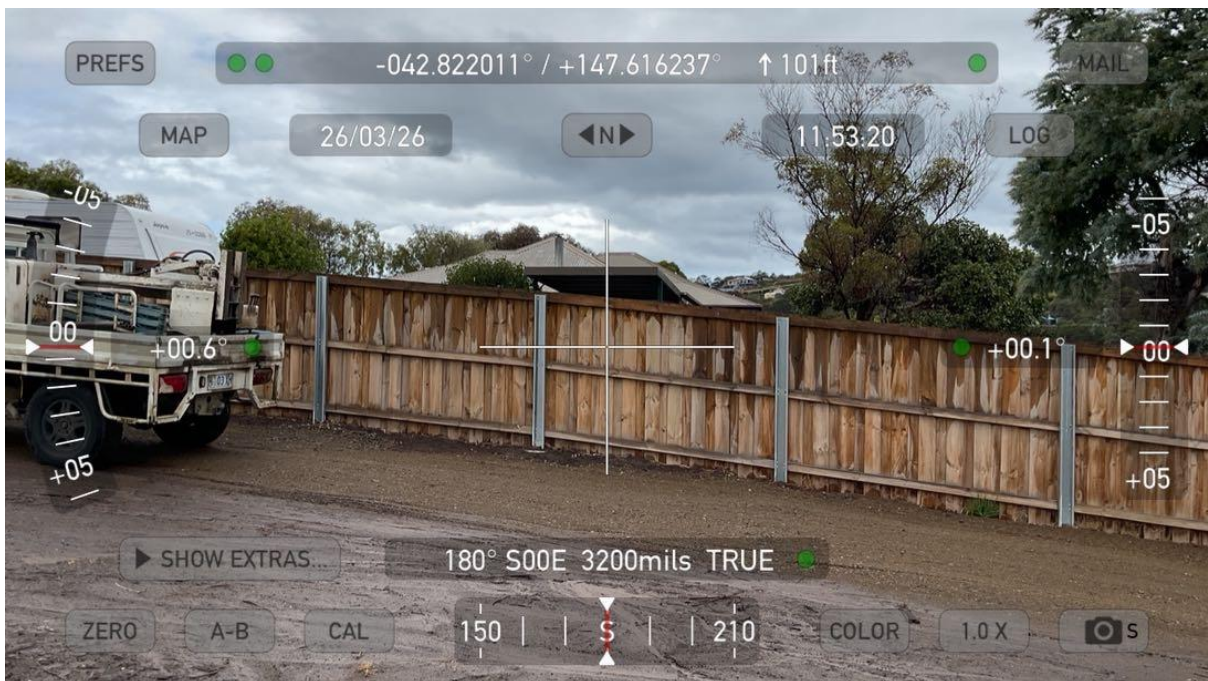


Figure 4. Southern azimuth from the site of the proposed development looking at excluded land across slope.



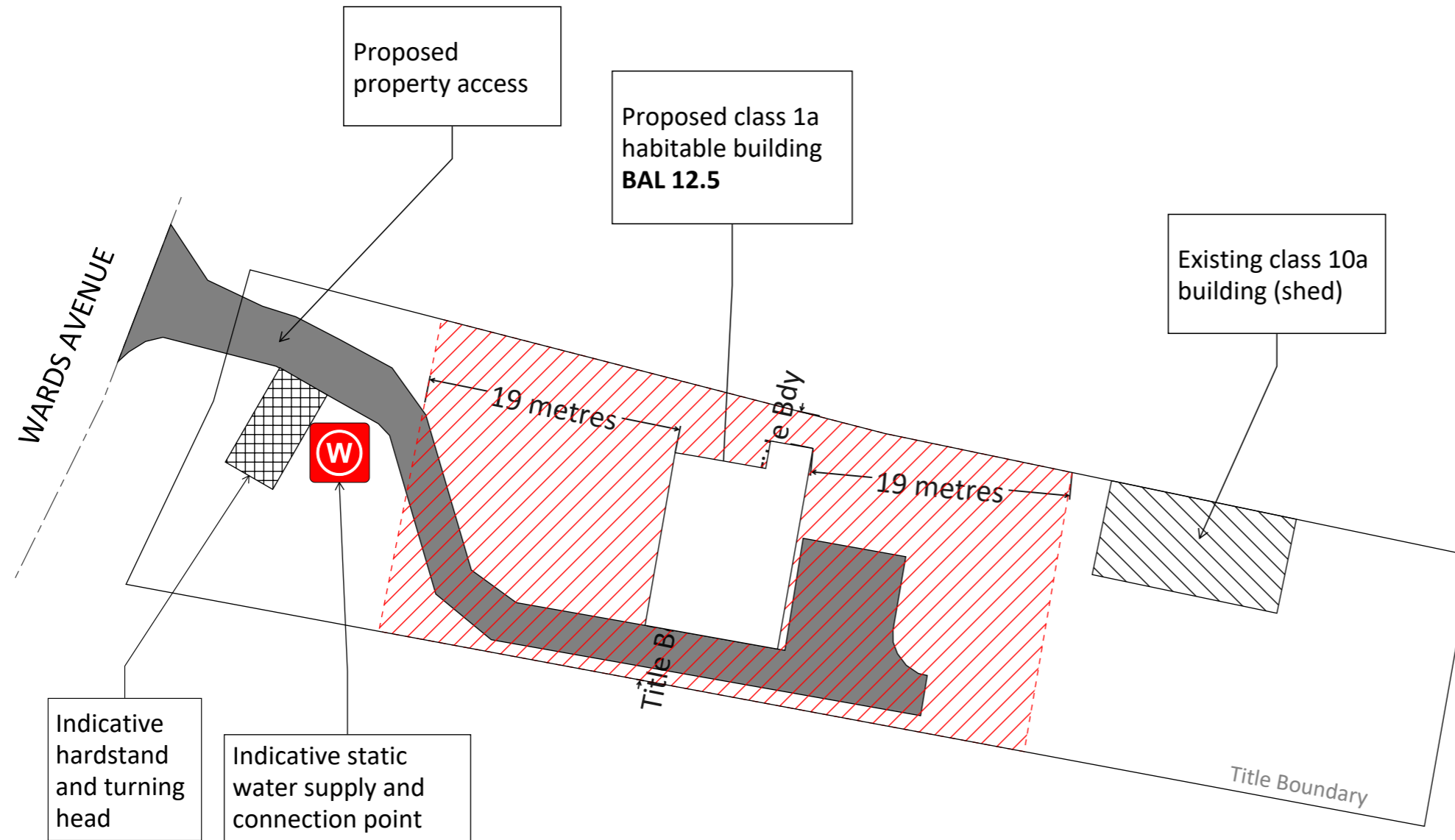
Figure 5. Western azimuth from the site of the proposed development looking at excluded land 5 to 10 degrees downslope.



Figure 6. North-western azimuth from the site of the proposed development looking at excluded land 5 to 10 degrees downslope.

 **Sorell Council**  
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LEGEND	
	Proposed Class 1a Habitable Building
	Existing Class 10a Building (Shed)
	Proposed Property Access
	Hazard Management Area
	Indicative Hardstand and Turning Head
	Indicative Static Fire Fighting Water Supply and Connection Point

**Building Specifications to  
 BAL-12.5 for the proposed class  
 1a habitable building of  
 AS3959-2018**

**Sorell Council**  
 Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham  
 Plans Reference: P1  
 Date Received: 27/04/2026

Do not scale from these drawings. Dimensions to take precedence over scale. Written specifications to take precedence over diagrammatic representations.

Client Name and Address:  
 SJM Property Developments  
 1/37 Ascot Drive  
 Huntingfield, TAS, 7055

C.T.: 189375/2  
 PID: 1647682  
 Area: 0.2097 Ha

The Bushfire Hazard Management Plan is to be printed at A3 in colour and read in conjunction with the Bushfire Hazard Report for the proposed class 1a habitable building at 8a Wards Avenue, Lewisham (GES, 2nd April 2026, J12724v1.0)

Certification No. J12724  
 Alice Higgins  
 Acc. No. BFP-165  
 Scope 1, 2, 3A, 3B, 3C.

Sheet 1 of 2  
 Prepared by:  
 Alice Higgins

### Design and Specification Requirements

#### Requirements for Construction

The proposed class 1a habitable building must be constructed to BAL-12.5 standards in accordance with Sections 3 and 5 of AS3959-2018.

#### Requirements for Property Access

Property access length is greater than 30 metres and less than 200 metres and access is required for a fire appliance to access a fire fighting water connection point.

Property access is required to comply with Table 2 Element B of the Directors Determination - Bushfire Hazard Areas, version 1.2, 16th July 2024.

The following design and construction requirements apply to property access:

##### Element B:

- (a) All-weather construction;
- (b) Load capacity of at least 20 tonnes, including for bridges and culverts,
- (c) Minimum carriageway width of 4 metres,
- (d) Minimum vertical clearance of 4 metres,
- (e) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway,
- (f) Cross falls of less than 3° (1:20 or 5%),
- (g) Dips less than 7° (1:8 or 12.5%) entry and exit angle,
- (h) Curves with a minimum inner radius of 10 metres,
- (i) Maximum gradient of 15° (1:3.5 or 28%) for sealed roads, and 10° (1:5.5 or 18%) for unsealed roads, and
- (j) Terminate with a turning area for fire appliances provided by one of the following:
  - (i) A turning circle with a minimum inner radius of 10 metres,
  - (ii) A property access encircling the building, or
  - (iii) A hammerhead "T" or "Y" turning head 4 metres wide and 8 metres long.

#### Requirements for Static Water Supply for Fire fighting

The site is not serviced by a reticulated water supply, therefore a dedicated, static fire fighting water supply will be provided in accordance with the following;

Static water supplies and associated infrastructure for fire fighting purposes will be provided in accordance with Table 3B of the Directors Determination - Bushfire Hazard Areas, version 1.2, 16th July 2024

A Distance between building area to be protected and water supply

The following requirements apply:

- (a) The building area to be protected must be located within 90 metres of the fire fighting water point of a static water supply, and
- (b) The distance must be measured as a hose lay, between the fire fighting water point and the furthest part of the building area.

##### B) Static Water Supplies

A static water supply:

- (a) May have a remotely located offtake connected to the static water supply,
- (b) May be a supply for combined use (fire fighting and other uses) but the specified minimum quantity of fire fighting water must be available at all times,
- (c) Must be a minimum of 10,000 litres per building including associated Class 10 Building or deck to be protected. This volume of water must not be used for any other purpose including fire fighting sprinkler or spray systems,
- (d) Must be metal, concrete or lagged by non-combustible materials if above ground, and
- (e) If a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959-2018, the tank may be constructed of any material provided that the lowest 400 mm of the tank exterior is protected by:
  - (i) metal,
  - (ii) non-combustible material, or
  - (iii) fibre-cement a minimum of 6 mm thickness.

#### Requirements for Static Water Supply for Fire fighting

C) Fittings and pipework associated with a fire fighting water point for a static water supply must:

- (a) Have a minimum nominal internal diameter of 50mm,
- (b) Be fitted with a valve with a minimum nominal internal diameter of 50mm,
- (c) Be metal or lagged by non-combustible materials if above ground,
- (d) Where buried, have a minimum depth of 300mm (compliant with AS/NZS 3500.1-2003 Clause 5.23),
- (e) Provide a DIN or NEN standard forged Storz 65 mm coupling fitted with a suction washer for connection to fire fighting equipment,
- (f) Ensure the coupling is accessible and available for connection at all times,
- (g) Ensure the coupling is fitted with a blank cap and securing chain (minimum 220 mm length),
- (h) Ensure underground tanks have either an opening at the top of not less than 250 mm diameter or a coupling compliant with this Table, and
- (i) Where a remote offtake is installed, ensure the offtake is in a position that is:
  - (i) Visible,
  - (ii) Accessible to allow connection by fire fighting equipment,
  - (iii) At a working height of 450 – 600mm above ground level, and
  - (iv) Protected from possible damage, including damage by vehicles.

##### D) Signage for static water connections

The fire fighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must:

- (a) Comply with water tank signage requirements within AS2304, or
- (b) Comply with the Tasmania Fire Service Water Supply Signage Guideline published by the Tasmania Fire Service.

##### E) Hardstand

A hardstand area for fire appliances must be provided:

- (a) No more than three metres from the fire fighting water point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like),
- (b) No closer than six metres from the building to be protected,
- (c) With a minimum width of three metres and a minimum length of six metres constructed to the same standard as the carriageway, and
- (d) Connected to the property access by a carriageway equivalent to the standard of the property access.

#### Requirements for Hazard Management Area

A hazard management area is required to be established and maintained for the life of the building and is shown on this BHMP. Guidance for the establishment and maintenance of the hazard management area is also provided.

A hazard management area is the area, between a habitable building or building area and the bushfire prone vegetation, which provides access to a fire front for firefighting, which is maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire. This can be achieved through, but is not limited to the following actions;

- Remove fallen limbs, sticks, leaf and bark litter,
- Maintain grass at less than a 100mm height,
- Remove pine bark and other flammable mulch (especially from against buildings),
- Thin out under-story vegetation to provide horizontal separation between fuels,
- Prune low-hanging tree branches (<2m from the ground) to provide (vertical separation between fuel layers,
- Prune larger trees to maintain a 6 metre horizontal separation between canopies,
- Minimise the storage of flammable materials such as firewood, rubbish heaps and stored fuel away from habitable buildings,
- Maintain vegetation clearance around vehicular access and water supply points;
- Use low-flammability species for landscaping purposes where appropriate;
- Clear out any accumulated leaf and other debris from roof gutters and other accumulation points.

It is not necessary to remove all vegetation from the hazard management area, trees may provide protection from wind borne embers and radiant heat under some circumstances.



**Sorell Council**  
 Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham  
 Plans Reference: P1  
 Date Received: 27/04/2026

Do not scale from these drawings. Dimensions to take precedence over scale. Written specifications to take precedence over diagrammatic representations.	Client Name and Address: SJM Property Developments 1/37 Ascot Drive Huntingfield, TAS, 7055	C.T.: 189375/2 PID: 1647682 Area: 0.2097 Ha	The Bushfire Hazard Management Plan is to be printed at A3 in colour and read in conjunction with the Bushfire Hazard Report for the proposed class 1a habitable building at 8a Wards Avenue, Lewisham (GES, 2nd April 2026, J12724v1.0)	Certification No. J12724 Alice Higgins Acc. No. BFP-165 Scope 1, 2, 3A, 3B, 3C.	Sheet 2 of 2 Prepared by: Alice Higgins
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# Attachment 2

## CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To:  Owner /Agent  
 Address  
  Suburb/postcode

Form **55**

### Qualified person details:

Qualified person:   
 Address:  Phone No:   
  Fax No:   
 Licence No:  Email address:

Qualifications and Insurance details:  *(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Speciality area of expertise:  *(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

### Details of work:

Address:  Lot No:   
  Certificate of title No:   
 The assessable item related to this certificate:  *(description of the assessable item being certified)*  
 Assessable item includes –  
 - a material;  
 - a design  
 - a form of construction  
 - a document  
 - testing of a component, building system or plumbing system  
 - an inspection, or assessment, performed

### Certificate details:

Certificate type:  *(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)*



**Sorell Council**

This certificate is in relation to the above assessable items, at any stage, as part of – (tick one)  
 Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham

Plans Reference: P1

Date Received: 27/04/2026

# Attachment 2

building work, plumbing work or plumbing installation or demolition work  
OR

a building, temporary structure or plumbing installation

In issuing this certificate the following matters are relevant –

Documents:	Bushfire Hazard Report for 8a Wards Avenue, Lewisham. 2 <sup>nd</sup> April 2026. J12724v1.0 Bushfire Hazard Management Plan for 8a Wards Avenue, Lewisham. 2 <sup>nd</sup> April 2026. J12724v1.0 And Form 55
Relevant	BAL assessed as per AS3959-2018 for the proposed class 1a habitable building identified on the BHMP
References:	AS3959-2018 Construction of Buildings in Bushfire-prone Areas Building Regulations 2016 National Construction Code (NCC) – Vol. 2 Directors Determination - Bushfire Hazard Areas, v1.2, 16 <sup>th</sup> July 2024

*Substance of Certificate: (what it is that is being certified)*

Bushfire Attack Level Assessment in accordance with AS3959-2018 and determination of other mitigation measures as required by the relevant Directors Determination as cited in the Bushfire Hazard Report and on the BHMP.  
Design and construction for the proposed class 1a habitable building must be to a minimum standard of **BAL-12.5** (sections 3 and 5 of AS3959-2018).

*Scope and/or Limitations*

Scope: The bushfire hazard assessment was undertaken at the site to determine whether there is sufficient risk to the proposed class 1a habitable building from bushfire to warrant specific bushfire hazard management measures.

Limitations:

The assessment relates to bushfire hazard only.

The assessor has taken all reasonable steps to ensure that the information provided in this assessment is accurate and reflects the conditions on and around the site and allotment on the date of this assessment.


The report only identifies the size, volume, and status of vegetation at the time the site assessment was undertaken, impacts of future development and vegetation growth have not been considered.

No liability will be accepted by the assessor for actions undertaken by the owners or others that compromise the effectiveness of the measures outlined in this assessment.

The effectiveness of the bushfire safety measures outlined in the assessment are reliant on their implementation and ongoing maintenance.

**I certify the matters described in this certificate.**

Qualified person: 

<i>Signed:</i> 	<i>Certificate No:</i> J12724	<i>Date:</i> 2/04/2026
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**Sorell Council**

Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham

Plans Reference: P1

Date Received: 27/04/2026

# **DISPERSIVE SOIL ASSESSMENT**

**8A Wards Avenue**

**Lewisham**

**April 2026**



GEO-ENVIRONMENTAL  
SOLUTIONS



**Sorell Council**

Development Application: 5.2026.138. -  
Response to Request For Information - 8a  
Wards Avenue, Lewisham - P2.pdf  
Plans Reference: P2  
Date received: 29/05/2026

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

## Investigation Details

<b>Client:</b>	SJM Property Developments (Aus) Pty Ltd
<b>Site Address:</b>	8A Wards Avenue, Lewisham
<b>Date of Inspection:</b>	26/02/2026
<b>Proposed Works:</b>	New house
<b>Investigation Method:</b>	Geoprobe 540UD - Direct Push
<b>Inspected by:</b>	C. Cooper

## Site Details

<b>Certificate of Title (CT):</b>	189375/2
<b>Title Area:</b>	Approx. 2097 m <sup>2</sup>
<b>Applicable Planning Overlays:</b>	Bushfire-prone areas, Airport obstacle limitation area
<b>Slope &amp; Aspect:</b>	5° W facing slope
<b>Vegetation:</b>	Grass & Weeds

## Background Information

<b>Geology Map:</b>	MRT 1:250000
<b>Geological Unit:</b>	Triassic Sandstone
<b>Climate:</b>	Annual rainfall 500mm
<b>Water Connection:</b>	Tank
<b>Sewer Connection:</b>	Unserviced-On-site required
<b>Testing and Classification:</b>	AS2870:2011, AS1726:2017 & AS4055:2021

**Sorell Council**

Development Application: 5.2026.138. -  
Response to Request For Information - 8a  
Wards Avenue, Lewisham - P2.pdf  
Plans Reference: P2  
Date received: 29/05/2026

## Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

### **Soil Profile Summary**

TH 1 Depth (m)	TH 2 Depth (m)	TH 3 Depth (m)	USCS	Description
0.00-0.40	0.00-0.30	0.00-0.20	SM	<b>Sand:</b> Fine grained, weak sub angular structure, dark brown, dry dense.
0.40-0.60	0.30-0.60	0.20-0.50	CL	<b>Sandy CLAY:</b> Low plasticity, moderate polyhedral structure, pale brown, slightly moist, stiff.
0.60-0.70	0.60-0.70	0.50-0.70	SC	<b>Clayey SAND trace gravels:</b> Medium grain, weak polyhedral structure, pale brown mottled orange, slightly moist, very dense, refusal on rock

## Site Notes

The soil on site has formed from Triassic sandstone. The subsoil was tested for dispersion using the Emerson Test and was found to be slightly dispersive Class 2(2) -obvious milkiness, <50% of the aggregate affected.

## Dispersive Soil Assessment

The dispersive soil assessment of the property considers the proposed construction area.

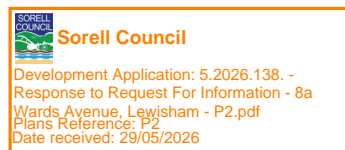
### Potential for dispersive soils

The site has been identified as an area subject to tunnel erosion hazard according to ‘Dispersive Soils and Their Management: Technical Reference Manual’. This is due to the soils present on site that developed from Triassic Sandstone that contain considerable fine sand/silt content and medium plastic clays. Triassic Sandstone in the local area is known to produce soils with an excess of sodium on the soil exchange complex, which can cause soil dispersion. Under some circumstances the presence of dispersive soils can also lead to significant erosion, and in particular tunnel erosion. Based upon field survey of the property, no visible tunnel or gully erosion was identified. However, a soil sampling program was undertaken to identify the presence of dispersive soils in the proposed development areas.

### Soil sampling and testing

Samples were taken at the site for assessment of dispersion. An Emerson (1968) Dispersion test was conducted to determine if these samples were dispersive.

The soil samples taken from site were found to be Slightly dispersive Class 2(2) -obvious milkiness, <50% of the aggregate affected.



## **Management Recommendations**

A number of site and soil management measures are recommended for development on the site.

The proposed site cut/fill and driveway areas must be managed by:

- Applying a geo-fabric, jute mesh or similar material to the exposed batters of any cutting on site and revegetating the slope
- Applying a surface layer of at least 50mm of suitable crushed rock/gravel to the driveway surface (and any proposed house pad), with adequate compaction to ensure a relatively impervious surface to maintain site surface stability
- Vegetation on any fill batters must be established and maintained, if any bare area of soil on the batter develops then it must be top-dressed with suitable topsoil and additional vegetation planted

The risk of erosion and tunnel erosion associated with construction must be minimized by:

- Any new water, power, or other service trenches within the property must ensure recommendations for dispersive soils are followed:
  - o Where possible trenches to be placed shallow in topsoil and mounded over to achieve the required cover depth
  - o If buried the trench must be backfilled in layers of no more than 200mm with clay with 5% by weight gypsum added (the clay must be sufficiently moist to allow good compaction).
  - o The trench must be finished with at least 150mm depth of non-dispersive suitable topsoil and finished to a level at least 75mm above natural ground to allow for possible settlement
- Vegetation cover must be maintained wherever possible on the property
- Foundations may be placed into the natural soil; however, care must be taken to ensure all exposed soil in the foundation area is compacted and 1Kg/m<sup>2</sup> of gypsum is applied. Excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil with natural soil and gypsum
- All stormwater runoff from the dwelling to be directed to mains connection (all the drains are to be adequately treated with gypsum)
- Drainage of any site cut must not employ conventional rock drain construction; it must adhere to recommendations for dispersive soils (unless founded entirely in rock)



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- All excavation works on site should be monitored for signs of soil dispersion and remedial action taken as required – any excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil

## **Conclusions**

There is a low risk associated with dispersive soils and potential erosion on the site provided the recommendations in this report are adhered to. Efforts should be made to cover all exposed soils on cut/fill batters with topsoil and seeded with well suited pasture species to avoid rainwater, runoff, surface water flows from intercepting exposed subsoils.

A number of site management recommendations have been made in this report and further information can also be found in the publication “Dispersive soils and their management – Technical manual” (DPIWE Tas 2009)

It is recommended that during construction that GES be notified of any variation to the soil conditions as outlined in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD  
Environmental and Engineering Soil Scientist



**Sorell Council**

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## Appendix 1– Soil test results

# Laboratory Test Results

**Sample Submitted By:** C Cooper  
**Date Submitted:** 27/02/2026  
**Sample Identification:** 2 samples – 8A Wards Avenue, Lewisham  
**Soil to be tested:** Emerson soil dispersion test

**Result:**

Sample	Texture	Emerson class	Description
Sample 1	clay	Class 2 (2)	Some dispersion <50% affected
Sample 2	clay	Class 2 (2)	Some dispersion <50% affected

Notes: Some dispersion with obvious milkiness affecting <50% of the aggregate.

**Sample Tested by:** C Cooper

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## **Disclaimer**

This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organizations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for the use of any part of this report in any other context or for any other purpose by a third party.



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# **GEO-ENVIRONMENTAL ASSESSMENT**

**8A Wards Avenue**

**Lewisham**

**April 2026**

**Updated May 2026**



**GEO-ENVIRONMENTAL**  

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**S O L U T I O N S**



**Sorell Council**

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**Investigation Details**

<b>Client:</b>	SJM Property Developments (Aus) Pty Ltd
<b>Site Address:</b>	8A Wards Avenue, Lewisham
<b>Date of Inspection:</b>	26/02/2026
<b>Proposed Works:</b>	New house
<b>Investigation Method:</b>	Geoprobe 540UD - Direct Push
<b>Inspected by:</b>	C. Cooper

**Site Details**

<b>Certificate of Title (CT):</b>	189375/2
<b>Title Area:</b>	Approx. 2097 m <sup>2</sup>
<b>Applicable Planning Overlays:</b>	Bushfire-prone areas, Airport obstacle limitation area
<b>Slope &amp; Aspect:</b>	5° W facing slope
<b>Vegetation:</b>	Grass & Weeds
<b>Ground Surface:</b>	Disturbed

**Background Information**

<b>Geology Map:</b>	MRT 1:250000
<b>Geological Unit:</b>	Triassic Sandstone
<b>Climate:</b>	Annual rainfall 500mm
<b>Water Connection:</b>	Tank
<b>Sewer Connection:</b>	Unserviced-On-site required
<b>Testing and Classification:</b>	AS2870:2011, AS1726:2017 & AS1547:2012

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## Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

### **Soil Profile Summary**

TH 1 Depth (m)	TH 2 Depth (m)	TH 3 Depth (m)	USCS	Description
0.00-0.40	0.00-0.30	0.00-0.20	SM	<b>Sand:</b> Fine grained, weak sub angular structure, dark brown, dry dense.
0.40-0.60	0.30-0.60	0.20-0.50	CL	<b>Sandy CLAY:</b> Low plasticity, moderate polyhedral structure, pale brown, slightly moist, stiff.
0.60-0.70	0.60-0.70	0.50-0.70	SC	<b>Clayey SAND trace gravels:</b> Medium grain, weak polyhedral structure, pale brown mottled orange, slightly moist, very dense, refusal on rock

## Site Notes

The soils on site consist of fine sand topsoils overlying clay subsoils developing from Triassic Sandstone.

## Site Classification

The site has been assessed and classified in accordance with AS2870:2011 “Residential Slabs and Footings”.

The site has been classified as:

### **Class M**

Y<sup>s</sup> range: **20-40mm**

Notes: Soils on site are have plastic and reactive characteristics, however, these soils are shallow and not likely to exhibit maximum ground surface movement potential with an indicative Y’s range of 20-40mm. All foundations must be founded into the underlying bedrock



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## Wind Loading Classification

According to “AS4055:2021 - Wind Loads for Housing” the house site is classified below:

<b>Wind Classification:</b>	<b>N2</b>
Region:	A
Terrain Category:	2.5
Shielding Classification:	PS
Topographic Classification:	T1
Wind Classification:	N2
Design Wind Gust Speed – m/s ( $V_{h,u}$ ):	40

## Wastewater Classification & Recommendations

According to AS1547-2012 (on-site waste-water management) the natural soil is classified as **Clay Loam (category 4)**. The site is unsuited to the installation of a traditional septic tank and trenches due to shallow soil onsite. Secondary treatment of effluent will be required, and it is proposed to install a package treatment system (e.g. Econocycle, Envirocycle, Ozzikleen etc) with treated effluent disposed by subsurface irrigation. A Design Irrigation Rate (DIR) of 3.5L/m<sup>2</sup>/day has been assigned for this site.

The proposed three-bedroom dwelling has a calculated maximum wastewater output of 600L/day. This is based on a tank water supply and a maximum occupancy of 5 people (120L/day/person). With secondary treatment this will require an absorption area of at least 172m<sup>2</sup>. This can be accommodated by subsurface irrigation. For all calculations please refer to the Trench summary reports.

A cut-off drain will be required upslope of the irrigation area. In light of the use of irrigation and secondary treatment the designation of a reserve area can be eliminated. This is justified by the ease at which irrigation systems can be replaced, with old lines and topsoil removed and replaced with new topsoil and irrigation systems within a 48 hour period.



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To be in agreement with the Southern Beaches On-site Waste Water and Stormwater Management Specific Area Plan of the Sorell Local Provisions Schedule:

**SOR-S2.7.1** On-site waste water

Acceptable Solutions	Comment
<p><b>A1</b> Development must:</p> <ul style="list-style-type: none"> <li>(a) not cover more than 20% of the site;</li> <li>(b) not be located on land shown on an overlay map, as within:               <ul style="list-style-type: none"> <li>(i) a flood-prone hazard area;</li> <li>(ii) a landslip hazard area;</li> <li>(iii) a coastal erosion hazard area;</li> <li>(iv) a waterway and coastal protection area; or</li> <li>(v) a coastal inundation hazard area;</li> </ul> </li> <li>(c) be located on a site with a soil depth of at least 1.5m;</li> <li>(d) be located on a site where the average gradient of the land does not exceed 10%; and</li> <li>(e) in the case of a dwelling, provide 65m<sup>2</sup> of land for wastewater land application area per bedroom which is located at least 1.5m from an upslope or side slope boundary and 5m from a downslope boundary.</li> </ul>	<p>Non-agreement with A1 (e) See P1</p>

Performance Criteria	Comment
<p><b>P1</b> The site must provide sufficient area for management of on-site waste water, having regard to:</p> <p>(a) the topography of the site;</p> <p>(b) the capacity of the site to absorb wastewater;</p> <p>(c) the size and shape of the site;</p> <p>(d) the existing buildings and any constraints imposed by existing development;</p> <p>(e) the area of the site to be covered by the proposed development;</p> <p>(f) the provision for landscaping, vehicle parking, driveways and private open space;</p> <p>(g) any adverse impacts on the quality of ground, surface and coastal waters;</p> <p>(h) any adverse environmental impact on surrounding properties and the locality; and</p> <p>(i) any written advice from a suitably qualified person (onsite waste water management) about the adequacy of the on-site waste water management system.</p>	<p>Consistent</p> <p>(a) the application area has an average slope of 5 degrees</p> <p>(b) the soil has been assessed as Category 4 due to the structure of the subsoil</p> <p>(c) – (f) there is sufficient space available to accommodate the required application area and be clear of any buildings, driveways or hardstand areas. A minimum separation distance of 1m is proposed to the downslope driveway</p> <p>(g) no groundwater was encountered and the nearest surface water is greater than 100m away</p> <p>(h) the proposed wastewater system is consistent with neighbouring properties</p> <p>(i) irrigation of secondary treatment of wastewater is required</p>

Acceptable Solutions	Comment
<p><b>A2</b> An outbuilding, driveway or parking area or addition or alteration to a building must not encroach onto an existing land application area.</p>	<p>Consistent</p>

Performance Criteria	Comment
<p><b>P2</b> An outbuilding, driveway or parking area or addition or alteration to a building must demonstrate that there is sufficient suitable area of land available for a new on- site waste water management system.</p>	<p>Consistent</p>

Design provisions have been made to address site constraints and manage risk including the use of secondary treatment and subsurface application. Providing the site is sufficiently drained and foundation depths are below the depth of the wastewater area, there should be no detrimental impact from onsite wastewater on footings. It is therefore concluded that there is a low and acceptable risk of environmental impact and impact on human health from wastewater management on the site for the current proposal.

The following setback distances are consistent with the Building Act 2016:

Upslope or level buildings:	3m
Downslope buildings:	3.25m
Upslope or level boundaries:	1.5m
Downslope boundaries:	6.5m
Downslope surface water:	100m

Further details are outlined in the attached table.

## **Construction Notes & Recommendations**

The site has been classified as **Class M**.

It is recommended that all footing loads are transferred to bedrock (either directly or via piers/piles).

All earthworks on site must comply with AS3798:2007, and I further recommend that consideration be given to drainage and sediment control on site during and after construction. Care should also be taken to ensure there is adequate drainage in the construction area to avoid the potential for weak bearing and foundation settlement associated with excessive soil moisture.

During construction GES will need to be notified of any variation to the soil conditions or wastewater loading as outlined in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD

*Director*

**GES Pty Ltd**

**Land suitability and system sizing for on-site wastewater management**  
Trench 3.0 (Australian Institute of Environmental Health)

**Assessment Report**  
**Site assessment for wastewater system**

Assessment for	SJM Property Developments	Assess. Date	7-Apr-26
		Ref. No.	
Assessed site(s)	8A Wards Avenue, Lewisham	Site(s) inspected	9-Sep-25
Local authority	Sorell	Assessed by	John Paul Cumming

This report summarises wastewater volumes, climatic inputs for the site, soil characteristics and system sizing and design issues. Site Capability and Environmental sensitivity issues are reported separately, where 'Alert' columns flag factors with high (A) or very high (AA) limitations which probably require special consideration for system design(s). Blank spaces on this page indicate data have not been entered into TRENCH.

**Wastewater Characteristics**

Wastewater volume (L/day) used for this assessment = 600 (using the 'No. of bedrooms in a dwelling' method)  
 Septic tank wastewater volume (L/day) = 200  
 Sullage volume (L/day) = 400  
 Total nitrogen (kg/year) generated by wastewater = 3.2  
 Total phosphorus (kg/year) generated by wastewater = 1.5

**Climatic assumptions for site**

(Evapotranspiration calculated using the crop factor method)

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Mean rainfall (mm)	41	36	36	47	44	48	48	47	49	55	47	49
Adopted rainfall (R, mm)	41	36	36	47	44	48	48	47	49	55	47	49
Retained rain (Rr, mm)	34	31	31	40	37	41	41	40	42	47	40	42
Max. daily temp. (deg. C)												
Evapotrans (ET, mm)	130	110	91	63	42	29	32	42	63	84	105	126
Evapotr. less rain (mm)	<b>96</b>	<b>79</b>	<b>60</b>	<b>23</b>	<b>5</b>	<b>-11</b>	<b>-9</b>	<b>2</b>	<b>21</b>	<b>37</b>	<b>65</b>	<b>84</b>
Annual evapotranspiration less retained rain (mm) =												452

**Soil characteristics**

Texture = Clay Loam Category = 4 Thick. (m) = 0.7  
 Adopted permeability (m/day) = 0.12 Adopted LTAR (L/sq m/day) = 4 Min depth (m) to water = 3

**Proposed disposal and treatment methods**

Proportion of wastewater to be retained on site: All wastewater will be disposed of on the site  
 The preferred method of on-site primary treatment: In a package treatment plant  
 The preferred method of on-site secondary treatment: In-ground  
 The preferred type of in-ground secondary treatment: None  
 The preferred type of above-ground secondary treatment: None  
 Site modifications or specific designs: Not needed


**Suggested dimensions for on-site secondary treatment system**

Total length (m) = 17  
 Width (m) = 10  
 Depth (m) = 0.2  
 Total disposal area (sq m) required = 170  
 comprising a Primary Area (sq m) of: 172  
 and a Secondary (backup) Area (sq m) of:

Sufficient area is available on site

**Comments**

The calculated DIR for the Category 4 soil present is 3.5mm/day using an AWTS with a required subsurface irrigation area of 172sq m for a three bedroom house on tank water. Therefore the system will have the capacity to cope with predicted climatic and loading events.



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**GES Pty Ltd**

**Land suitability and system sizing for on-site wastewater management**  
Trench 3.0 (Australian Institute of Environmental Health)

**Site Capability Report**  
**Site assessment for wastewater system**

Assessment for	SJM Property Developments	Assess. Date	7-Apr-26
		Ref. No.	
Assessed site(s)	8A Wards Avenue, Lewisham	Site(s) inspected	9-Sep-25
Local authority	Sorell	Assessed by	John Paul Cumming

This report summarises data relating to the physical capability of the assessed site(s) to accept wastewater. Environmental sensitivity and system design issues are reported separately. The 'Alert' column flags factors with high (A) or very high (AA) site limitations which probably require special consideration in site acceptability or for system design(s). Blank spaces indicate data have not been entered into TRENCH.

Alert	Factor	Units	Value	Confid level	Limitation		Remarks
					Trench	Amended	
	Expected design area	sq m	800	V. high	Moderate		
	Density of disposal systems	/sq km	20	High	Moderate		
	Slope angle	degrees	5	V. high	Low		
	Slope form	Convex spreading		V. high	Very low		
	Surface drainage	Imperfect		High	Moderate		
	Flood potential	Site floods <1:100 yrs		High	Very low		
	Heavy rain events	Rare		High	Low		
	Aspect (Southern hemi.)	Faces E or W		V. high	Moderate		
	Frequency of strong winds	Common		High	Low		
	Wastewater volume	L/day	600	High	Moderate		
	SAR of septic tank effluent		1.7	Mod.	Low		
	SAR of sullage		2.1	Mod.	Moderate		
	Soil thickness	m	0.7	V. high	Low		
AA	Depth to bedrock	m	0.7	High	Very high		
	Surface rock outcrop	%	0	High	Very low		
	Cobbles in soil	%	0	High	Very low		
	Soil pH		7.0	High	Very low		
	Soil bulk density	gm/cub. cm	1.5	High	Low		
	Soil dispersion	Emerson No.	7	V. high	Very low		
	Adopted permeability	m/day	0.12	High	Very low		
	Long Term Accept. Rate	L/day/sq m	4	High	High	Moderate	Other factors lessen impact

Comments

This site has the capability to accept secondary treated wastewater.



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**GES Pty Ltd**

**Land suitability and system sizing for on-site wastewater management**  
Trench 3.0 (Australian Institute of Environmental Health)

**Environmental Sensitivity Report**  
**Site assessment for wastewater system**


Assessment for	SJM Property Developments	Assess. Date	7-Apr-26
		Ref. No.	
Assessed site(s)	8A Wards Avenue, Lewisham	Site(s) inspected	9-Sep-25
Local authority	Sorell	Assessed by	John Paul Cumming

This report summarises data relating to the environmental sensitivity of the assessed site(s) in relation to applied wastewater. Physical capability and system design issues are reported separately. The 'Alert' column flags factors with high (A) or very high (AA) limitations which probably require special consideration in site acceptability or for system design(s). Blank spaces indicate data have not been entered into TRENCH.

Alert	Factor	Units	Value	Confid level	Limitation		Remarks
					Trench	Amended	
A	Cation exchange capacity	mmol/100g	50	High	High		
A	Phos. adsorp. capacity	kg/cub m	0.4	Mod.	High		
	Annual rainfall excess	mm	-452	High	Very low		
	Min. depth to water table	m	3	High	Very low		
	Annual nutrient load	kg	4.7	High	Very low		
	G'water environ. value	Agric non-sensit		High	Low		
	Min. separation dist. required	m	3	High	Very low		
	Risk to adjacent bores	Very low		High	Very low		
	Surf. water env. value	Agric non-sensit		High	Low		
	Dist. to nearest surface water	m	200	High	Moderate		
A	Dist. to nearest other feature	m	15	V. high	High		
	Risk of slope instability	Very low		High	Very low		
	Distance to landslip	m	250	Mod.	Very low		

**Comments**


There is low risk of environmental harm associated with onsite wastewater disposal at this site.




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Demonstration of wastewater system consistency with the *Building Act 2016 Guidelines for On-site Wastewater*

Acceptable Solutions	Performance Criteria	Compliance
<p>A1</p> <p>Horizontal separation distance from a building to a land application area must comply with one of the following:</p> <ul style="list-style-type: none"> <li>a) be no less than 6m; or</li> <li>b) be no less than: <ul style="list-style-type: none"> <li>(i) 3m from an upslope building or level building;</li> <li>(ii) If primary treated effluent to be no less than 4m plus 1m for every degree of average gradient from a downslope building;</li> <li>(iii) If secondary treated effluent and subsurface application, no less than 2m plus 0.25m for every degree of average gradient from a downslope building.</li> </ul> </li> </ul>	<p>P1</p> <ul style="list-style-type: none"> <li>a) The land application area is located so that <ul style="list-style-type: none"> <li>(i) the risk of wastewater reducing the bearing capacity of a building's foundations is acceptably low.; and</li> <li>(ii) is setback a sufficient distance from a downslope excavation around or under a building to prevent inadequately treated wastewater seeping out of that excavation</li> </ul> </li> </ul>	<p>Consistent with A1 (b) (i) Land application area will be located with a minimum separation distance of 3m from an upslope or level building.</p> <p>Consistent with A1 (b) (iii) Land application area will be located with a minimum separation distance of 3.25m from a downslope building.</p>
<p>A2</p> <p>Horizontal separation distance from downslope surface water to a land application area must comply with (a) or (b)</p> <ul style="list-style-type: none"> <li>(a) be no less than 100m; or</li> <li>(b) be no less than the following: <ul style="list-style-type: none"> <li>(i) if primary treated effluent 15m plus 7m for every degree of average gradient to downslope surface water; or</li> <li>(ii) if secondary treated effluent and subsurface application, 15m plus 2m for every degree of average gradient to down slope surface water.</li> </ul> </li> </ul>	<p>P2</p> <p>Horizontal separation distance from downslope surface water to a land application area must comply with all of the following:</p> <ul style="list-style-type: none"> <li>a) Setbacks must be consistent with AS/NZS 1547 Appendix R;</li> <li>b) A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is acceptable.</li> </ul>	<p>Consistent with A2 (b) (ii) Land application area will be located a minimum of 100m from downslope surface water</p> <div data-bbox="1518 1262 2085 1506" style="border: 2px solid orange; padding: 5px;">  <p><b>Sorell Council</b></p> <p>Development Application: 5.2026.138. - Response to Request For Information - 8a Wards Avenue, Lewisham - P2.pdf Plans Reference: P2 Date received: 29/05/2026</p> </div>

<p>A3</p> <p>Horizontal separation distance from a property boundary to a land application area must comply with either of the following:</p> <p>(a) be no less than 40m from a property boundary; or</p> <p>(b) be no less than:</p> <ul style="list-style-type: none"> <li>(i) 1.5m from an upslope or level property boundary; and</li> <li>(ii) If primary treated effluent 2m for every degree of average gradient from a downslope property boundary; or</li> <li>(iii) If secondary treated effluent and subsurface application, 1.5m plus 1m for every degree of average gradient from a downslope property boundary.</li> </ul>	<p>P3</p> <p>Horizontal separation distance from a property boundary to a land application area must comply with all of the following:</p> <p>(a) Setback must be consistent with AS/NZS 1547 Appendix R; and</p> <p>(b) A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is acceptable.</p>	<p>Consistent with A3 (b) (i) Land application area will be located with a minimum separation distance of 1.5m from an upslope or level property boundary</p> <p>Consistent with A3 (b) (iii) Land application area will be located with a minimum separation distance of 6.5m from a downslope property boundary.</p>
<p>A4</p> <p>Horizontal separation distance from a downslope bore, well or similar water supply to a land application area must be no less than 50m and not be within the zone of influence of the bore whether up or down gradient.</p>	<p>P4</p> <p>Horizontal separation distance from a downslope bore, well or similar water supply to a land application area must comply with all of the following:</p> <p>(a) Setback must be consistent with AS/NZS 1547 Appendix R; and</p> <p>(b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 demonstrates that the risk is acceptable</p>	<p>Consistent with A4 No bore or well identified within 50m</p>

<p>A5</p> <p>Vertical separation distance between groundwater and a land application area must be no less than:</p> <p>(a) 1.5m if primary treated effluent; or</p> <p>(b) 0.6m if secondary treated effluent</p>	<p>P5</p> <p>Vertical separation distance between groundwater and a land application area must comply with the following:</p> <p>(a) Setback must be consistent with AS/NZS 1547 Appendix R; and</p> <p>(b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 that demonstrates that the risk is acceptable</p>	<p>Consistent with A5 (b)</p> <p>No groundwater encountered</p>
<p>A6</p> <p>Vertical separation distance between a limiting layer and a land application area must be no less than:</p> <p>(a) 1.5m if primary treated effluent; or</p> <p>(b) 0.5m if secondary treated effluent</p>	<p>P6</p> <p>Vertical setback must be consistent with AS/NZS1547 Appendix R.</p>	<p>Consistent with A5 (b)</p>
<p>A7</p> <p>nil</p>	<p>P7</p> <p>A wastewater treatment unit must be located a sufficient distance from buildings or neighbouring properties so that emissions (odour, noise or aerosols) from the unit do not create an environmental nuisance to the residents of those properties</p>	<p>Consistent</p> <div data-bbox="1518 1070 2085 1315" style="border: 2px solid orange; padding: 5px; margin-top: 20px;">  <p><b>Sorell Council</b></p> <p>Development Application: 5.2026.138. -  Response to Request For Information - 8a  Wards Avenue, Lewisham - P2.pdf  Plans Reference: P2  Date received: 29/05/2026</p> </div>

## AS1547:2012 – Loading Certificate – AWTS Design

This loading certificate sets out the design criteria and the limitations associated with use of the system.

**Site Address:** 8A Wards Avenue, Lewisham

**System Capacity:** 5 persons @ 120L/person/day

### Summary of Design Criteria

**DIR:** 3.5mm/day.

**Irrigaion area:** 172m<sup>2</sup>

**Reserve area location /use:** Not assigned. Irrigation lines and topsoil will need to be replaced within a 48 hour period

**Water saving features fitted:** Standard fixtures

**Allowable variation from design flows:** 1 event @ 200% daily loading per quarter

**Typical loading change consequences:** Expected to be minimal due to use of AWTS and large land area

**Overloading consequences:** Continued overloading may cause hydraulic failure of the irrigation area and require upgrading/extension of the area. Risk considered acceptable due to monitoring through quarterly maintenance reports.

**Underloading consequences:** Lower than expected flows will have minimal consequences on system operation unless the house has long periods of non occupation. Under such circumstances additional maintenance of the system may be required. Long term under loading of the system may also result in vegetation die off in the irrigation area and additional watering may be required. Risk considered acceptable due to monitoring through quarterly maintenance reports.

**Lack of maintenance / monitoring consequences:** Issues of underloading/overloading and condition of the irrigation area require monitoring and maintenance, if not completed system failure may result in unacceptable health and environmental risks. Monitoring and regulation by the permit authority required to ensure compliance.

**Other considerations:** Owners/occupiers must be made aware of the operational requirements and limitations of the system by the installer/maintenance contractor.



**Sorell Council**

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# CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94  
Section 106  
Section 129  
Section 155

Form **35**

To:  Owner name  
 Address  
  Suburb/postcode

<b>Designer details:</b>	
Name:	<input type="text" value="John-Paul Cumming"/> <small>Category:</small> <input type="text" value="Bld. Svcs. Dsgnr. - Hydraulic"/>
Business name:	<input type="text" value="Geo-Environmental Solutions"/> <small>Phone No:</small> <input type="text" value="03 6223 1839"/>
Business address:	<input type="text" value="29 Kirksway Place"/> <small>Fax No:</small> <input type="text" value="N/A"/>
	<input type="text" value="Battery Point"/> <input type="text" value="7004"/>
Licence No:	<input type="text" value="CC774A"/> <small>Email address:</small> <input type="text" value="office@geosolutions.net.au"/>

<b>Details of the proposed work:</b>	
Owner/Applicant	<input type="text" value="SJM Property Developments (Aus) Pty Ltd"/> <small>Designer's project reference No.</small> <input type="text" value="J12724"/>
Address:	<input type="text" value="8A Wards Avenue"/> <small>Lot No:</small> <input type="text" value="189375/2"/>
	<input type="text" value="Lewisham"/> <input type="text" value="7173"/>
Type of work:	Building work <input type="checkbox"/> Plumbing work <input checked="" type="checkbox"/> <small>(X all applicable)</small>

**Description of work:**


<input type="text" value="On-site wastewater management system - design"/>	<small>(new building / alteration / addition / repair / removal / re-erection water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)</small>
----------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

**Description of the Design Work (Scope, limitations or exclusions):** (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
	<input type="checkbox"/> Building design	Architect or Building Designer
	<input type="checkbox"/> Structural design	Engineer or Civil Designer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input checked="" type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input type="checkbox"/> Electrical design	Building Services Designer
	<input type="checkbox"/> Mechanical design	Building Service Designer
	<input type="checkbox"/> Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	

Deemed-to-Satisfy:  Performance Solution:  (X the appropriate box)

Other details:  
AWTS with subsurface irrigation




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**Design documents provided:**

The following documents are provided with this Certificate –  
Document description:

Drawing numbers:	Prepared by: Geo-Environmental Solutions	Date: May-26
Schedules:	Prepared by:	Date:
Specifications:	Prepared by: Geo-Environmental Solutions	Date: May-26
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by: Geo-Environmental Solutions	Date: May-26

<b>Standards, codes or guidelines relied on in design process:</b>	
AS1547:2012 On-site domestic wastewater management.	
AS3500 (Parts 0-5)-2013 Plumbing and drainage set.	 <b>Sorell Council</b> Development Application: 5.2026.138. - Response to Request For Information - 8a Wards Avenue, Lewisham - P2.pdf Plans Reference: P2 Date received: 29/05/2026

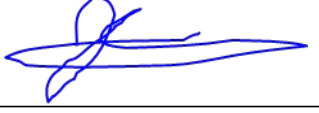
<b>Any other relevant documentation:</b>	
Onsite Wastewater Assessment - 8A Wards Avenue Lewisham -	

<b>Attribution as designer:</b>	
---------------------------------	--

I John-Paul Cumming, am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	John-Paul Cumming		27/05/2026
Licence No:	CC774A		

**Assessment of Certifiable Works: (TasWater)**

**Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.**  
**If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.**  
**TasWater must then be contacted to determine if the proposed works are Certifiable Works.**


**I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:**

- The works will not increase the demand for water supplied by TasWater
- The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater’s sewerage infrastructure
- The works will not require a new connection, or a modification to an existing connection, to be made to TasWater’s infrastructure
- The works will not damage or interfere with TasWater’s works
- The works will not adversely affect TasWater’s operations
- The work are not within 2m of TasWater’s infrastructure and are outside any TasWater easement
- I have checked the LISTMap to confirm the location of TasWater infrastructure
- If the property is connected to TasWater’s water system, a water meter is in place, or has been applied for to TasWater.


**Certification:**

I ..... John-Paul Cumming..... being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: [www.taswater.com.au](http://www.taswater.com.au)

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	John-Paul Cumming		27/05/2026





**Sorell Council**

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# CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To:  Owner /Agent  
 Address  
  Suburb/postcode

## Qualified person details:

Qualified person:   
Address:  Phone No:   
  Fax No:   
Licence No:  Email address:

Qualifications and Insurance details:  (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise:  (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)


## Details of work:

Address:  Lot No:   
  Certificate of title No:   
The assessable item related to this certificate:  (description of the assessable item being certified)  
Assessable item includes –  
- a material;  
- a design  
- a form of construction  
- a document  
- testing of a component, building system or plumbing system  
- an inspection, or assessment, performed

## Certificate details:

Certificate type:  (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

 **Sorell Council**  
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building work, plumbing work or plumbing installation or demolition work   
or

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:	The attached soil report for the address detailed above in 'details of work'
Relevant calculations:	Reference the above report.
References:	AS2870:2011 residential slabs and footings AS1726:2017 Geotechnical site investigations CSIRO Building technology file – 18.

*Substance of Certificate: (what it is that is being certified)*

Site Classification consistent with AS2870-2011.

*Scope and/or Limitations*

The classification applies to the site as inspected and does not account for future alteration to foundation conditions as a result of earth works, drainage condition changes or variations in site maintenance.

**I, John-Paul Cumming certify the matters described in this certificate.**

Qualified person:

*Signed:*

*Certificate No:*

*Date:*

J12724

27/05/2026



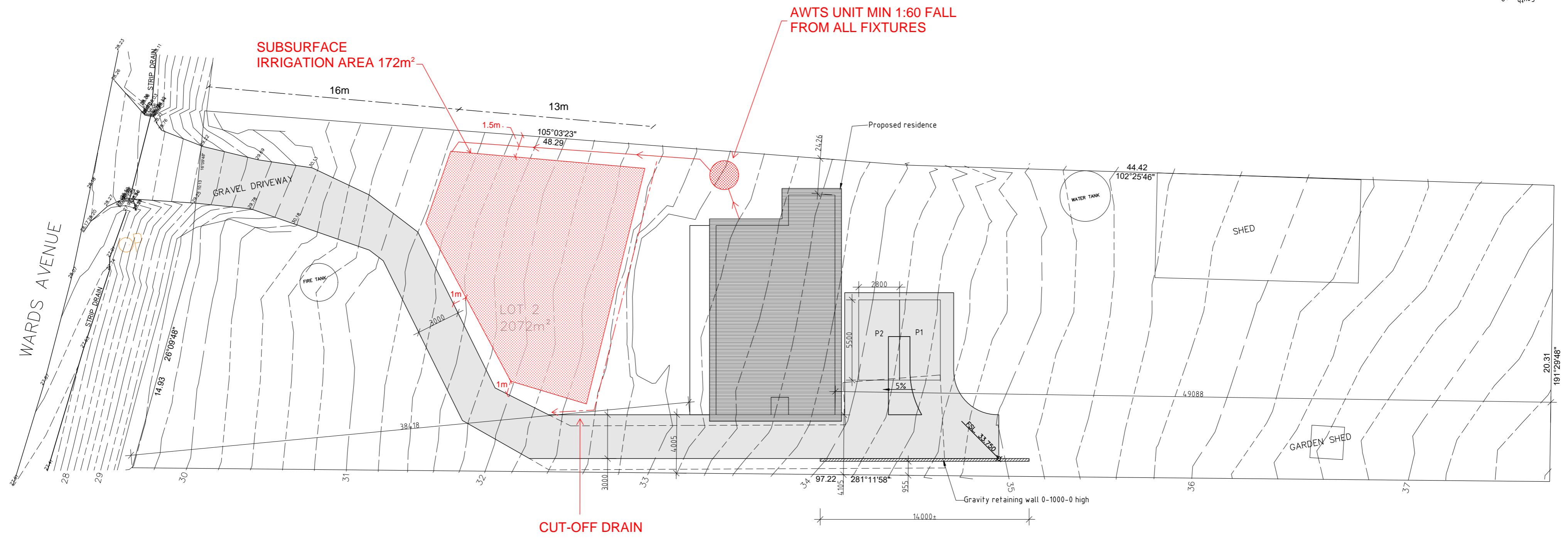
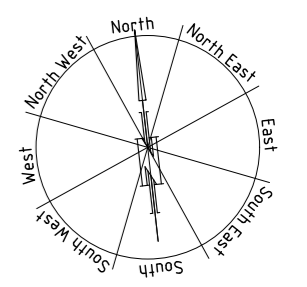
A handwritten signature in black ink, appearing to read 'John Paul Cumming', written over a light grey background.



**Sorell Council**

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CONTENTS	
1	Site Plan
2	Plan
3	Elevations
4	Concept Stormwater Plan
5	Plumbing Notes
6	Plumbing Details



**Wastewater system:**  
 AWTS unit vented according to  
 NCC vol 3 Tas C2D6  
 min 1:60 fall from all fixtures

Cut-off drain

Subsurface irrigation - 172m<sup>2</sup>

Min 3m from upslope buildings  
 Min 3.25m from downslope buildings  
 Min 1.5m from upslope or level boundaries  
 Min 6.5m from downslope boundary  
 Min 100m from downslope surface water

Refer to GES report

**GES**  
 GEO-ENVIRONMENTAL SOLUTIONS  
 23 Wilkeson Place Safety Point  
 T: 022374333 E: info@gesenviro.com.au

Dr. John Paul Cumming  
 Building Services Designer -  
 Hydraulic  
 COC774A

*[Signature]*  
 27/05/2026

**PLANNING SCHEME OVERLAYS:**  
 Low Density Residential  
 Southern Beaches On-site Waste Water and  
 Stormwater Management Specific Area Plan  
 Dispersive Soils Specific Area Plan  
 Bushfire-prone areas  
 Airport obstacle limitation area

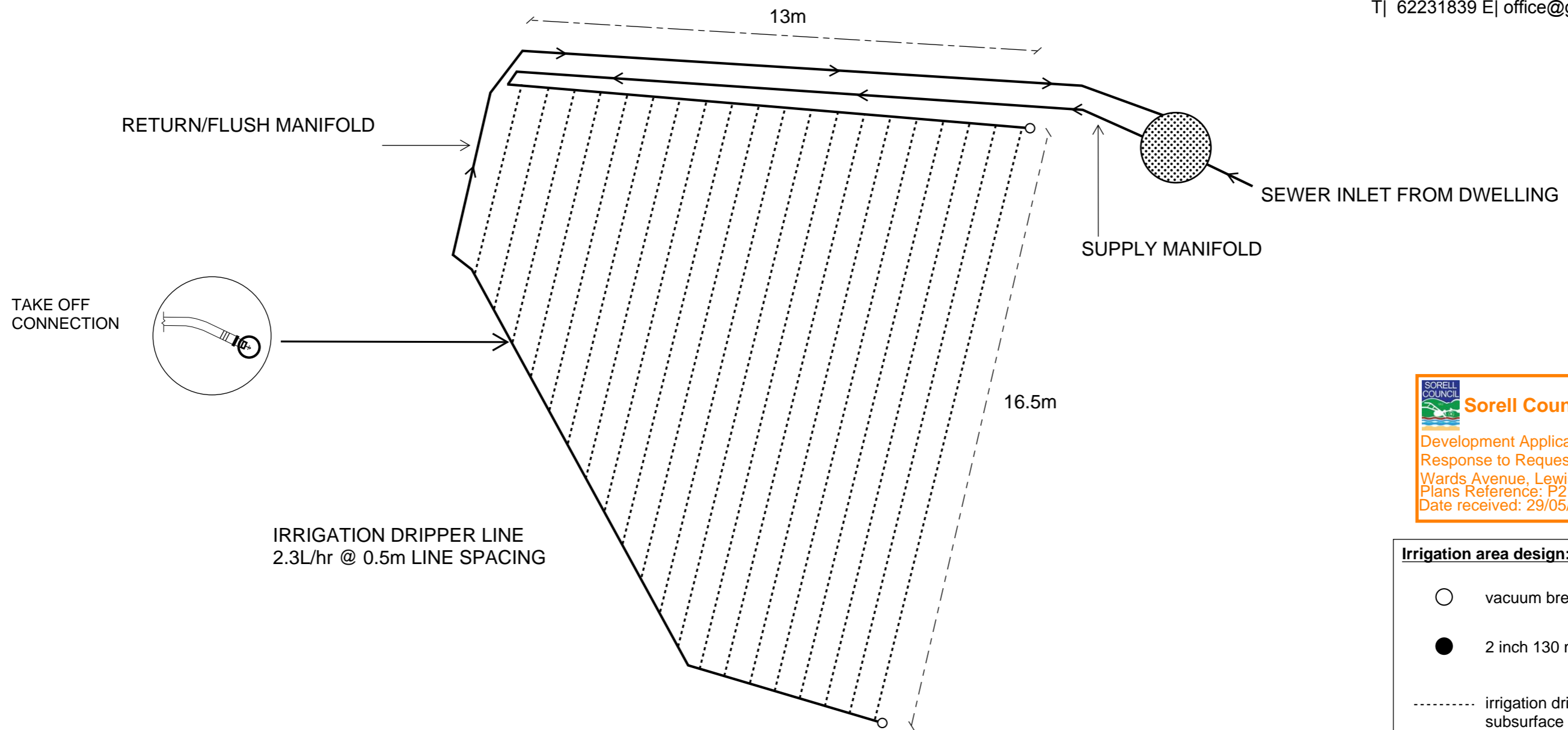
PROPOSED RESIDENCE FOR SJM PROPERTY DEVELOPMENTS PTY LTD AT 8A WARDS AVENUE LEWISHAM 7175	SITE PLAN	DATE 27/05/2026	DRAWN BY G. Tilley email: gtilley7@bigpond.com phone: ph 0400 671 982
	SCALE 1:200 0 2000 4000	AMENDED	DRAWING NO. 01 OF 06 A2



GEO-ENVIRONMENTAL

SOLUTIONS

29 Kirksway Place, Battery Point  
T| 62231839 E| office@geosolutions.net.au



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**Irrigation area design:**

- vacuum breaker
- 2 inch 130 micron Azud disc filter
- irrigation dripper line (2.3L/hr) laid subsurface at 1m spacing. Approx 300m required
- 32mm supply/return manifold

Recommended minimum pump capacity  
40L/m @ 20m head

Do not scale from these drawings.  
Dimensions to take precedence  
over scale.

8a Wards Avenue  
Lewisham 7173

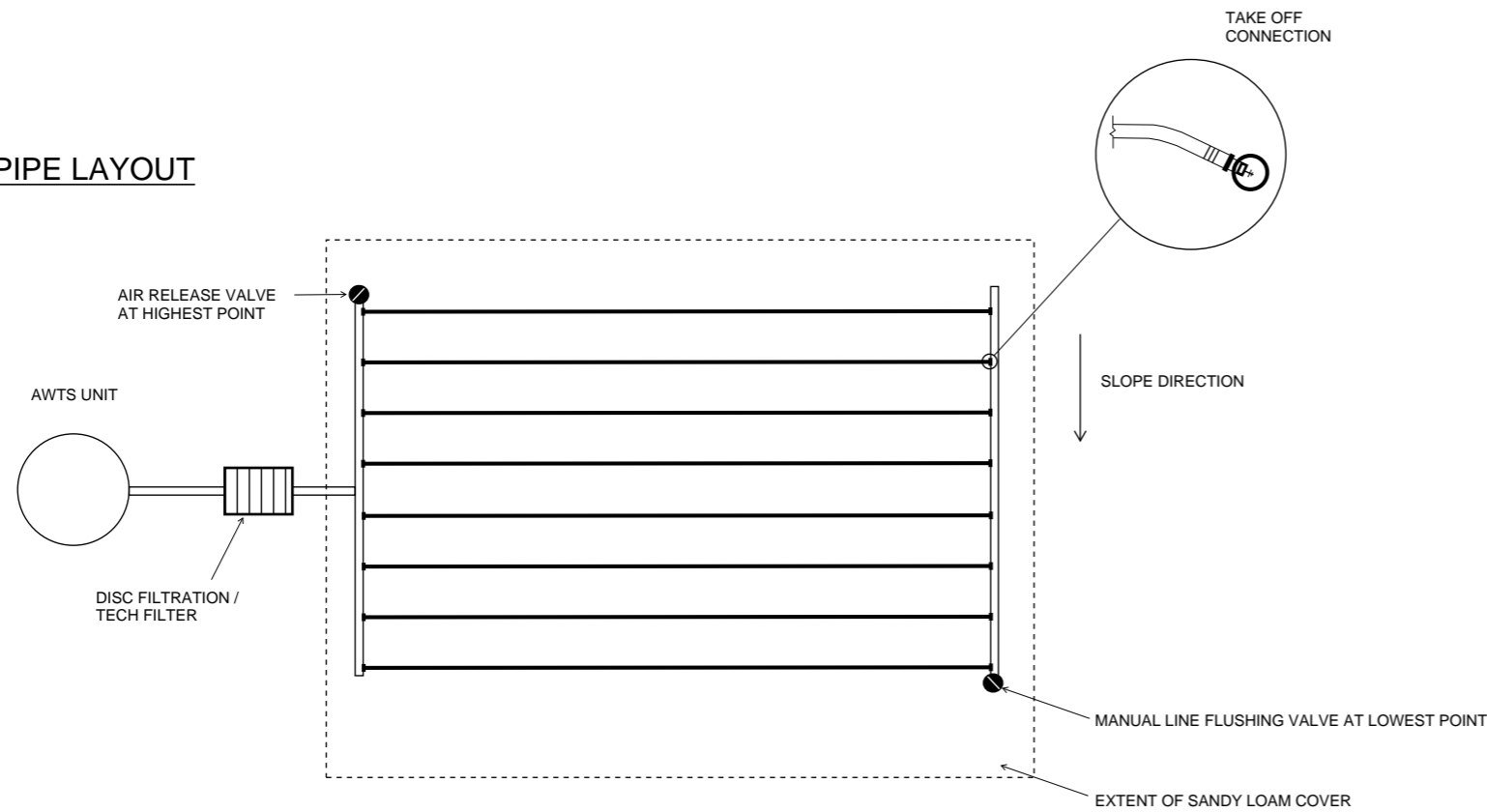
C.T.: 189375/2

Date: 2/4/2026

On-Site Wastewater Cross-section

Sheet 1 of 1  
Drawn by: LR

**BED PLAN PIPE LAYOUT**

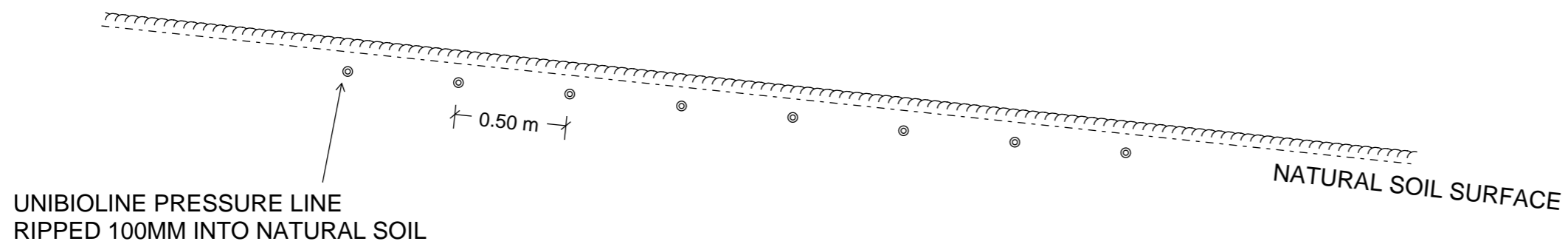


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**APPLICATION AREA NOTES**

1. APPLICABLE FOR SLOPE ANGLES 10-20%
2. BASE OF APPLICATION AREA TO BE SCARIFIED TO BREAK SURFACE LAYER. ALTERNATIVELY LINES CAN BE RIPPED INTO TOPSOIL WITH SUITABLE TRACTOR AND PIPE LAYER. SMEARING AND COMPACTION TO BE AVOIDED
3. IRRIGATION LINES TO BE INSTALLED INTO NATURAL SANDY TOPSOIL MIN 100mm DEPTH
4. DEPENDANT ON TREATMENT SYSTEM A 200µm FILTER MAY BE INSTALLED AT THE PUMPING CHAMBER OUTLET, BUT A 100-120µm INLINE DISC FILTER SHOULD BE INSTALLED PRIOR TO DISCHARGE INTO THE IRRIGATION AREA.
5. A VACUUM BREAKER VALVE MUST BE INSTALLED AT THE HIGHEST POINT OF THE IRRIGATION AREA IN A MARKED AND PROTECTED VALVE CONTROL BOX.
6. A FLUSH LINE MUST BE INSTALLED AT THE LOWEST POINT OF THE IRRIGATION AREA
7. THE MINIMUM IRRIGATION PUMPING CAPACITY SHOULD BE EQUIVALENT TO 120 kpa (i.e. 12m OF HEAD) AT THE HIGHEST POINT OF THE IRRIGATION AREA.
8. CUT-OFF DIVERSION DRAIN UPSLOPE AS REQUIRED
9. ALL WORKS TO COMPLY WITH AS3500 AND TASMANIAN PLUMBING CODE

**APPLICATION AREA CROSS-SECTION**



Do not scale from these drawings.  
Dimensions to take precedence  
over scale.

CROSS-SECTION  
SUBSURFACE APPLICATION SLOPES 10-20%

Sheet 1 of 1  
Drawn by: SR



GEO-ENVIRONMENTAL

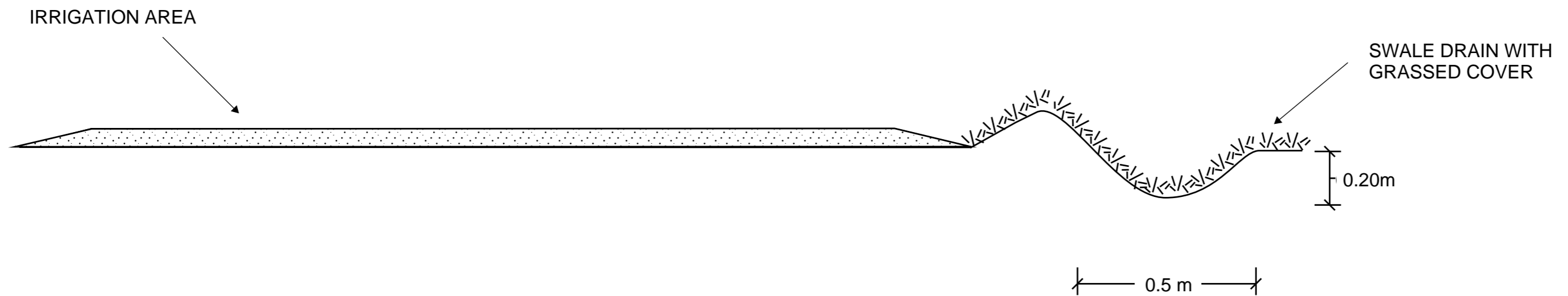
SOLUTIONS


29 Kirksway Place Battery Point  
T| 62231839 E| office@geosolutions.net.au

**TYPICAL GRASSED SWALE DRAIN CROSS-SECTION**

SWALE DRAIN TO BE MIN 0.5M WIDE BY MIN 0.20M DEEP

GRASS COVER TO BE MAINTAINED TO SLOW WATER FLOW AND MINIMISE EROSION



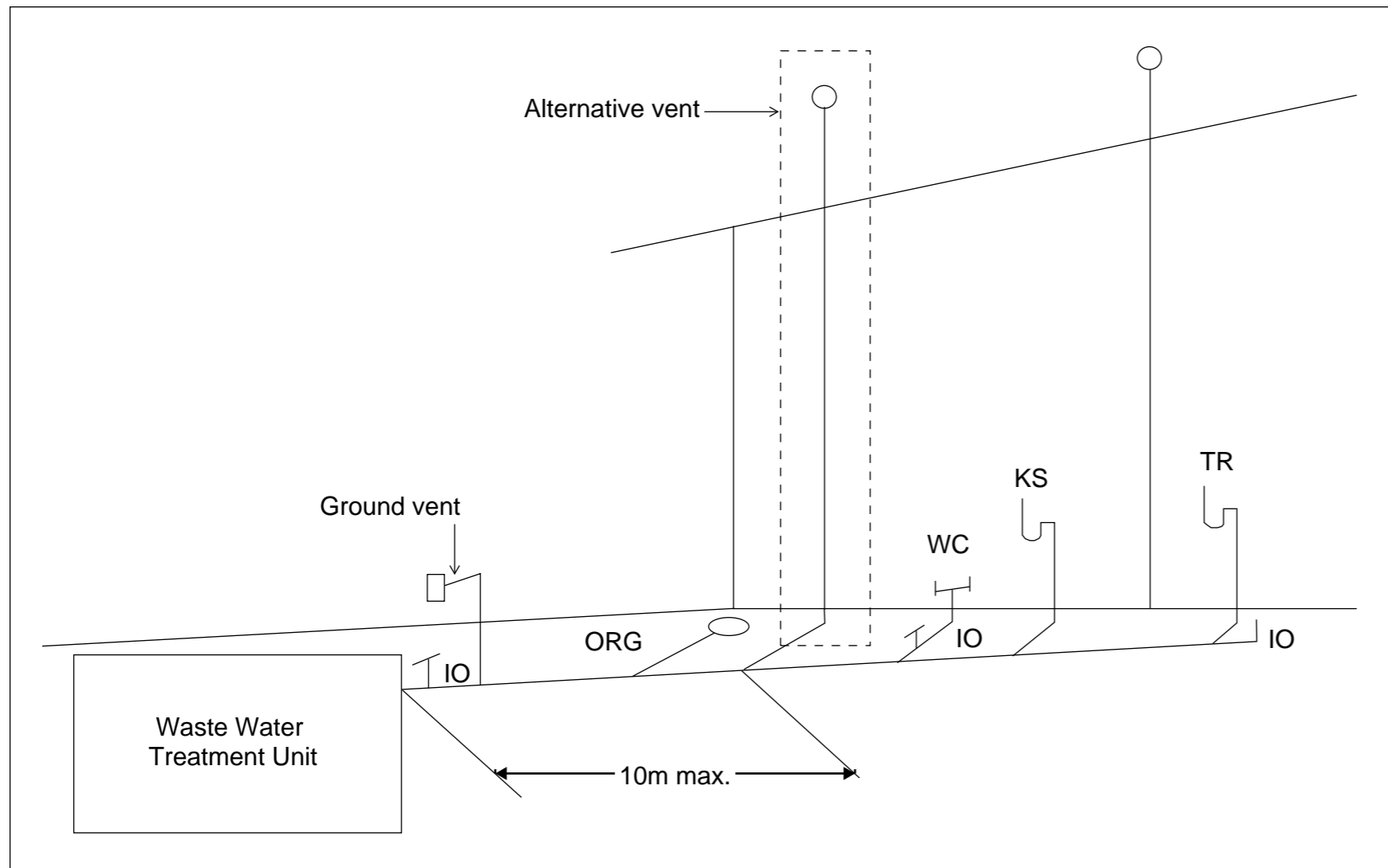
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Do not scale from these drawings.  
Dimensions to take precedence  
over scale.

Geo-Environmental Solutions

Grassed swale drain  
typical cross-section

Sheet 1 of 1  
Drawn by SR




**Tas Figure C2D6 Alternative Venting Arrangements**

Vents must terminate in accordance with AS/NZS 3500.2

Alternative venting to be used by extending a vent to terminate as if an upstream vent, with the vent connection between the last sanitary fixture or sanitary appliance and the on-site wastewater management system. Use of a ground vent is not recommended

Inspection openings must be located at the inlet to an on-site wastewater management system treatment unit and the point of connection to the land application system and must terminate as close as practicable to the underside of an approved inspection opening cover installed at the finished surface level

Access openings providing access for desludging or maintenance of on-site wastewater management system treatment units must terminate at or above finished surface level

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# **GEO-ENVIRONMENTAL ASSESSMENT**

**8A Wards Avenue**

**Lewisham**

**April 2026**



GEO-ENVIRONMENTAL  
S O L U T I O N S

	<b>Sorell Council</b>
Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham	
Plans Reference: P1	
Date Received: 27/04/2026	

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

**Investigation Details**

<b>Client:</b>	SJM Property Developments (Aus) Pty Ltd
<b>Site Address:</b>	8A Wards Avenue, Lewisham
<b>Date of Inspection:</b>	26/02/2026
<b>Proposed Works:</b>	New house
<b>Investigation Method:</b>	Geoprobe 540UD - Direct Push
<b>Inspected by:</b>	C. Cooper

**Site Details**

<b>Certificate of Title (CT):</b>	189375/2
<b>Title Area:</b>	Approx. 2097 m <sup>2</sup>
<b>Applicable Planning Overlays:</b>	Bushfire-prone areas, Airport obstacle limitation area
<b>Slope &amp; Aspect:</b>	5° W facing slope
<b>Vegetation:</b>	Grass & Weeds
<b>Ground Surface:</b>	Disturbed

**Background Information**

<b>Geology Map:</b>	MRT 1:250000
<b>Geological Unit:</b>	Triassic Sandstone
<b>Climate:</b>	Annual rainfall 500mm
<b>Water Connection:</b>	Tank
<b>Sewer Connection:</b>	Unserviced-On-site required
<b>Testing and Classification:</b>	AS2870:2011, AS1726:2017 & AS1547:2012

 <b>Sorell Council</b>
Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham
Plans Reference: P1
Date Received: 27/04/2026

## Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

### **Soil Profile Summary**

TH 1 Depth (m)	TH 2 Depth (m)	TH 3 Depth (m)	USCS	Description
0.00-0.40	0.00-0.30	0.00-0.20	SM	<b>Sand:</b> Fine grained, weak sub angular structure, dark brown, dry dense.
0.40-0.60	0.30-0.60	0.20-0.50	CL	<b>Sandy CLAY:</b> Low plasticity, moderate polyhedral structure, pale brown, slightly moist, stiff.
0.60-0.70	0.60-0.70	0.50-0.70	SC	<b>Clayey SAND trace gravels:</b> Medium grain, weak polyhedral structure, pale brown mottled orange, slightly moist, very dense, refusal on rock

## Site Notes

The soils on site consist of fine sand topsoils overlying clay subsoils developing from Triassic Sandstone.

## Site Classification

The site has been assessed and classified in accordance with AS2870:2011 “Residential Slabs and Footings”.

The site has been classified as:

### **Class M**

Y<sup>s</sup> range: **20-40mm**

Notes: Soils on site are have plastic and reactive characteristics, however, these soils are shallow and not likely to exhibit maximum ground surface movement potential with an indicative Y’s range of 20-40mm. All foundations must be founded into the underlying bedrock

 <b>Sorell Council</b> Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham Plans Reference: P1 Date Received: 27/04/2026
-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

## Wind Loading Classification

According to “AS4055:2021 - Wind Loads for Housing” the house site is classified below:

<b>Wind Classification:</b>	<b>N2</b>
Region:	A
Terrain Category:	2.5
Shielding Classification:	PS
Topographic Classification:	T1
Wind Classification:	N2
Design Wind Gust Speed – m/s ( $V_{h,u}$ ):	40

## Wastewater Classification & Recommendations

According to AS1547-2012 (on-site waste-water management) the natural soil is classified as **Light Clay (category 5)**. The site is unsuited to the installation of a traditional septic tank and trenches due to shallow soil onsite. Secondary treatment of effluent will be required, and it is proposed to install a package treatment system (e.g. Econocycle, Envirocycle, Ozzikleen etc) with treated effluent disposed by subsurface irrigation. A Design Irrigation Rate (DIR) of 3.5L/m<sup>2</sup>/day has been assigned for this site.

The proposed three-bedroom dwelling has a calculated maximum wastewater output of 600L/day. This is based on a tank water supply and a maximum occupancy of 5 people (120L/day/person). With secondary treatment this will require an absorption area of at least 172m<sup>2</sup>. This can be accommodated by subsurface irrigation. For all calculations please refer to the Trench summary reports.

A cut-off drain will be required upslope of the irrigation area. In light of the use of irrigation and secondary treatment the designation of a reserve area can be eliminated. This is justified by the ease at which irrigation systems can be replaced, with old lines and topsoil removed and replaced with new topsoil and irrigation systems within a 48 hour period.



**Sorell Council**

Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham

Plans Reference: P1

Date Received: 27/04/2026

To be in agreement with the Southern Beaches On-site Waste Water and Stormwater Management Specific Area Plan of the Sorell Local Provisions Schedule:

**SOR-S2.7.1** On-site waste water

Acceptable Solutions	Comment
<p><b>A1</b> Development must:</p> <ul style="list-style-type: none"> <li>(a) not cover more than 20% of the site;</li> <li>(b) not be located on land shown on an overlay map, as within:               <ul style="list-style-type: none"> <li>(i) a flood-prone hazard area;</li> <li>(ii) a landslip hazard area;</li> <li>(iii) a coastal erosion hazard area;</li> <li>(iv) a waterway and coastal protection area; or</li> <li>(v) a coastal inundation hazard area;</li> </ul> </li> <li>(c) be located on a site with a soil depth of at least 1.5m;</li> <li>(d) be located on a site where the average gradient of the land does not exceed 10%; and</li> <li>(e) in the case of a dwelling, provide 65m<sup>2</sup> of land for wastewater land application area per bedroom which is located at least 1.5m from an upslope or side slope boundary and 5m from a downslope boundary.</li> </ul>	<p>Non-agreement with A1 (e) See P1</p>



**Sorell Council**

Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham

Plans Reference: P1

Date Received: 27/04/2026

Performance Criteria	Comment
<p><b>P1</b> The site must provide sufficient area for management of on-site waste water, having regard to:</p> <ul style="list-style-type: none"> <li>(a) the topography of the site;</li> <li>(b) the capacity of the site to absorb wastewater;</li> <li>(c) the size and shape of the site;</li> <li>(d) the existing buildings and any constraints imposed by existing development;</li> <li>(e) the area of the site to be covered by the proposed development;</li> <li>(f) the provision for landscaping, vehicle parking, driveways and private open space;</li> <li>(g) any adverse impacts on the quality of ground, surface and coastal waters;</li> <li>(h) any adverse environmental impact on surrounding properties and the locality; and</li> <li>(i) any written advice from a suitably qualified person (onsite waste water management) about the adequacy of the on-site waste water management system.</li> </ul>	Consistent

Acceptable Solutions	Comment
<p><b>A2</b> An outbuilding, driveway or parking area or addition or alteration to a building must not encroach onto an existing land application area.</p>	Consistent

Performance Criteria	Comment
<p><b>P2</b> An outbuilding, driveway or parking area or addition or alteration to a building must demonstrate that there is sufficient suitable area of land available for a new on- site waste water management system.</p>	Consistent

Design provisions have been made to address site constraints and manage risk including the use of secondary treatment and subsurface application. Providing the site is sufficiently drained and foundation depths are below the depth of the wastewater area, there should be no detrimental impact from onsite wastewater on footings. It is therefore concluded that there is a low and acceptable risk of environmental impact and impact on human health from wastewater management on the site for the current proposal.



**Sorell Council**

Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham

Plans Reference: P1

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The following setback distances are consistent with the Building Act 2016:

Upslope or level buildings:	3m
Downslope buildings:	3.25m
Upslope or level boundaries:	1.5m
Downslope boundaries:	6.5m
Downslope surface water:	100m

with Building Act 2016 Guidelines for On-site Wastewater Management Systems is outlined in the attached table.

During construction GES will need to be notified of any variation to the soil conditions or wastewater loading as outlined in this report.

## **Construction Notes & Recommendations**

The site has been classified as **Class M**.

It is recommended that all footing loads are transferred to bedrock (either directly or via piers/piles).

All earthworks on site must comply with AS3798:2007, and I further recommend that consideration be given to drainage and sediment control on site during and after construction. Care should also be taken to ensure there is adequate drainage in the construction area to avoid the potential for weak bearing and foundation settlement associated with excessive soil moisture.

During construction GES will need to be notified of any variation to the soil conditions or wastewater loading as outlined in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD

*Director*

	<b>Sorell Council</b>
Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham	
Plans Reference: P1	
Date Received: 27/04/2026	

**GES Pty Ltd**

**Land suitability and system sizing for on-site wastewater management**  
Trench 3.0 (Australian Institute of Environmental Health)

**Assessment Report**  
**Site assessment for wastewater system**

Assessment for	SJM Property Developments	Assess. Date	7-Apr-26
		Ref. No.	
Assessed site(s)	8A Wards Avenue, Lewisham	Site(s) inspected	9-Sep-25
Local authority	Sorell	Assessed by	John Paul Cumming

This report summarises wastewater volumes, climatic inputs for the site, soil characteristics and system sizing and design issues. Site Capability and Environmental sensitivity issues are reported separately, where 'Alert' columns flag factors with high (A) or very high (AA) limitations which probably require special consideration for system design(s). Blank spaces on this page indicate data have not been entered into TRENCH.

**Wastewater Characteristics**

Wastewater volume (L/day) used for this assessment = 600 (using the 'No. of bedrooms in a dwelling' method)  
 Septic tank wastewater volume (L/day) = 200  
 Sullage volume (L/day) = 400  
 Total nitrogen (kg/year) generated by wastewater = 3.2  
 Total phosphorus (kg/year) generated by wastewater = 1.5

**Climatic assumptions for site**

(Evapotranspiration calculated using the crop factor method)

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Mean rainfall (mm)	41	36	36	47	44	48	48	47	49	55	47	49
Adopted rainfall (R, mm)	41	36	36	47	44	48	48	47	49	55	47	49
Retained rain (Rr, mm)	34	31	31	40	37	41	41	40	42	47	40	42
Max. daily temp. (deg. C)												
Evapotrans (ET, mm)	130	110	91	63	42	29	32	42	63	84	105	126
Evapotr. less rain (mm)	<b>96</b>	<b>79</b>	<b>60</b>	<b>23</b>	<b>5</b>	<b>-11</b>	<b>-9</b>	<b>2</b>	<b>21</b>	<b>37</b>	<b>65</b>	<b>84</b>
Annual evapotranspiration less retained rain (mm) =												452

**Soil characteristics**

Texture = Light Clay Category = 5 Thick. (m) = 0.7  
 Adopted permeability (m/day) = 0.12 Adopted LTAR (L/sq m/day) = 4 Min depth (m) to water = 3

**Proposed disposal and treatment methods**

Proportion of wastewater to be retained on site: All wastewater will be disposed of on the site  
 The preferred method of on-site primary treatment: In a package treatment plant  
 The preferred method of on-site secondary treatment: In-ground  
 The preferred type of in-ground secondary treatment: None  
 The preferred type of above-ground secondary treatment: None  
 Site modifications or specific designs: Not needed

**Suggested dimensions for on-site secondary treatment system**

Total length (m) = 17  
 Width (m) = 10  
 Depth (m) = 0.2  
 Total disposal area (sq m) required = 170  
 comprising a Primary Area (sq m) of: 172  
 and a Secondary (backup) Area (sq m) of:

Sufficient area is available on site

**Comments**

The calculated DIR for the Category 4 soil present is 3.5mm/day using an AWTS with a required subsurface irrigation area of 172sq m for a three bedroom house on tank water. Therefore the system will have the capacity to cope with predicted climatic and loading events.

**Sorell Council**  
 Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham  
 Plans Reference: P1  
 Date Received: 27/04/2026

**GES Pty Ltd**

**Land suitability and system sizing for on-site wastewater management**  
Trench 3.0 (Australian Institute of Environmental Health)

**Site Capability Report**  
**Site assessment for wastewater system**

Assessment for	SJM Property Developments	Assess. Date	7-Apr-26
		Ref. No.	
Assessed site(s)	8A Wards Avenue, Lewisham	Site(s) inspected	9-Sep-25
Local authority	Sorell	Assessed by	John Paul Cumming

This report summarises data relating to the physical capability of the assessed site(s) to accept wastewater. Environmental sensitivity and system design issues are reported separately. The 'Alert' column flags factors with high (A) or very high (AA) site limitations which probably require special consideration in site acceptability or for system design(s). Blank spaces indicate data have not been entered into TRENCH.

Alert	Factor	Units	Value	Confid level	Limitation		Remarks
					Trench	Amended	
	Expected design area	sq m	800	V. high	Moderate		
	Density of disposal systems	/sq km	20	High	Moderate		
	Slope angle	degrees	5	V. high	Low		
	Slope form	Convex spreading		V. high	Very low		
	Surface drainage	Imperfect		High	Moderate		
	Flood potential	Site floods <1:100 yrs		High	Very low		
	Heavy rain events	Rare		High	Low		
	Aspect (Southern hemi.)	Faces E or W		V. high	Moderate		
	Frequency of strong winds	Common		High	Low		
	Wastewater volume	L/day	600	High	Moderate		
	SAR of septic tank effluent		1.7	Mod.	Low		
	SAR of sullage		2.1	Mod.	Moderate		
	Soil thickness	m	0.7	V. high	Low		
AA	Depth to bedrock	m	0.7	High	Very high		
	Surface rock outcrop	%	0	High	Very low		
	Cobbles in soil	%	0	High	Very low		
	Soil pH		7.0	High	Very low		
	Soil bulk density	gm/cub. cm	1.5	High	Low		
	Soil dispersion	Emerson No.	7	V. high	Very low		
	Adopted permeability	m/day	0.12	High	Very low		
	Long Term Accept. Rate	L/day/sq m	4	High	High	Moderate	Other factors lessen impact

Comments

This site has the capability to accept secondary treated wastewater.



**Sorell Council**

Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham

Plans Reference: P1

Date Received: 27/04/2026

**GES Pty Ltd**

**Land suitability and system sizing for on-site wastewater management**  
Trench 3.0 (Australian Institute of Environmental Health)

**Environmental Sensitivity Report**  
**Site assessment for wastewater system**

Assessment for	SJM Property Developments	Assess. Date	7-Apr-26
Assessed site(s)	8A Wards Avenue, Lewisham	Ref. No.	
Local authority	Sorell	Site(s) inspected	9-Sep-25
		Assessed by	John Paul Cumming

This report summarises data relating to the environmental sensitivity of the assessed site(s) in relation to applied wastewater. Physical capability and system design issues are reported separately. The 'Alert' column flags factors with high (A) or very high (AA) limitations which probably require special consideration in site acceptability or for system design(s). Blank spaces indicate data have not been entered into TRENCH.

Alert	Factor	Units	Value	Confid level	Limitation		Remarks
					Trench	Amended	
A	Cation exchange capacity	mmol/100g	50	High	High		
A	Phos. adsorp. capacity	kg/cub m	0.4	Mod.	High		
	Annual rainfall excess	mm	-452	High	Very low		
	Min. depth to water table	m	3	High	Very low		
	Annual nutrient load	kg	4.7	High	Very low		
	G'water environ. value	Agric non-sensit		High	Low		
	Min. separation dist. required	m	3	High	Very low		
	Risk to adjacent bores	Very low		High	Very low		
	Surf. water env. value	Agric non-sensit		High	Low		
	Dist. to nearest surface water	m	200	High	Moderate		
A	Dist. to nearest other feature	m	15	V. high	High		
	Risk of slope instability	Very low		High	Very low		
	Distance to landslip	m	250	Mod.	Very low		

**Comments**

There is low risk of environmental harm associated with onsite wastewater disposal at this site.

**Sorell Council**

Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham

Plans Reference: P1

Date Received: 27/04/2026

Demonstration of wastewater system consistency with the *Building Act 2016 Guidelines for On-site Wastewater*

Acceptable Solutions	Performance Criteria	Compliance
<p>A1</p> <p>Horizontal separation distance from a building to a land application area must comply with one of the following:</p> <ul style="list-style-type: none"> <li>a) be no less than 6m; or</li> <li>b) be no less than: <ul style="list-style-type: none"> <li>(i) 3m from an upslope building or level building;</li> <li>(ii) If primary treated effluent to be no less than 4m plus 1m for every degree of average gradient from a downslope building;</li> <li>(iii) If secondary treated effluent and subsurface application, no less than 2m plus 0.25m for every degree of average gradient from a downslope building.</li> </ul> </li> </ul>	<p>P1</p> <ul style="list-style-type: none"> <li>a) The land application area is located so that <ul style="list-style-type: none"> <li>(i) the risk of wastewater reducing the bearing capacity of a building's foundations is acceptably low.; and</li> <li>(ii) is setback a sufficient distance from a downslope excavation around or under a building to prevent inadequately treated wastewater seeping out of that excavation</li> </ul> </li> </ul>	<p>Consistent with A1 (b) (i) Land application area will be located with a minimum separation distance of 3m from an upslope or level building.</p> <p>Consistent with A1 (b) (iii) Land application area will be located with a minimum separation distance of 3.25m from a downslope building.</p>
<p>A2</p> <p>Horizontal separation distance from downslope surface water to a land application area must comply with (a) or (b)</p> <ul style="list-style-type: none"> <li>(a) be no less than 100m; or</li> <li>(b) be no less than the following: <ul style="list-style-type: none"> <li>(i) if primary treated effluent 15m plus 7m for every degree of average gradient to downslope surface water; or</li> <li>(ii) if secondary treated effluent and subsurface application, 15m plus 2m for every degree of average gradient to down slope surface water.</li> </ul> </li> </ul>	<p>P2</p> <p>Horizontal separation distance from downslope surface water to a land application area must comply with all of the following:</p> <ul style="list-style-type: none"> <li>a) Setbacks must be consistent with AS/NZS 1547 Appendix R;</li> <li>b) A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is acceptable.</li> </ul>	<p>Consistent with A2 (b) (ii) Land application area will be located a minimum of 100m from downslope surface water</p>



**Sorell Council**

Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham

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<p>A3</p> <p>Horizontal separation distance from a property boundary to a land application area must comply with either of the following:</p> <p>(a) be no less than 40m from a property boundary; or</p> <p>(b) be no less than:</p> <p>(i) 1.5m from an upslope or level property boundary; and</p> <p>(ii) If primary treated effluent 2m for every degree of average gradient from a downslope property boundary; or</p> <p>(iii) If secondary treated effluent and subsurface application, 1.5m plus 1m for every degree of average gradient from a downslope property boundary.</p>	<p>P3</p> <p>Horizontal separation distance from a property boundary to a land application area must comply with all of the following:</p> <p>(a) Setback must be consistent with AS/NZS 1547 Appendix R; and</p> <p>(b) A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is acceptable.</p>	<p>Consistent with A3 (b) (i) Land application area will be located with a minimum separation distance of 1.5m from an upslope or level property boundary</p> <p>Consistent with A3 (b) (iii) Land application area will be located with a minimum separation distance of 6.5m from a downslope property boundary.</p>
<p>A4</p> <p>Horizontal separation distance from a downslope bore, well or similar water supply to a land application area must be no less than 50m and not be within the zone of influence of the bore whether up or down gradient.</p>	<p>P4</p> <p>Horizontal separation distance from a downslope bore, well or similar water supply to a land application area must comply with all of the following:</p> <p>(a) Setback must be consistent with AS/NZS 1547 Appendix R; and</p> <p>(b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 demonstrates that the risk is acceptable</p>	<p>Consistent with A4 No bore or well identified within 50m</p>




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<p>A5</p> <p>Vertical separation distance between groundwater and a land application area must be no less than:</p> <p>(a) 1.5m if primary treated effluent; or</p> <p>(b) 0.6m if secondary treated effluent</p>	<p>P5</p> <p>Vertical separation distance between groundwater and a land application area must comply with the following:</p> <p>(a) Setback must be consistent with AS/NZS 1547 Appendix R; and</p> <p>(b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 that demonstrates that the risk is acceptable</p>	<p>Consistent with A5 (b)</p> <p>No groundwater encountered</p>
<p>A6</p> <p>Vertical separation distance between a limiting layer and a land application area must be no less than:</p> <p>(a) 1.5m if primary treated effluent; or</p> <p>(b) 0.5m if secondary treated effluent</p>	<p>P6</p> <p>Vertical setback must be consistent with AS/NZS1547 Appendix R.</p>	<p>Consistent with A5 (b)</p>
<p>A7</p> <p>nil</p>	<p>P7</p> <p>A wastewater treatment unit must be located a sufficient distance from buildings or neighbouring properties so that emissions (odour, noise or aerosols) from the unit do not create an environmental nuisance to the residents of those properties</p>	<p>Consistent</p> <div data-bbox="1574 1078 2089 1310" style="border: 2px solid red; padding: 5px; margin-top: 20px;">  <p><b>Sorell Council</b></p> <p>Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham</p> <p>Plans Reference: P1</p> <p>Date Received: 27/04/2026</p> </div>

## AS1547:2012 – Loading Certificate – AWTS Design

This loading certificate sets out the design criteria and the limitations associated with use of the system.

**Site Address:** 8A Wards Avenue, Lewisham

**System Capacity:** 5 persons @ 120L/person/day

### Summary of Design Criteria

**DIR:** 3.5mm/day.

**Irrigaion area:** 172m<sup>2</sup>

**Reserve area location /use:** Not assigned. Irrigation lines and topsoil will need to be replaced within a 48 hour period

**Water saving features fitted:** Standard fixtures

**Allowable variation from design flows:** 1 event @ 200% daily loading per quarter

**Typical loading change consequences:** Expected to be minimal due to use of AWTS and large land area

**Overloading consequences:** Continued overloading may cause hydraulic failure of the irrigation area and require upgrading/extension of the area. Risk considered acceptable due to monitoring through quarterly maintenance reports.

**Underloading consequences:** Lower than expected flows will have minimal consequences on system operation unless the house has long periods of non occupation. Under such circumstances additional maintenance of the system may be required. Long term under loading of the system may also result in vegetation die off in the irrigation area and additional watering may be required. Risk considered acceptable due to monitoring through quarterly maintenance reports.

**Lack of maintenance / monitoring consequences:** Issues of underloading/overloading and condition of the irrigation area require monitoring and maintenance, if not completed system failure may result in unacceptable health and environmental risks. Monitoring and regulation by the permit authority required to ensure compliance.

**Other considerations:** Owners/occupiers must be made aware of the operational requirements and limitations of the system by the installer/maintenance contractor.



**Sorell Council**

Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham

Plans Reference: P1

Date Received: 27/04/2026

# CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94  
Section 106  
Section 129  
Section 155

Form **35**

To:  Owner name  
 Address  
  Suburb/postcode

## Designer details:

Name:  Category:   
 Business name:  Phone No:   
 Business address:   
  Fax No:   
 Licence No:  Email address:

## Details of the proposed work:

**Owner/Applicant**  Designer's project reference No.   
**Address:**  Lot No:   
   
**Type of work:** Building work  Plumbing work  (X all applicable)

**Description of work:**  
 (new building / alteration / addition / repair / removal / re-erection water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

## Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
	<input type="checkbox"/> Building design	Architect or Building Designer
	<input type="checkbox"/> Structural design	Engineer or Civil Designer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input checked="" type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input type="checkbox"/> Electrical design	Building Services Designer
	<input type="checkbox"/> Mechanical design	Building Service Designer
	<input type="checkbox"/> Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	

Deemed-to-Satisfy:  Performance Solution:  (X the appropriate box)


**Other details:**

## Design documents provided:

The following documents are provided with this Certificate –  
 Document description:

 **Sorell Council**  
 Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham  
 Plans Reference: P1  
 Date Received: 27/04/2026

Drawing numbers:	Prepared by: Geo-Environmental Solutions	Date: Apr-26
Schedules:	Prepared by:	Date:
Specifications:	Prepared by: Geo-Environmental Solutions	Date: Apr-26
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by: Geo-Environmental Solutions	Date: Apr-26

<b>Standards, codes or guidelines relied on in design process:</b>	
AS1547:2012 On-site domestic wastewater management.	
AS3500 (Parts 0-5)-2013 Plumbing and drainage set.	
 <b>Sorell Council</b> Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham Plans Reference: P1 Date Received: 27/04/2026	

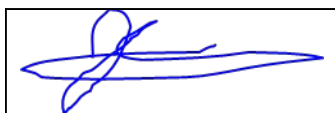
<b>Any other relevant documentation:</b>	
Onsite Wastewater Assessment - 8A Wards Avenue Lewisham - Apr-26	
Onsite Wastewater Assessment - 8A Wards Avenue Lewisham - Apr-26	

<b>Attribution as designer:</b>	
---------------------------------	--

I John-Paul Cumming, am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	John-Paul Cumming		07/04/2026
Licence No:	CC774A		

**Assessment of Certifiable Works: (TasWater)**

**Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.**  
**If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.**  
**TasWater must then be contacted to determine if the proposed works are Certifiable Works.**

**I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:**

- The works will not increase the demand for water supplied by TasWater
- The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater’s sewerage infrastructure
- The works will not require a new connection, or a modification to an existing connection, to be made to TasWater’s infrastructure
- The works will not damage or interfere with TasWater’s works
- The works will not adversely affect TasWater’s operations
- The work are not within 2m of TasWater’s infrastructure and are outside any TasWater easement
- I have checked the LISTMap to confirm the location of TasWater infrastructure
- If the property is connected to TasWater’s water system, a water meter is in place, or has been applied for to TasWater.

**Certification:**

I ..... John-Paul Cumming..... being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: [www.taswater.com.au](http://www.taswater.com.au)

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	John-Paul Cumming		07/04/2026



 **Sorell Council**  
 Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham  
 Plans Reference: P1  
 Date Received: 27/04/2026

# CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To:  Owner /Agent  
 Address  
  Suburb/postcode

## Qualified person details:

Qualified person:   
Address:     
Licence No:  Email address:   
Phone No:   
Fax No:

Qualifications and Insurance details:  (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise:  (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

## Details of work:

Address:    Lot No:   
Certificate of title No:   
The assessable item related to this certificate:  (description of the assessable item being certified)  
Assessable item includes –  
- a material;  
- a design  
- a form of construction  
- a document  
- testing of a component, building system or plumbing system  
- an inspection, or assessment, performed

## Certificate details:

Certificate type:  (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work   
or

a building, temporary structure or plumbing installation:



**Sorell Council**

Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham

Plans Reference: P1

Date Received: 27/04/2026

In issuing this certificate the following matters are relevant –

Documents:	The attached soil report for the address detailed above in 'details of work'
Relevant calculations:	Reference the above report.
References:	AS2870:2011 residential slabs and footings AS1726:2017 Geotechnical site investigations CSIRO Building technology file – 18.

*Substance of Certificate: (what it is that is being certified)*

Site Classification consistent with AS2870-2011.

*Scope and/or Limitations*

The classification applies to the site as inspected and does not account for future alteration to foundation conditions as a result of earth works, drainage condition changes or variations in site maintenance.

**I, John-Paul Cumming certify the matters described in this certificate.**

Qualified person:

*Signed:*

*Certificate No:*

*Date:*

J12724

07/04/2026



A handwritten signature in black ink, appearing to read 'John Paul Cumming', written over a light grey background.

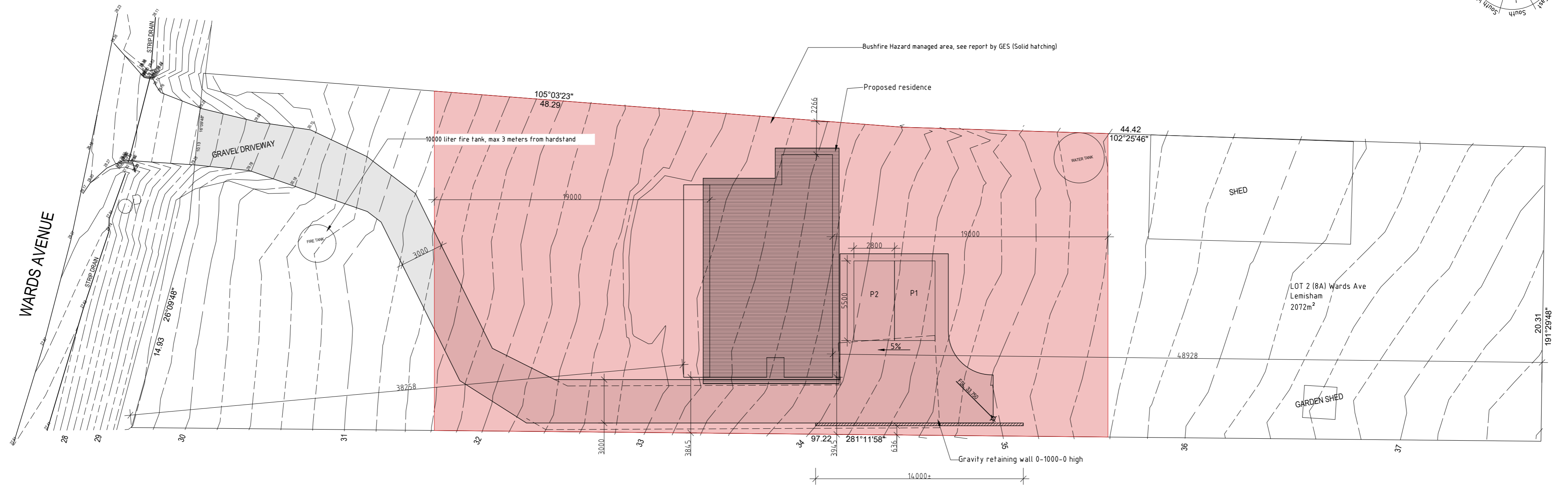
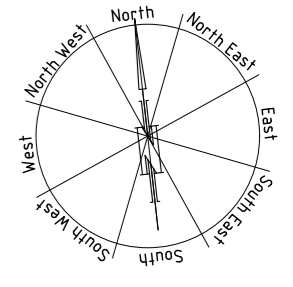


**Sorell Council**

Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham

Plans Reference: P1

Date Received: 27/04/2026

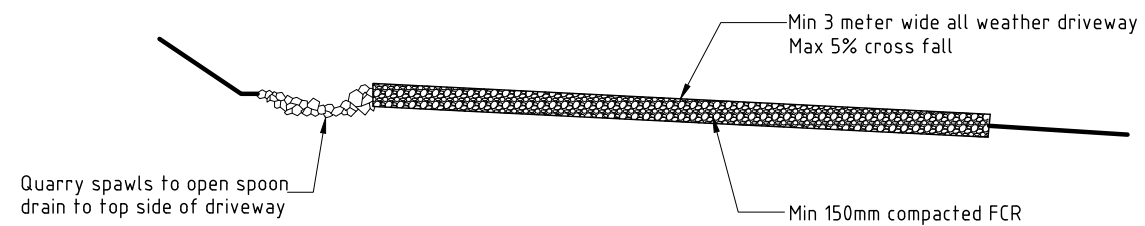


**PLANNING SCHEME OVERLAYS:**  
 Low Density Residential  
 Southern Beaches On-site Waste Water and Stormwater Management Specific Area Plan  
 Dispersive Soils Specific Area Plan  
 Bushfire-prone areas:  
 BAL 12.5 See report  
 by GES PTY LTD  
 Airport obstacle limitation area

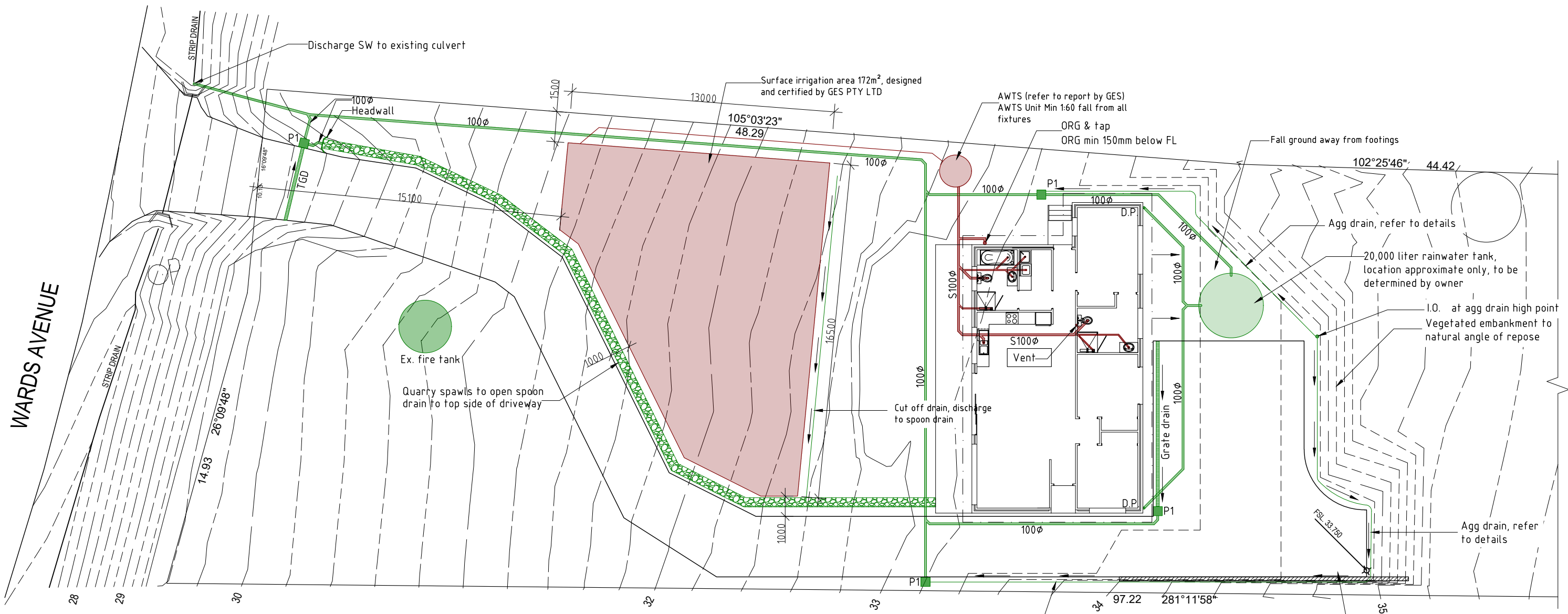
Low risk dispersive soil. refer to report by GES  
 Site coverage: Total roofed area: 223.16m<sup>2</sup>  
 223.16m<sup>2</sup>/2072m<sup>2</sup>=10.77%

**Sorell Council**  
 Development Application:5.2026.138.1 -  
 Response to Request For Information - 8a  
 Wards Avenue, Lewisham - P3.pdf  
 Plan Reference:P3  
 Date received:5/06/2026

PROPOSED RESIDENCE FOR SJM PROPERTY DEVELOPMENTS PTY LTD AT 8A WARDS AVENUE LEWISHAM 7175	SITE PLAN		DATE 04/06/2026	DRAWN BY G.Tilley email: gtilley7@bigpond.com phone ph 0400 671 982
	SCALE 1:200 0 2000 4000	AMENDED 26/05/2026	DRAWING NO. 01 OF 19	Certified G. Tilley Accreditation No.CC6204 copyright 2026 2426



DRIVEWAY CROSS SECTION (TYPICAL)  
Scale 1:50



The proposed site cut/fill and driveway areas must be managed by:

- Applying a geo-fabric, jute mesh or similar material to the exposed batters of any cutting on site and revegetating the slope
- Applying a surface layer of at least 50mm of suitable crushed rock/gravel to the driveway surface (and any proposed house pad), with adequate compaction to ensure a relatively impervious surface to maintain site surface stability
- Vegetation on any fill batters must be established and maintained, if any bare area of soil on the batter develops then it must be top-dressed with suitable topsoil and additional vegetation planted

TGD Trafficable grate drain  
I.O. Inspection opening  
P1 450x450 Trafficable pit.  
Each grate pit to be fitted with water quality improvement device. Designed & installed in accordance with manufacturers instructions

Plumber to confirm the location of existing on-site services prior to commencement of any excavations

Agg drains to be installed prior to slab/footings preparation. Evidence of the agg drainage installation to be supplied to the Engineer.

S100φ 100uPVC sewerage 1.67% min. fall  
100φ 100uPVC stormwater 1:100 min. fall  
100x100 cast in kerb to downslope of driveway perimeter I.O. at each intersection & bend

**Sorell Council**  
Development Application: 5.2026.138.1 - Response to Request For Information - 8a Wards Avenue, Lewisham - P3.pdf  
Plan Reference: P3  
Date received: 5/06/2026

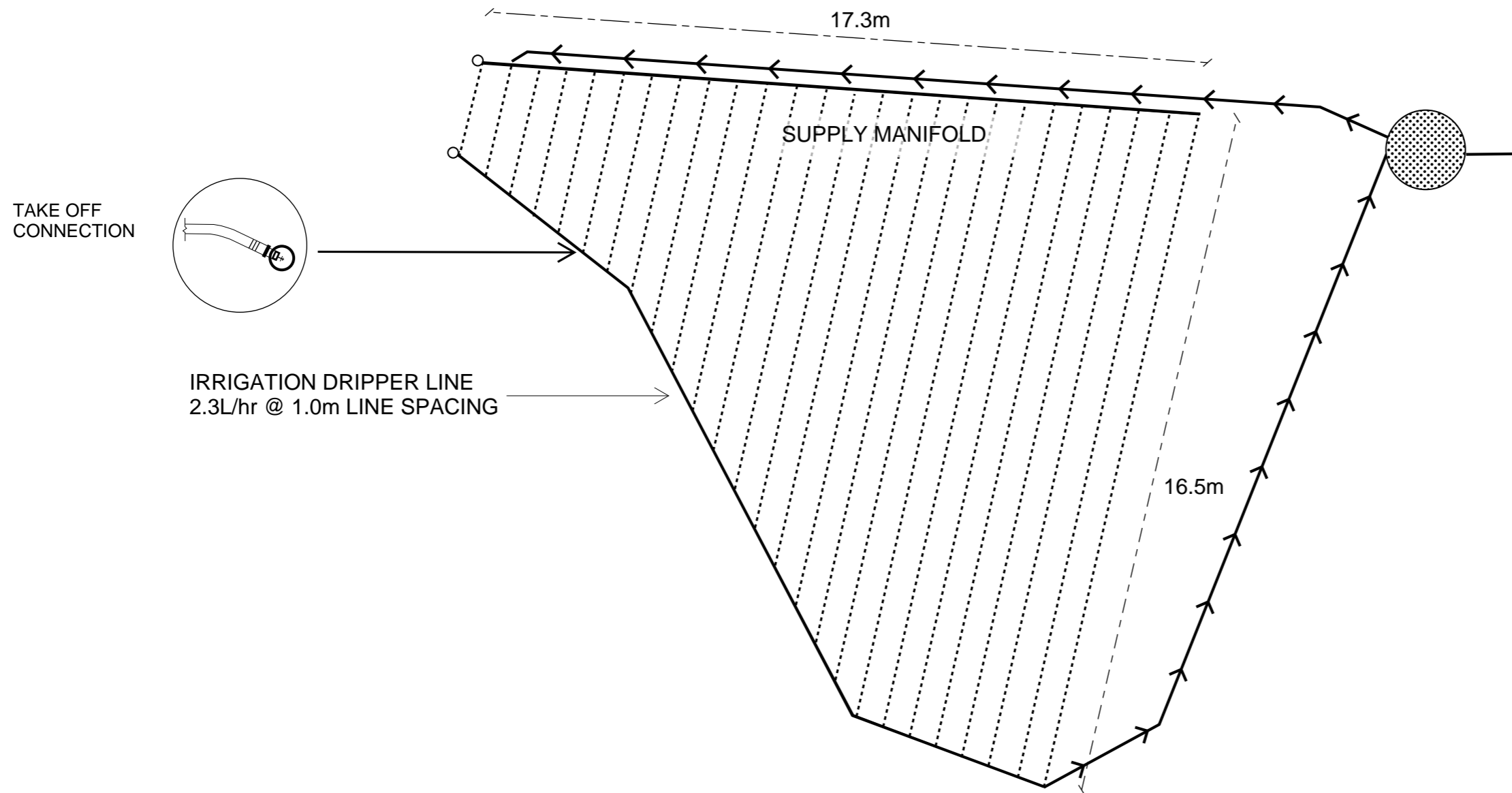
PROPOSED RESIDENCE FOR SJM PROPERTY DEVELOPMENTS PTY LTD AT 8A WARDS AVENUE LEWISHAM 7173	PLUMBING PLAN		DATE 04/06/2026	DRAWN BY G. Tilley email: gtilley7@biopond.com phone ph 0400 671 582
	SCALE 1:200 0 2000 4000	AMENDED 04/06/2026	DRAWING NO. 13 OF 19	Certified: G. Tilley Accreditation No. CC620H © copyright 2026 2426



GEO-ENVIRONMENTAL

SOLUTIONS

29 Kirksway Place, Battery Point  
T| 62231839 E| office@geosolutions.net.au



**Irrigation area design:**

- vacuum breaker
- 2 inch 130 micron Azud disc filter
- irrigation dripper line (2.3L/hr) laid subsurface at 1m spacing. Approx 300m required
- 32mm supply/return manifold

Recommended minimum pump capacity  
40L/m @ 20m head

AWTS  
MIN 40L/min @ 20m HEAD  
(e.g. ORANGE SP334)

● ← SEWER LINE FROM DWELLING

**Sorell Council**  
 Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham  
 Plans Reference: P1  
 Date Received: 27/04/2026

Do not scale from these drawings.  
Dimensions to take precedence over scale.

8a Wards Avenue  
Lewisham 7173

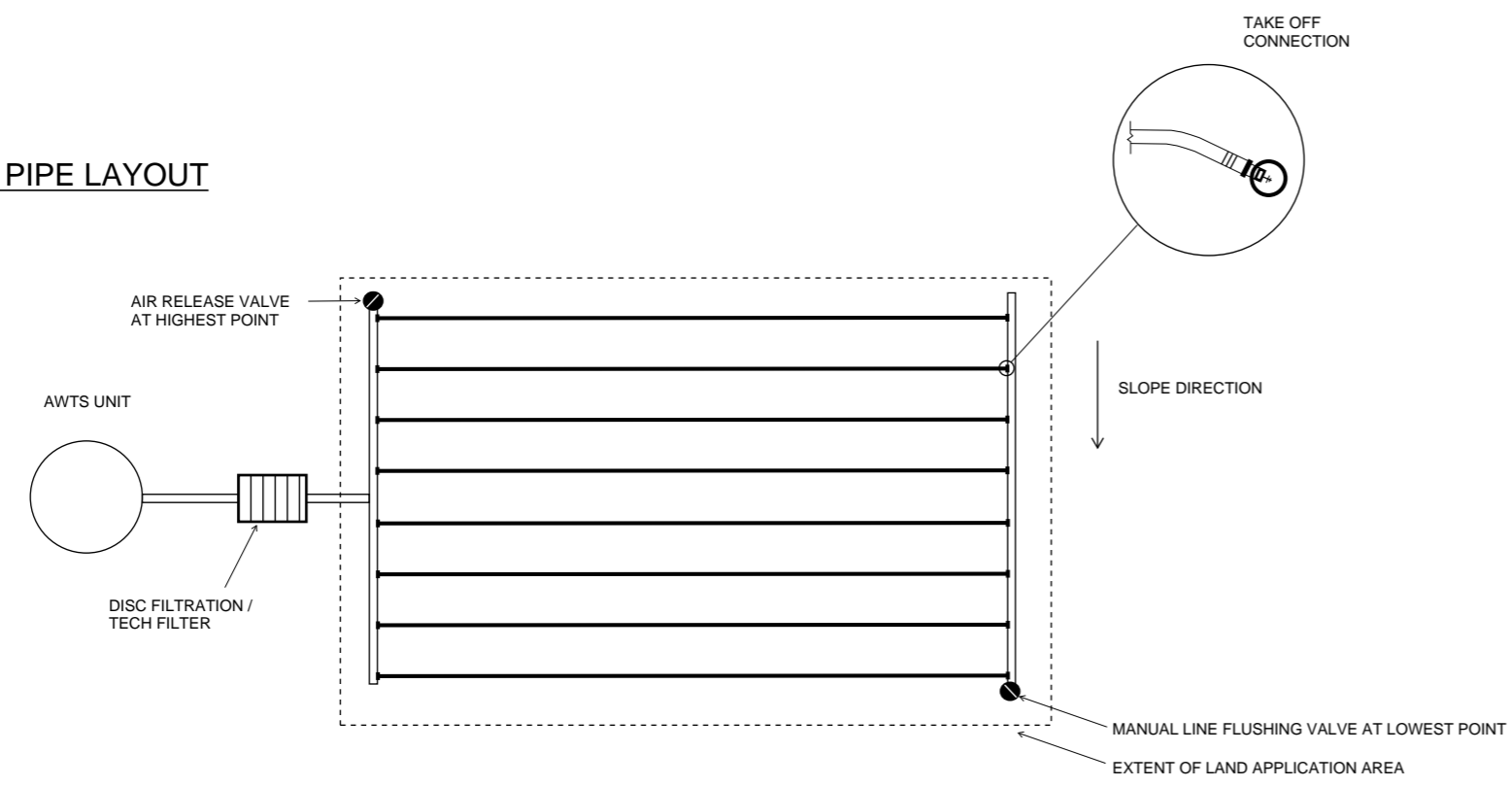
C.T.: 189375/2

Date: 2/4/2026

On-Site Wastewater Cross-section

Sheet 1 of 1  
Drawn by: LR

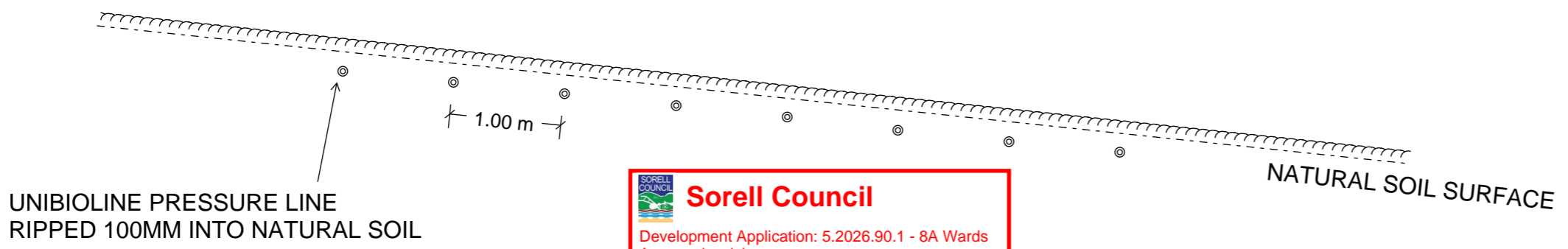
**BED PLAN PIPE LAYOUT**



**APPLICATION AREA NOTES**

1. APPLICABLE FOR SLOPE ANGLES 10-20%
2. BASE OF APPLICATION AREA TO BE SCARIFIED TO BREAK SURFACE LAYER. ALTERNATIVELY LINES CAN BE RIPPED INTO TOPSOIL WITH SUITABLE TRACTOR AND PIPE LAYER. SMEARING AND COMPACTION TO BE AVOIDED
3. IRRIGATION LINES TO BE INSTALLED INTO NATURAL SANDY TOPSOIL MIN 100mm DEPTH
4. DEPENDANT ON TREATMENT SYSTEM A 200µm FILTER MAY BE INSTALLED AT THE PUMPING CHAMBER OUTLET, BUT A 100-120µm INLINE DISC FILTER SHOULD BE INSTALLED PRIOR TO DISCHARGE INTO THE IRRIGATION AREA.
5. A VACUUM BREAKER VALVE MUST BE INSTALLED AT THE HIGHEST POINT OF THE IRRIGATION AREA IN A MARKED AND PROTECTED VALVE CONTROL BOX.
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8. CUT-OFF DIVERSION DRAIN UPSLOPE AS REQUIRED
9. ALL WORKS TO COMPLY WITH AS3500 AND TASMANIAN PLUMBING CODE

**APPLICATION AREA CROSS-SECTION**



**Sorell Council**  
Development Application: 5.2026.90.1 - 8A Wards  
Avenue, Lewisham  
Plans Reference: P1  
Date Received: 27/04/2026

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Dimensions to take precedence  
over scale.

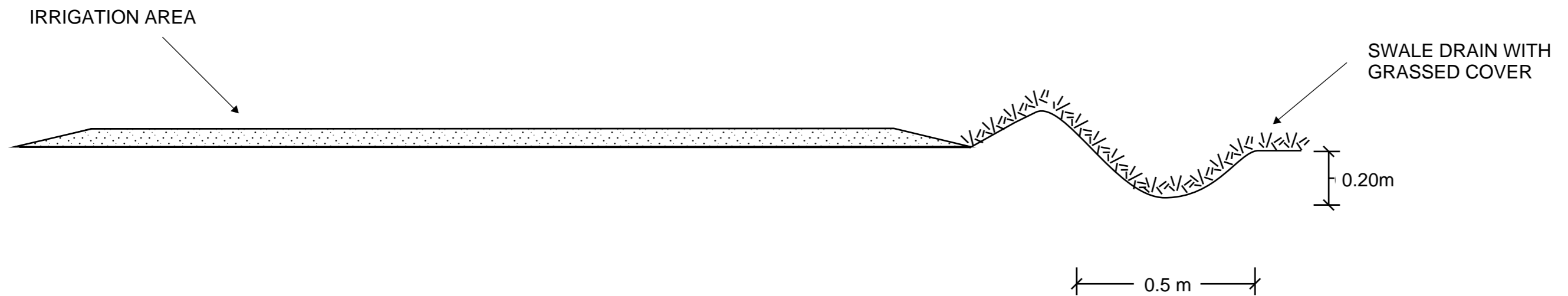
CROSS-SECTION  
SUBSURFACE APPLICATION SLOPES 10-20%

Sheet 1 of 1  
Drawn by: SR

**TYPICAL GRASSED SWALE DRAIN CROSS-SECTION**

SWALE DRAIN TO BE MIN 0.5M WIDE BY MIN 0.20M DEEP

GRASS COVER TO BE MAINTAINED TO SLOW WATER FLOW AND MINIMISE EROSION



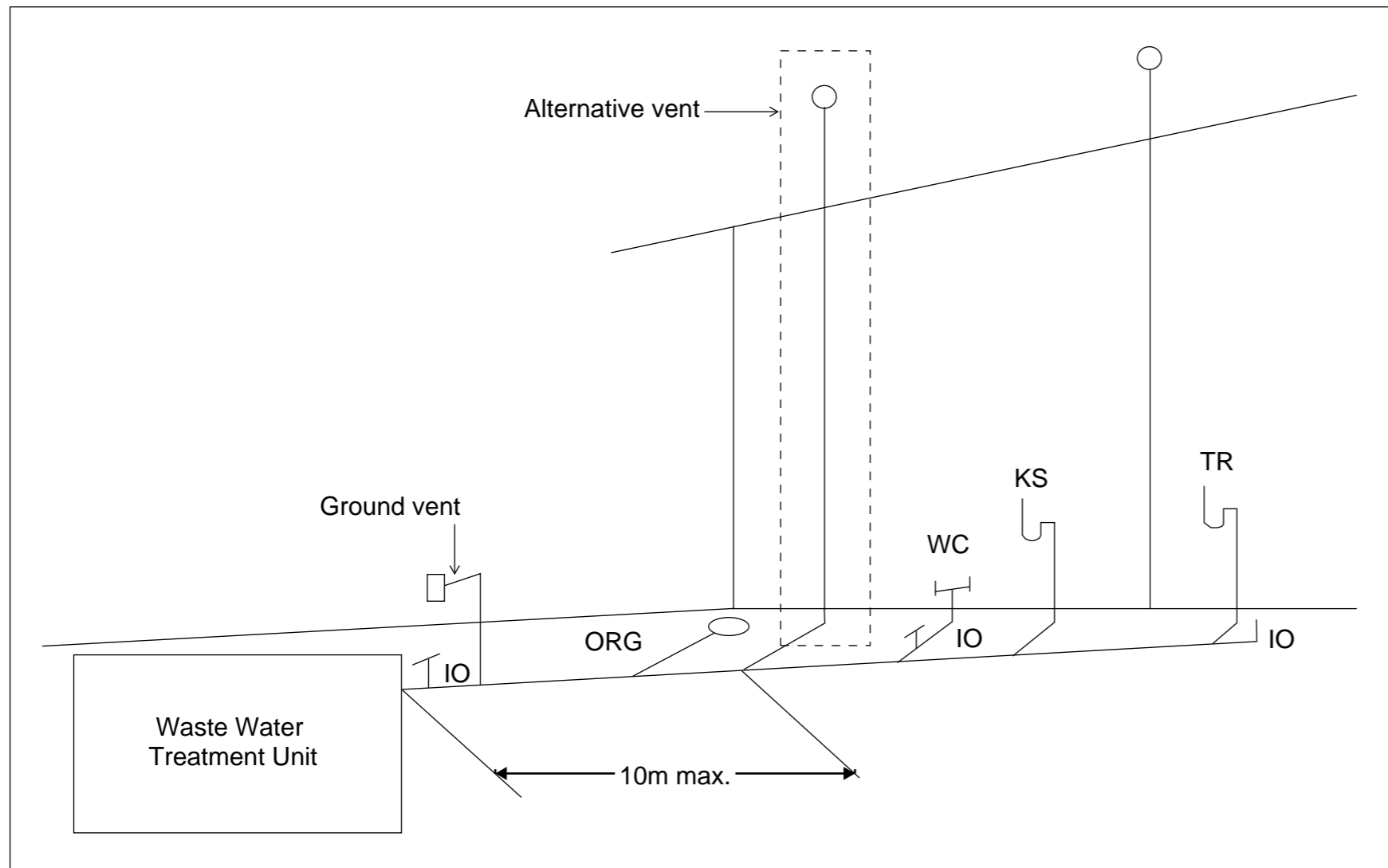
**Sorell Council**  
 Development Application: 5.2026.90.1 - 8A Wards  
 Avenue, Lewisham  
 Plans Reference: P1  
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Do not scale from these drawings.  
 Dimensions to take precedence  
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Geo-Environmental Solutions

Grassed swale drain  
 typical cross-section

Sheet 1 of 1  
 Drawn by SR



**Tas Figure C2D6 Alternative Venting Arrangements**

Vents must terminate in accordance with AS/NZS 3500.2

Alternative venting to be used by extending a vent to terminate as if an upstream vent, with the vent connection between the last sanitary fixture or sanitary appliance and the on-site wastewater management system. Use of a ground vent in not recommended

Inspection openings must be located at the inlet to an on-site wastewater management system treatment unit and the point of connection to the land application system and must terminate as close as practicable to the underside of an approved inspection opening cover installed at the finished surface level

Access openings providing access for desludging or maintenance of on-site wastewater management system treatment unites must terminate at or above finished surface level

**Sorell Council**  
 Development Application: 5.2026.90.1 - 8A Wards  
 Avenue, Lewisham  
 Plans Reference: P1  
 Date Received: 27/04/2026

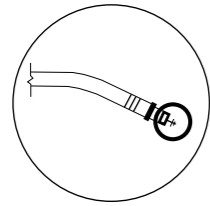


GEO-ENVIRONMENTAL

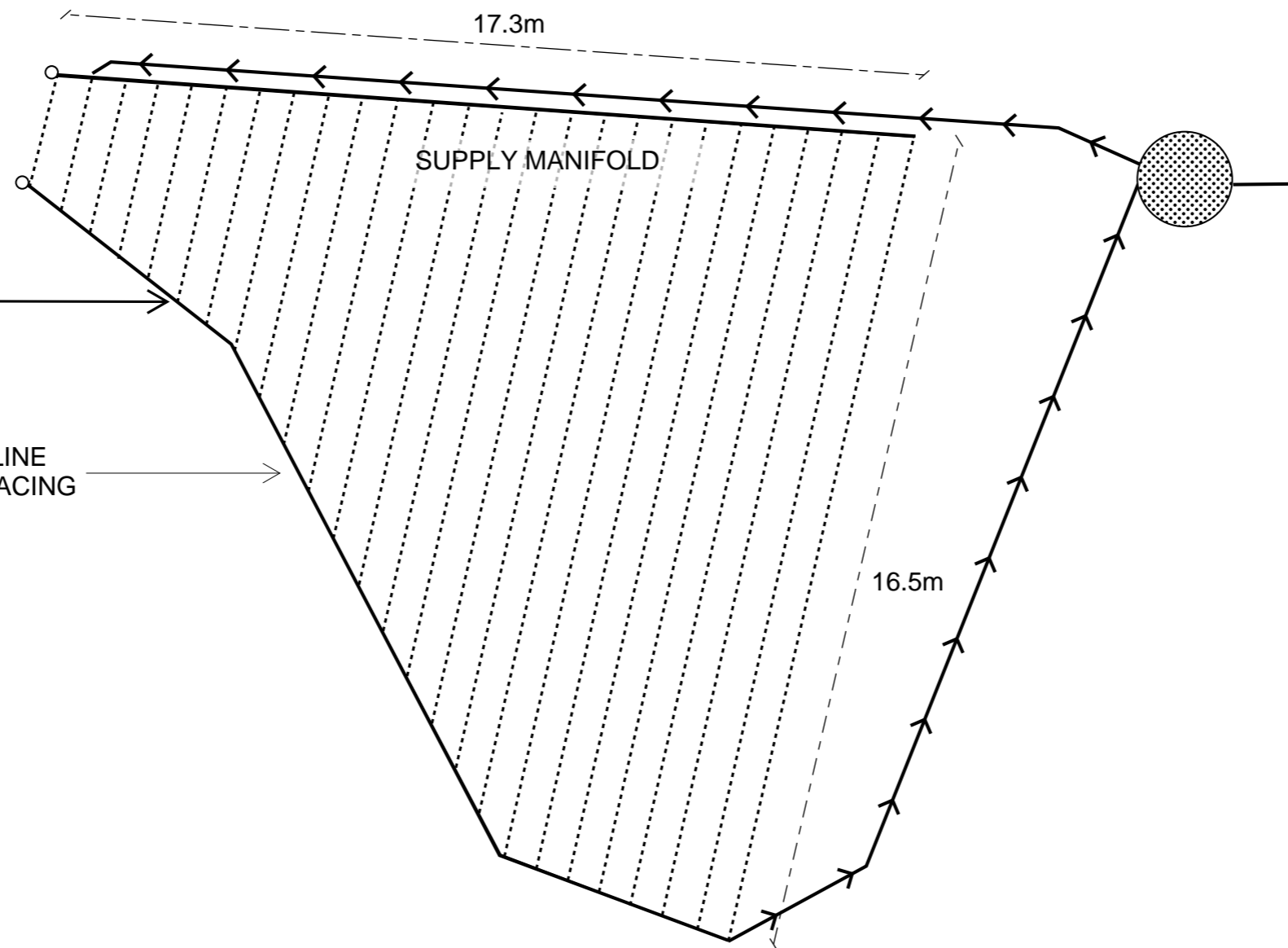
SOLUTIONS

29 Kirksway Place, Battery Point  
T| 62231839 E| office@geosolutions.net.au

TAKE OFF CONNECTION



IRRIGATION DRIPPER LINE  
2.3L/hr @ 1.0m LINE SPACING



**Irrigation area design:**

- vacuum breaker
- 2 inch 130 micron Azud disc filter
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40L/m @ 20m head

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(e.g. ORANGE SP334)

SEWER LINE FROM DWELLING

**Sorell Council**  
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 Plans Reference: P1  
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Do not scale from these drawings.  
Dimensions to take precedence over scale.

8a Wards Avenue  
Lewisham 7173

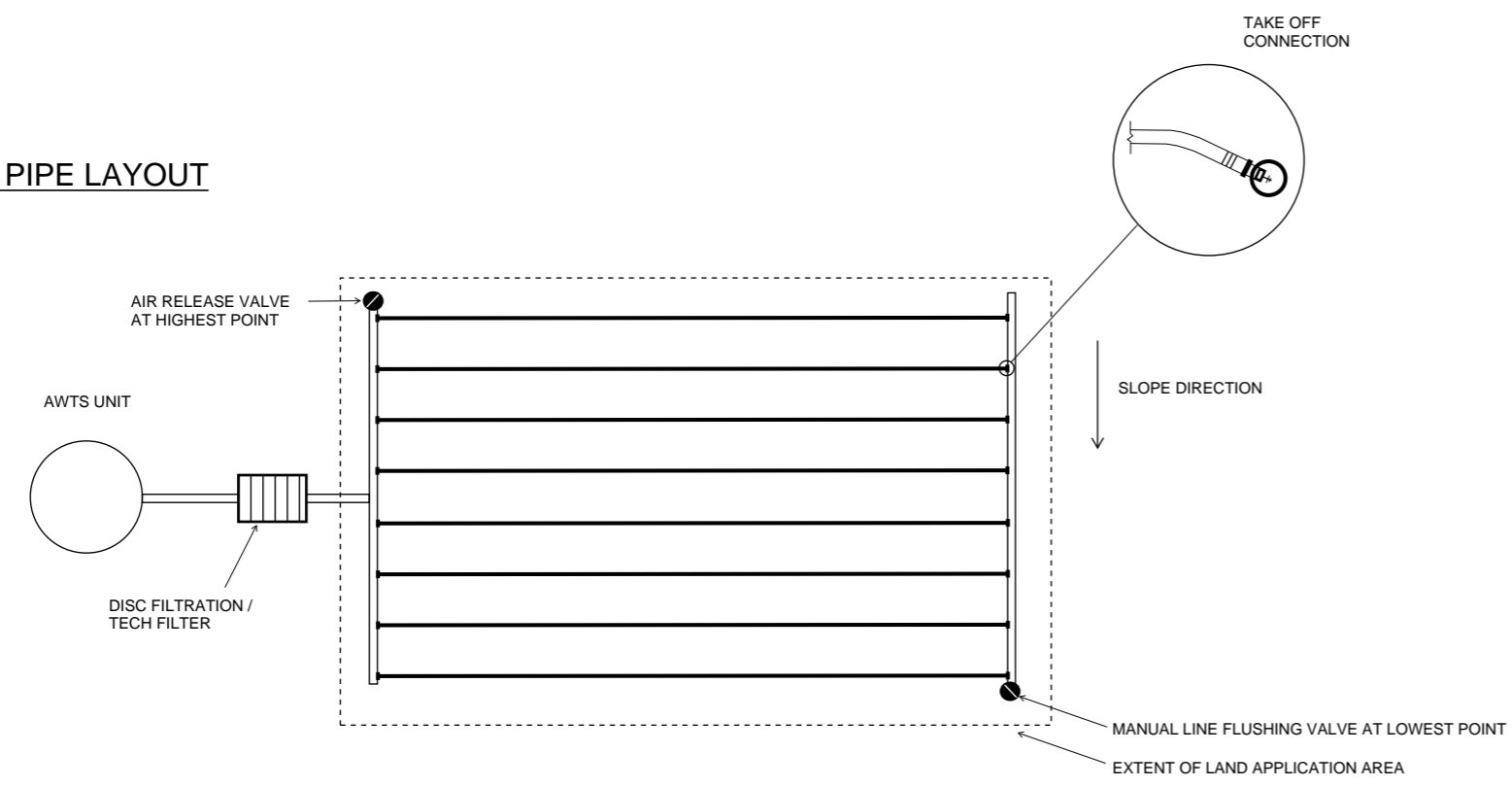
C.T.: 189375/2

Date: 2/4/2026

On-Site Wastewater Cross-section

Sheet 1 of 1  
Drawn by: LR

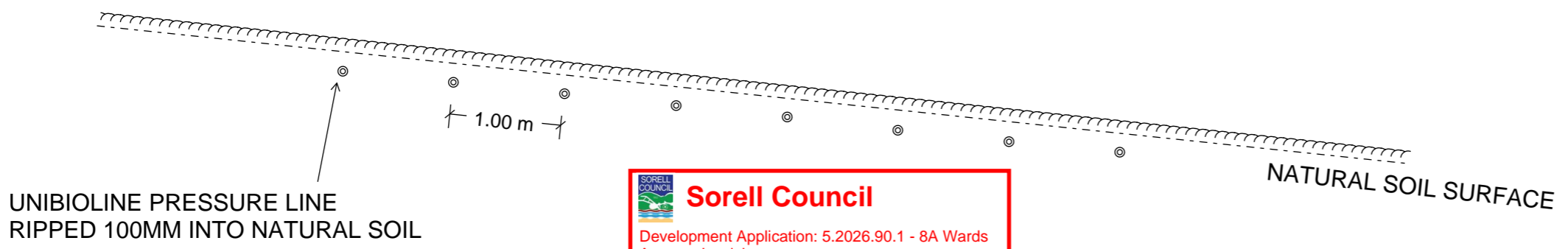
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**APPLICATION AREA CROSS-SECTION**



**Sorell Council**  
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 Avenue, Lewisham  
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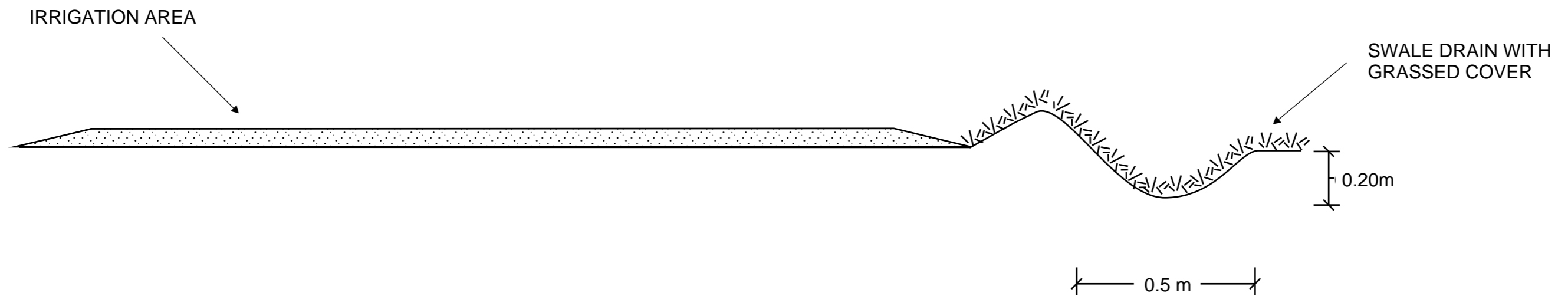
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Sheet 1 of 1  
Drawn by: SR

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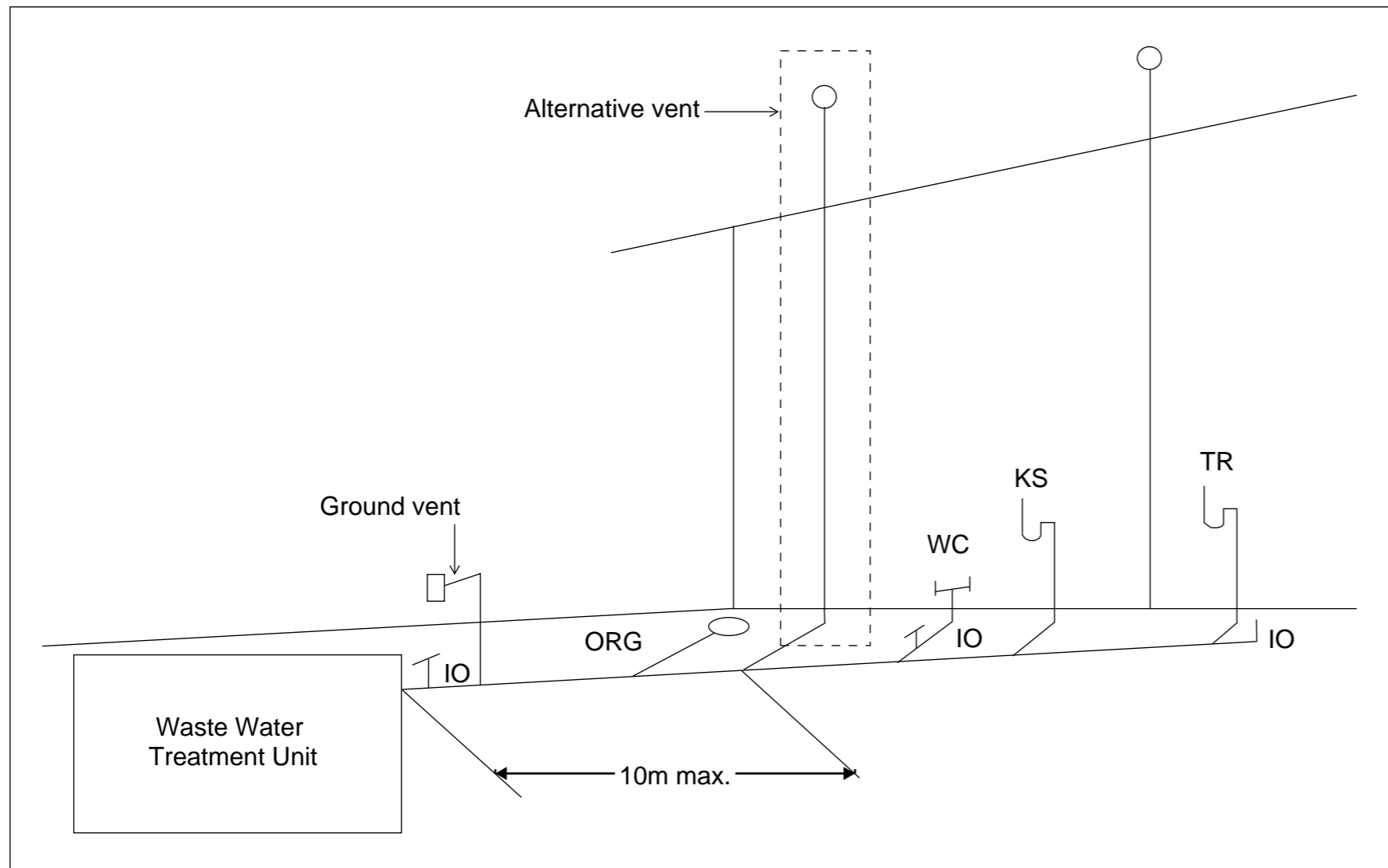
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 Avenue, Lewisham  
 Plans Reference: P1  
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Geo-Environmental Solutions

Grassed swale drain  
 typical cross-section

Sheet 1 of 1  
 Drawn by SR



**Tas Figure C2D6 Alternative Venting Arrangements**

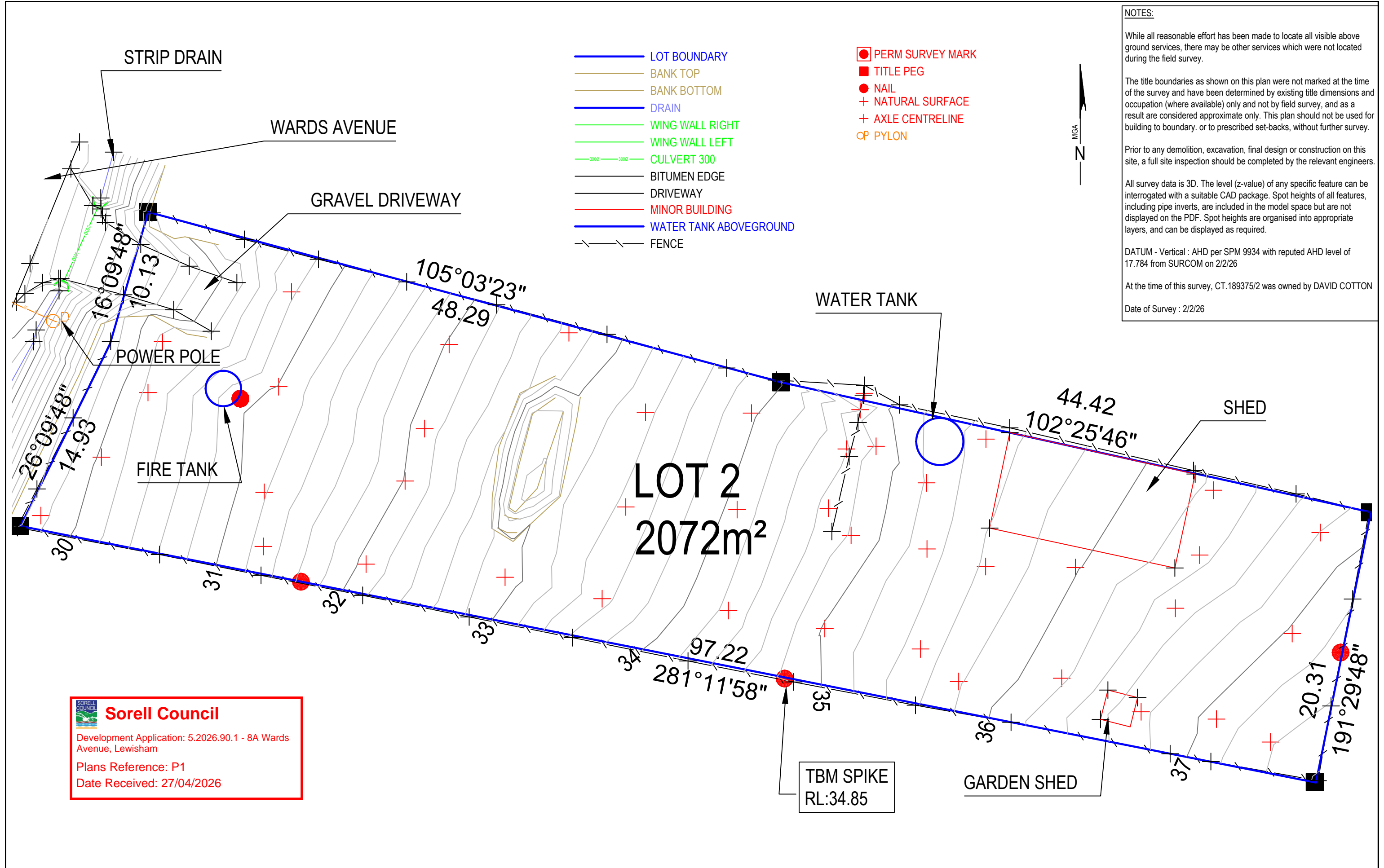
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**Sorell Council**  
 Development Application: 5.2026.90.1 - 8A Wards  
 Avenue, Lewisham  
 Plans Reference: P1  
 Date Received: 27/04/2026



- LOT BOUNDARY
- BANK TOP
- BANK BOTTOM
- DRAIN
- WING WALL RIGHT
- WING WALL LEFT
- CULVERT 300
- BITUMEN EDGE
- DRIVEWAY
- MINOR BUILDING
- WATER TANK ABOVEGROUND
- FENCE
- ◻ PERM SURVEY MARK
- TITLE PEG
- NAIL
- + NATURAL SURFACE
- + AXLE CENTRELINE
- PYLON

**NOTES:**

While all reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during the field survey.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by existing title dimensions and occupation (where available) only and not by field survey, and as a result are considered approximate only. This plan should not be used for building to boundary, or to prescribed set-backs, without further survey.

Prior to any demolition, excavation, final design or construction on this site, a full site inspection should be completed by the relevant engineers.

All survey data is 3D. The level (z-value) of any specific feature can be interrogated with a suitable CAD package. Spot heights of all features, including pipe inverts, are included in the model space but are not displayed on the PDF. Spot heights are organised into appropriate layers, and can be displayed as required.

DATUM - Vertical : AHD per SPM 9934 with reputed AHD level of 17.784 from SURCOM on 2/2/26

At the time of this survey, CT.189375/2 was owned by DAVID COTTON

Date of Survey : 2/2/26

**Sorell Council**  
 Development Application: 5.2026.90.1 - 8A Wards Avenue, Lewisham  
 Plans Reference: P1  
 Date Received: 27/04/2026

AMENDMENTS		
No.	Revision/Issue	Date

**LEARY COX & CRIPPS**  
 LAND & ENGINEERING SURVEYORS

Unit G04 40 Mollie Street,  
 HOBART TAS 7000  
 P 03 6118 2030  
 E admin@lccsurvey.com

Project Name and Address  
**8A WARDS AVENUE,  
 LEWISHAM**

Drawing Title  
**DETAIL PLAN**

Client  
 DAVID COTTON  
 189375/2

SCALE  
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 1:250 at A3

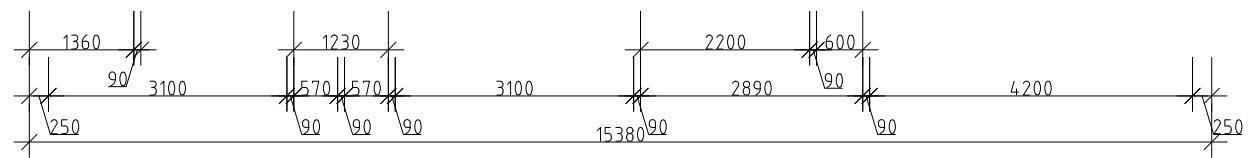
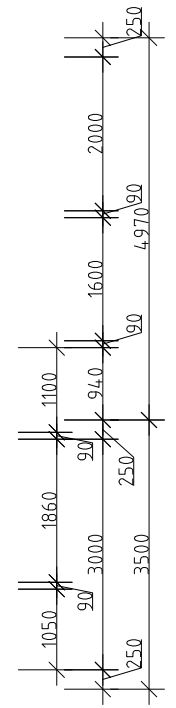
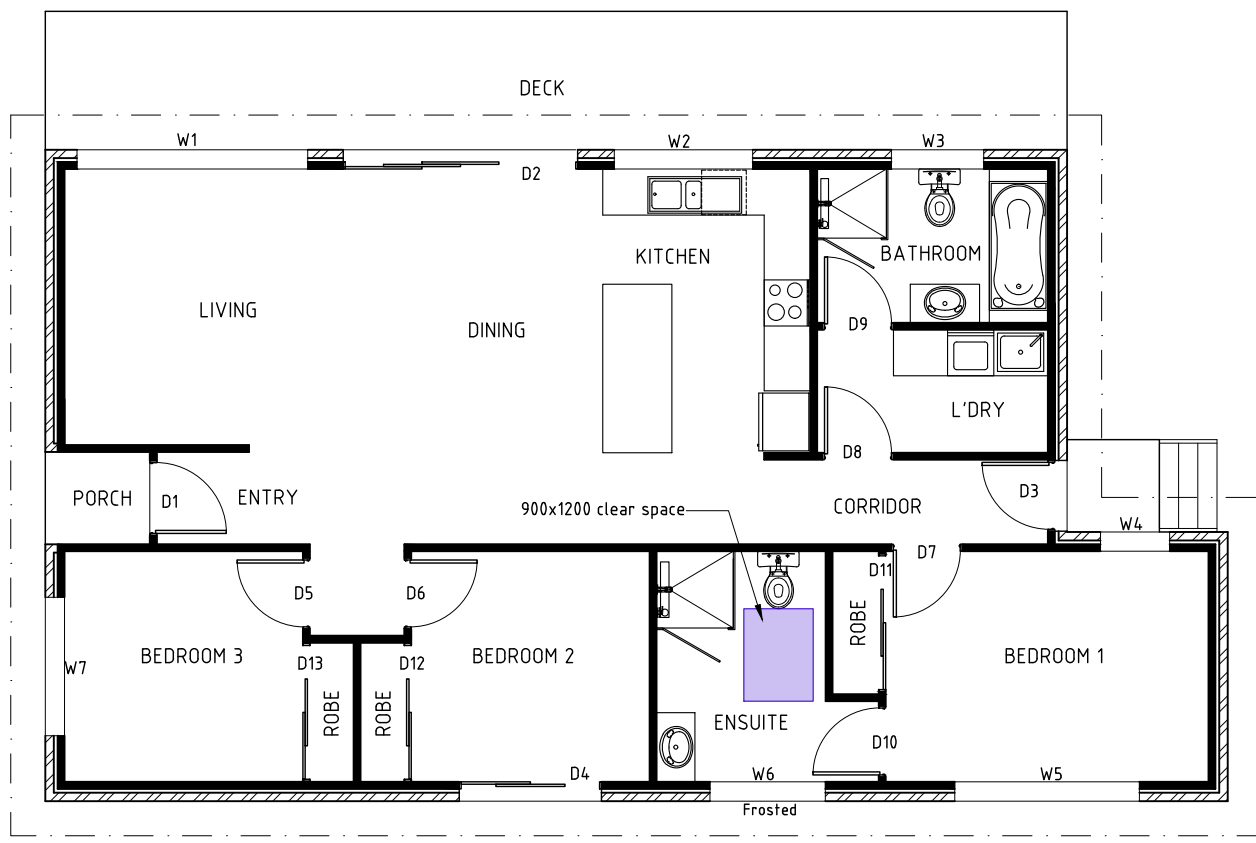
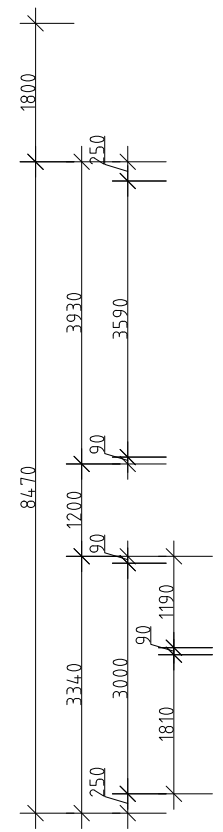
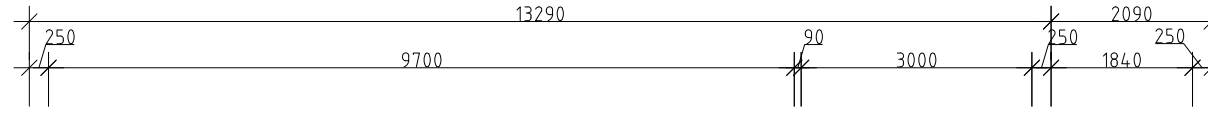
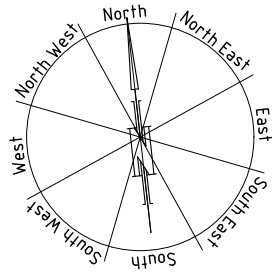
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 Date  
 2/2/26

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 CHK'D

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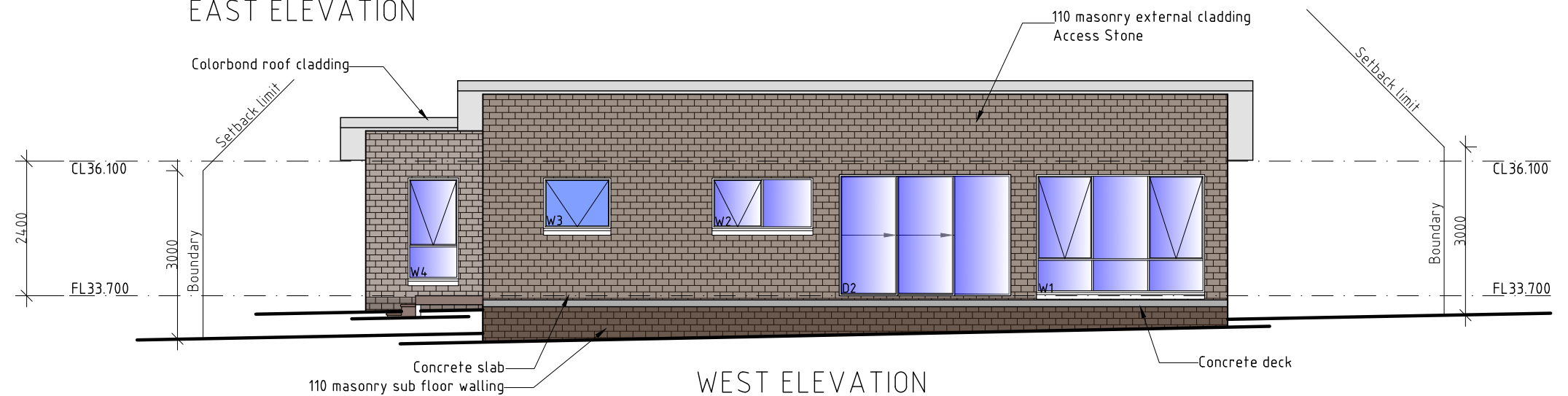
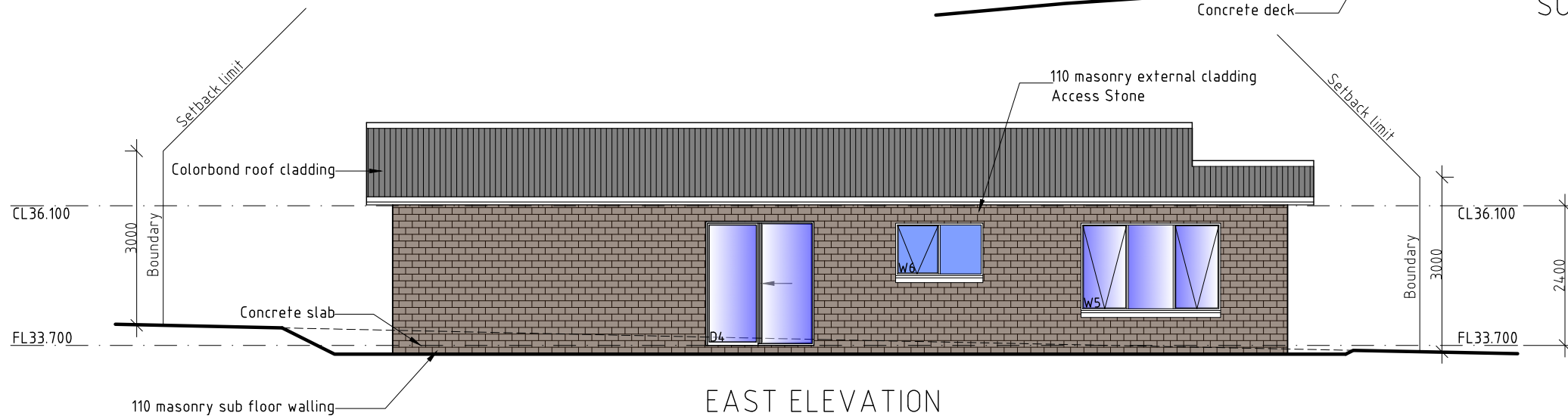
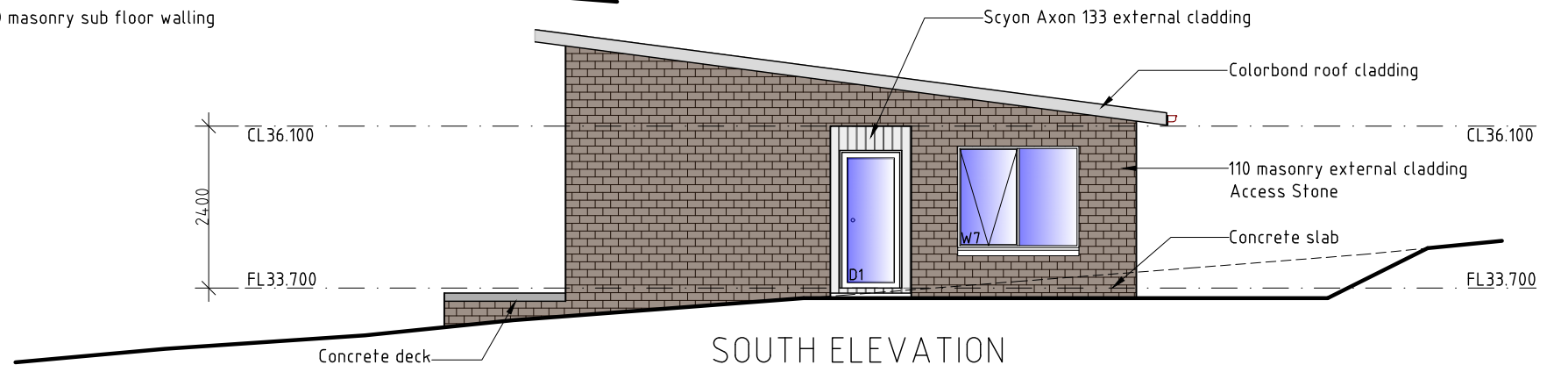
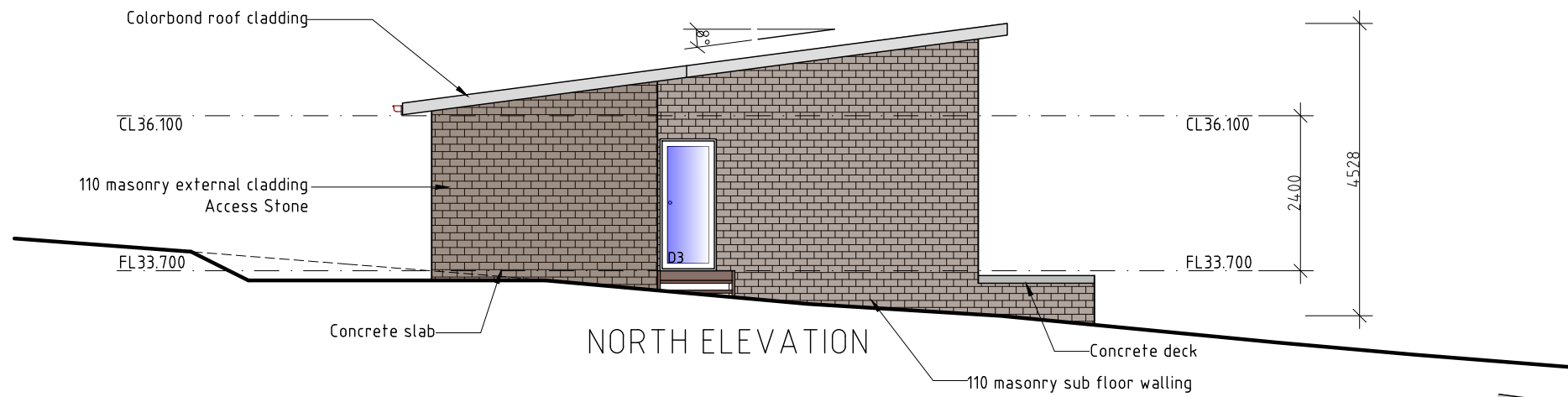


**SORELL COUNCIL**  
**Sorell Council**  
 Development Application: 5.2026.138. -  
 Response to Request For Information - 8a  
 Wards Avenue, Lewisham - P2.pdf  
 Plans Reference: P2  
 Date received: 29/05/2026

**DEVELOPMENT DRAWINGS ONLY  
 NOT FOR CONSTRUCTION**

**AREAS:**  
 Residence 118.24m<sup>2</sup>  
 Deck 23.92m<sup>2</sup>

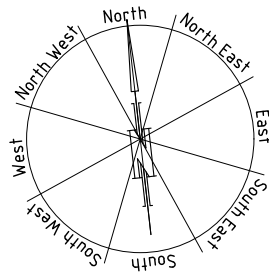
PROPOSED RESIDENCE FOR SJM PROPERTY DEVELOPMENTS PTY LTD AT 8A WARDS AVENUE LEWISHAM 7173	PLAN	DATE 26 / 05 / 2026	DRAWN BY G.Tilley email: gtilley7@biopond.com phone ph 0400 671 582
	SCALE 1:100 	AMENDED	DRAWING NO. 02 OF 09



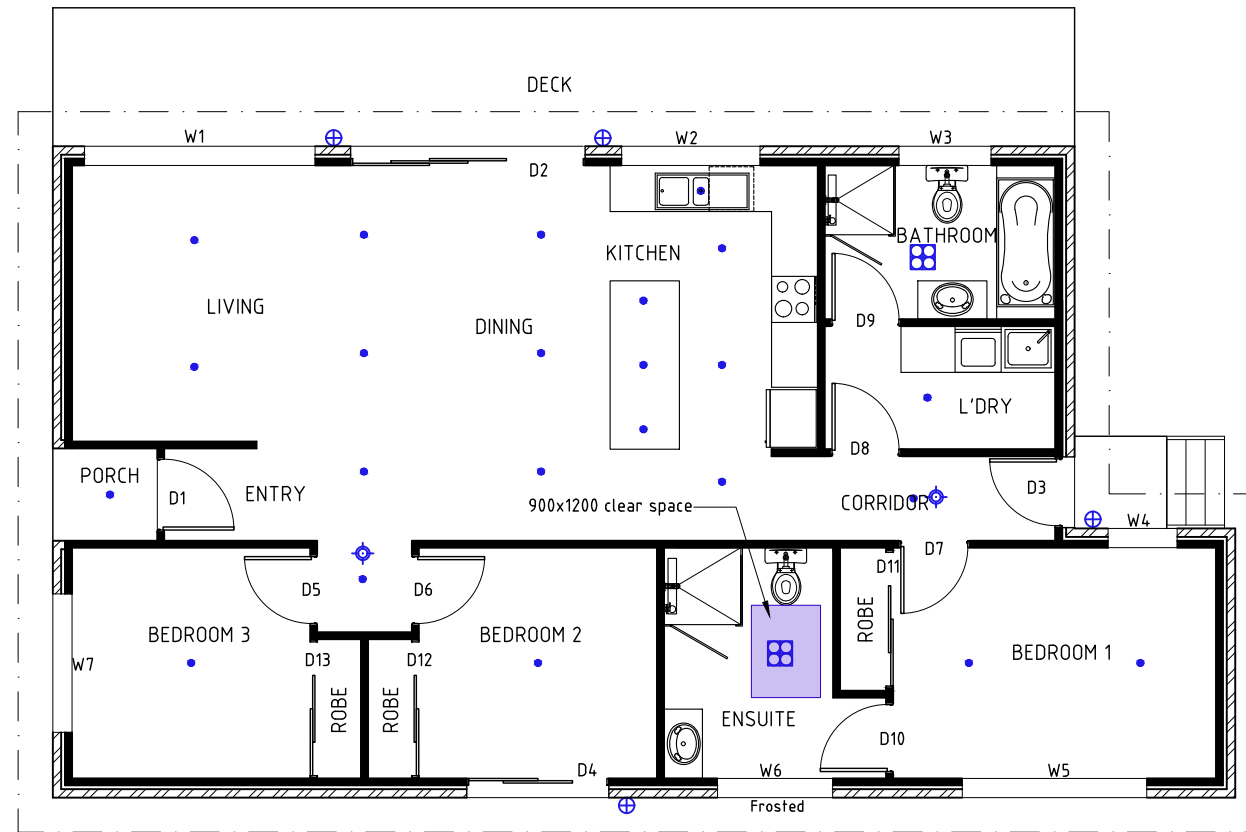
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**DEVELOPMENT DRAWINGS ONLY  
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PROPOSED RESIDENCE FOR SJM PROPERTY DEVELOPMENTS PTY LTD AT 8A WARDS AVENUE LEWISHAM 7173	ELEVATIONS		DATE 26 / 05 / 2026	DRAWN BY G.Tilley email: gtilley7@biopond.com phone ph 0400 671 582
	SCALE 1:100 0 1000 2000	AMENDED	DRAWING NO. 03 OF 09	Certified: G. Tilley Accreditation No.CC620H © copyright 2026 2426



- Downlight point  
Recessed downlights to be MARTEC, GENESIS  
Fully sealed recessed downlight 100° beam or similar
  - Surface mounted batten light fitting with 12 watt LED globe
  - Surface mounted 28 watt fluorescent light fitting
  - ⊞ Combination light, fan & heat lamp unit  
4/200 watt heat lamps (not included in calculation)
  - ⊕ Up/down exterior wall light 12 watt LED,  
min. 2000mm above surface below.
  - RH Range hood
- For dimmer switch location, refer to lighting calculations.  
External lights to be controlled by daylight sensor, or have an average light source efficacy of not less than 40 Lumens/watt.  
All Bathroom fans to be fitted with backdraught dampers/shutters, and to be ducted directly to outdoor air.  
See attached Lighting calculation.
- ⊞ Interconnected photoelectric smoke alarms.



ROOM	AREA m <sup>2</sup>
Kitchen, Dining, Living	46.42
Corridor	4.05
L'Dry	4.80
Bathroom	6.00
Bedroom 1	12.60
Ensuite	7.32
Bedroom 2	9.30
Bedroom 3	9.30

**ROOF VENTILATION**

**SUPPLY**  
Continuous gap at eaves it:  
25mm for <16° pitch  
10mm for >16° pitch

**EXHAUST**  
Continuous gap at ridge is min.  
5mm for all roof pitches.

Refer to ABCB Housing Provisions Table 10.8.3 for alternative.

NOTE: Glazier to verify all glass prior to manufacture of glazing units

Glazing compliance certificate to be provided by glass supplier

**AREAS:**

Residence	110.91m <sup>2</sup>
Deck	23.34m <sup>2</sup>

**Sorell Council**  
Development Application: 5.2026.138. -  
Response to Request For Information - 8a  
Wards Avenue, Lewisham - P2.pdf  
Plans Reference: P2  
Date received: 29/05/2026

**DEVELOPMENT DRAWINGS ONLY  
NOT FOR CONSTRUCTION**

PROPOSED RESIDENCE FOR SJM PROPERTY DEVELOPMENTS PTY LTD AT 8A WARDS AVENUE LEWISHAM 7173	REFLECTED CEILING PLAN	DATE 26 / 05 / 2026	DRAWN BY G.Tilley email: gtilley7@biopond.com phone ph 0400 671 582
	SCALE 1:100 0 1000 2000	AMENDED	DRAWING NO. 04 OF 09
			Certified: G. Tilley Accreditation No.CC620H © copyright 2026 2426

NCC Vol. 2 2022  
 ABCB Housing Provisions Part 11.3.7 Protection of openable windows - bedrooms

- (1) A window opening in a bedroom must be provided with protection, where the floor below the window is 2m or more above the surface beneath.
- (2) Where the lowest level of the window opening covered by (1) is less than 1.7 m above the floor, the window opening must comply with the following:
- (a) The openable portion of the window must be protected with -
    - (i) a device capable of restricting the window opening; or
    - (ii) a screen with secure fittings.
  - (b) A device or screen required by (a) must -
    - (i) not permit a 125mm sphere to pass through the window opening or screen; and
    - (ii) resist an outward horizontal action of 250N against the -
      - (A) window restrained by a device; or
      - (B) screen protecting the opening; and
    - (iii) have a child resistant release mechanism if the screen or device is able to be removed, unlocked or overridden.
- (3) Where a device or screen provided in accordance with (2)(a) is able to be removed, unlocked or overridden, a barrier with a height not less than 865mm above the floor is required to an openable window in addition to window protection.
- (4) A barrier covered by (3) must not -
  - (a) permit a 125mm sphere to pass through it; and
  - (b) have any horizontal or near horizontal elements between 150mm and 760mm above the floor that facilitate climbing.

ABCB Housing Provisions Part 11.3.8 Protection of openable windows - rooms other than bedrooms

- (1) A window opening in a room other than a bedroom must be provided with protection where the floor below the window is 4 m or more above the surface beneath.
- (2) The openable part of the window covered by (1) must be protected with a barrier with a height of not less than 865mm above the floor.
- (3) A barrier required by (2) must not -
  - (a) permit a 125mm sphere to pass through it; and
  - (b) have any horizontal or near horizontal elements between 150mm and 760mm above the floor that facilitate climbing.

LEGENDS & NOTES

Flyscreens to be fitted to all openable windows and doors.  
 Glazing requirement as outlined in the attached Glazing Calculator.  
 Alternative options from glazing supplier may be presented to the Designer and Building Surveyor in the form of a new Glazing Calculator.  
 Glazing types available in Tasmania can be access at [www.wers.net](http://www.wers.net)

Shower screens:  
 1800H Semi-frameless shower screens to comply with ABCB Housing Provisions Table 8.4.2 & AS 1288:2021. Minimum 4mm thick Grade A toughened & toughened laminated safety glass, labelled to comply with industry standards.

Opaque bands:  
 Where glazed doors or side panels are capable of being mistaken for a doorway or opening, the glass must be marked to make it readily visible in accordance with ABCB Housing Provisions Part 8.4.7, as follows:

- Marking in the form of an opaque band not less than 20mm in height;
- The upper edge is not less than 700mm above the floor;
- The lower edge is not more than 1200mm above the floor.

Flashings to wall openings:  
 All openings must be adequately flashed using materials that comply with AS/NZS 2904.

ALL GLAZED WINDOW & DOOR ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047:2014. ALL OTHER GLASS TO COMPLY WITH AS 1288:2021

PROVIDE WEATHER STRIPPING TO ALL EXTERNAL DOORS & WINDOWS.

WINDOW SCHEDULE

Window	Size (w)	Size (h)	Setout	Operation	Area (m <sup>2</sup> )	Vent. (m <sup>2</sup> )	Glass value	Glass type	Frame	Orientation	Notes	Lintel	BAL
W.1	3000	2100	Sill @ 0 Head @ 2100	Awning	6.3	2.30	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	N			12.5
W.2	1800	900	Sill @ 00 Head @ 2040	Fixed	1.62	0.79	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	N			12.5
W.3	1200	900	Sill @ 1200 Head @ 2100	Awning	1.08	0.52	U-Value 4.3 or less SHGC = 0.55 or less	Frosted double glazing	Aluminium	N	Frosted		12.5
W.4	900	1800	Sill @ 300 Head @ 2100	Awning	1.62	1.17	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	N			12.5
W.5	2400	1500	Sill @ 600 Head @ 2100	Awning	3.6	2.34	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	S			12.5
W.6	1500	900	Sill @ 1200 Head @ 2100	Awning	1.35	0.66	U-Value 4.3 or less SHGC = 0.55 or less	Frosted double glazing	Aluminium	S	Frosted		12.5
W.7	1800	1500	Sill @ 600 Head @ 2100	Sliding	2.7	1.33	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	W			12.5

DOOR SCHEDULE

Door	Size	Setout	Operation	Area (m <sup>2</sup> )	Vent.	Glass value	Glass type	Frame	Orientation	Notes	Lintel	BAL
D.1	920x2040	Sill @ 00 Head @ 2040	Hinged	1.87	1.87	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	W	External		12.5
D.2	3000x2100	Sill @ 00 Head @ 2100	Glass slider	6.30	4.20	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	N	External		12.5
D.3	870x2040	Sill @ 00 Head @ 2040	Hinged	1.77	1.77	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	E	External		12.5
D.4	1800x2100	Sill @ 00 Head @ 2100	Glass slider	3.78	1.89	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	S	External		12.5
D.5	870x2040	Sill @ 00 Head @ 2040	Hinged									
D.6	870x2040	Sill @ 00 Head @ 2040	Hinged									
D.7	870x2040	Sill @ 00 Head @ 2040	Hinged									
D.8	870x2040	Sill @ 00 Head @ 2040	Hinged									
D.9	870x2040	Sill @ 00 Head @ 2040	Hinged									
D.10	870x2040	Sill @ 00 Head @ 2040	Hinged									
D.11	2/870x2040	Sill @ 00 Head @ 2040	Robe slider									
D.12	2/870x2040	Sill @ 00 Head @ 2040	Robe slider									
D.13	2/870x2040	Sill @ 00 Head @ 2040	Robe slider									

DEVELOPMENT DRAWINGS ONLY  
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PROPOSED RESIDENCE FOR  
 SJM PROPERTY DEVELOPMENTS PTY LTD AT  
 8A WARDS AVENUE LEWISHAM 7173

GLAZING SCHEDULES

SCALE N/A


AMENDED

DATE  
26 / 05 / 2026

DRAWING NO.  
05 OF 09

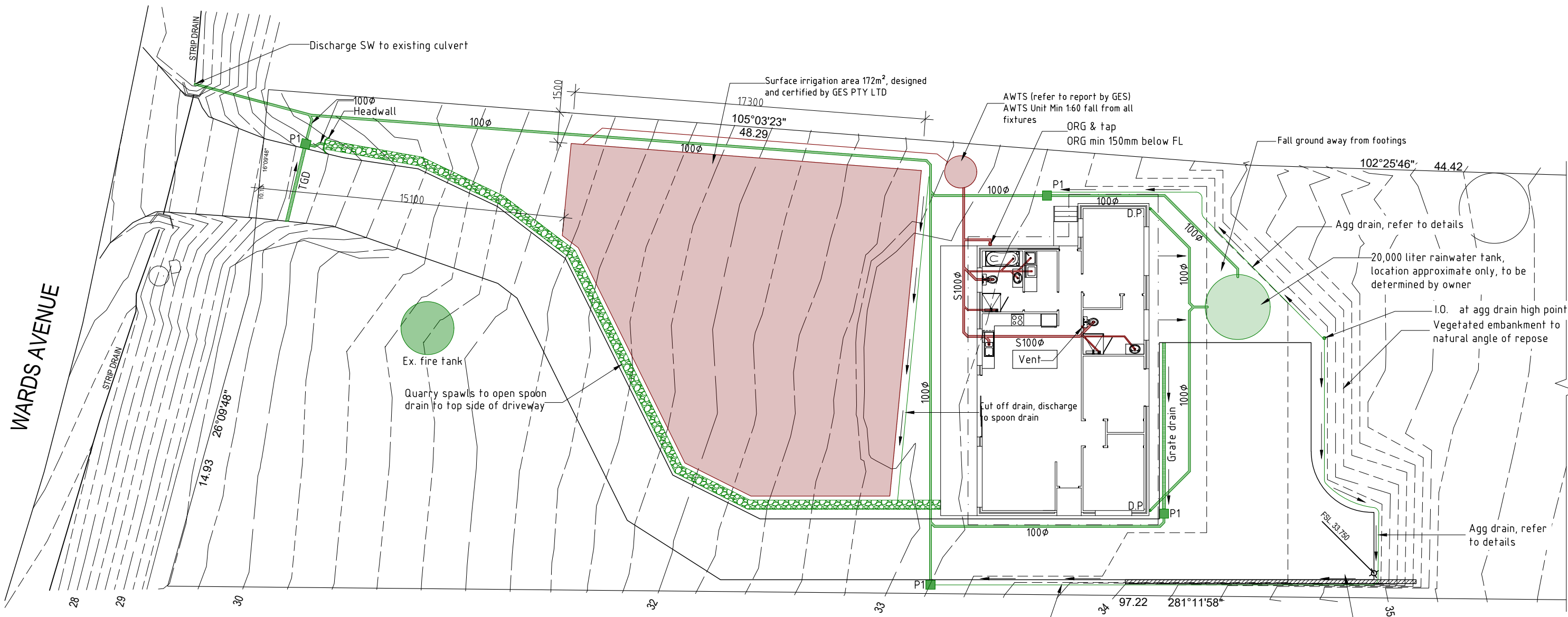
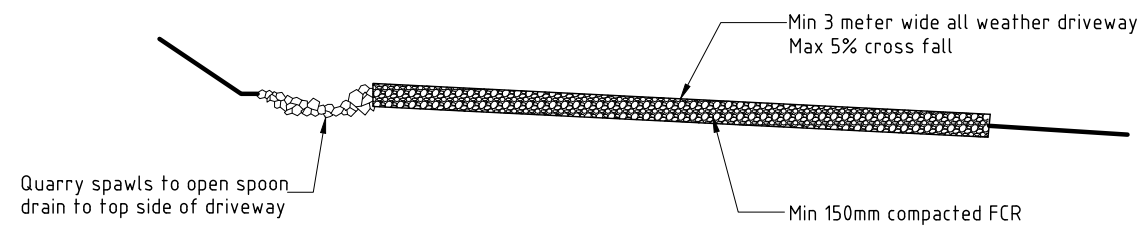
DRAWN BY G.Tilley  
 email: gtilley7@biopond.com  
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**Sorell Council**

Development Application: 5.2026.138. -  
 Response to Request For Information - 8a  
 Wards Avenue, Lewisham - P2.pdf  
 Plans Reference: P2  
 Date received: 29/05/2026



The proposed site cut/fill and driveway areas must be managed by:

- Applying a geo-fabric, jute mesh or similar material to the exposed batters of any cutting on site and revegetating the slope
- Applying a surface layer of at least 50mm of suitable crushed rock/gravel to the driveway surface (and any proposed house pad), with adequate compaction to ensure a relatively impervious surface to maintain site surface stability
- Vegetation on any fill batters must be established and maintained, if any bare area of soil on the batter develops then it must be top-dressed with suitable topsoil and additional vegetation planted

TGD Trafficable grate drain  
 I.O. Inspection opening  
 P1 450x450 Trafficable pit.  
 Each grate pit to be fitted with water quality improvement device. Designed & installed in accordance with manufacturers instructions

Plumber to confirm the location of existing on-site services prior to commencement of any excavations

Agg drains to be installed prior to slab/footings preparation. Evidence of the agg drainage installation to be supplied to the Engineer.

S100φ 100uPVC sewerage 1.67% min. fall  
 100φ 100uPVC stormwater 1:100 min. fall  
 100x100 cast in kerb to downslope of driveway perimeter I.O. at each intersection & bend

**Sorell Council**  
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**DEVELOPMENT DRAWINGS ONLY  
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PROPOSED RESIDENCE FOR SJM PROPERTY DEVELOPMENTS PTY LTD AT 8A WARDS AVENUE LEWISHAM 7173	CONCEPT PLUMBING PLAN		DATE 26 / 05 / 2026	DRAWN BY G.Tilley email: gtilley7@biopond.com phone ph 0400 671 582
	SCALE 1:200 0 2000 4000	AMENDED	DRAWING NO. 06 OF 09	Certified: G. Tilley Accreditation No. CC620H © copyright 2026 2426

**WET AREAS TO COMPLY WITH NCC VOL. 2 PART H4D2, ABCB HOUSING PROVISIONS PART 10.2 AND AS 3740**

**WATERPROOFING OF ENCLOSED & UNENCLOSED SHOWERS:**

**FLOOR:** Waterproof entire floor if no preformed shower base provided  
**WALLS:** Waterproof to not less than 1800mm above the floor substrate  
**WALL JUNCTIONS AND JOINTS:** Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of the junction  
**WALL/FLOOR JUNCTIONS:** Waterproof internal and external corners and joints  
**PENETRATIONS:** Waterproof all penetrations

**AREAS OUTSIDE THE SHOWER ON CONCRETE SLAB OR FC FLOORING:**

**FLOORS:** Entire floor to be water resistant  
**WALLS/FLOOR JUNCTIONS:** Waterproof all wall/floor junctions and where a flashing is used, the horizontal leg must be not less than 40mm

**AREAS OUTSIDE THE SHOWER ON TIMBER FLOOR:**

**FLOORS:** Waterproof entire floor  
**WALL/FLOOR JUNCTIONS:** Waterproof all wall/floor junctions and where a flashing is used, the horizontal leg must be not less than 40mm.

**AREAS ADJACENT TO NON-FREESTANDING BATHS AND SPAS (without showers):**

**FLOOR:** Water resistant to entire floor on concrete or FC flooring; or Waterproof to entire floor on timber floor.  
**WALLS:** Water resistant walls to a height of not less than 150mm above the vessels, for the full extent, where the vessel is within 75mm of a wall.  
**WALL JUNCTIONS AND JOINTS:** Water resistant within 150mm above the vessel for the extent of the vessel to a width of 40mm either side of the junction  
**WALL/FLOOR JUNCTIONS:** Waterproof for the extent of the vessel

**AREAS ADJACENT TO INSERTED BATHS AND SPAS (without showers):**  
**FLOOR:** Water resistant to entire floor on concrete or FC flooring; or Waterproof to entire floor on timber floor.  
**HORIZONTAL SURFACES:** Waterproof shelf adjoining bath or spa and include a waterstop under the vessel lip  
**WALLS:** Waterproof walls to not less than 150mm above the lip of the vessel  
**WALL JUNCTIONS AND JOINTS:** Waterproof junctions within 150mm of vessel to a width of 40mm either side of the junction  
**WALL/FLOOR JUNCTIONS:** Waterproof wall/floor junctions 25mm above finished floor level  
**PENETRATIONS:** Waterproof penetrations where they occur in horizontal surfaces, seal penetrations where they occur in vertical surfaces

**OTHER AREAS (LAUNDRIES AND WCs):**  
**FLOOR:** Water resistant floor to entire room  
**WALLS:** Water resistant wall to a height of not less than 150mm above the vessel for the extent of the vessel, where the vessel is within 75mm of a wall  
**WALL JUNCTIONS AND JOINTS:** Waterproof junctions where a vessel is fixed to a wall  
**WALL/FLOOR JUNCTIONS:** Water resistant wall/floor junctions with horizontal leg not less than 40mm where flashing used  
**PENETRATIONS:** Waterproof penetrations where they occur in surfaces required to be waterproof or water resistant.

**WATERPROOFING SYSTEMS:**  
 Waterproofing systems to be in accordance with ABCB Housing Provisions Part 10.2.6.

**FALLS TO WET AREA FLOORS:**  
 Where a floor waste is installed the continuous fall of a floor plane to the waste must be no less than 1:80 and no more than 1:50.

**STEPPDOWN SHOWERS:**  
 Where stepdown showers are used, the shower area must be stepped down a minimum of 25mm below the finished floor level outside the shower. Refer to ABCB Housing Provisions Part 10.2.15 & relevant figures for details.

**HOB CONSTRUCTION:**  
 Shower hobs are to be constructed in accordance with ABCB Housing Provisions Part 10.2.16.

**ENCLOSED SHOWERS WITH LEVEL THRESHOLD:**  
 Enclosed showers with a level threshold must be provided with a waterstop in accordance with ABCB Housing Provisions Part 10.2.17 & relevant figures.

**UNENCLOSED SHOWERS:**  
 Unenclosed showers are to have a waterstop min. 1500mm from the shower rose with the vertical leg finishing flush with the top surface of the floor. Waterproof all all joints and junctions. Waterproof entire bathroom floor where unenclosed showers are installed. Refer to ABCB Housing Provisions Part 10.2.18 & relevant figures for details.

**PENETRATIONS:**  
 All penetrations in showers and wet areas must be waterproofed in accordance with ABCB Housing Provisions part 10.2.23.

**FLASHINGS/JUNCTIONS:**  
 All flashings and junctions in wet areas to be installed in accordance with ABCB Housing Provisions Part 10.2.24 & relevant figures.

**SHOWER SCREENS:**  
 1900H Semi-frameless shower screens to comply with ABCB Housing Provisions Table 8.4.6 & AS 1288:2021. Minimum 6mm toughened safety organic coated glass, labelled to comply with industry standards. Install shower screens in accordance with ABCB Housing Provisions Part 10.2.32.

**HYDRAULIC NOTES:**  
 1. All plumbing shall be in accordance with the Tasmanian Plumbing Regulations, AS 3500 and to the local authority approval.  
 2. The location of the existing services where shown are approximate only and shall be confirmed on site where possible. Determine location of existing power, Telstra, water and drainage services prior to commencing new work.  
 3. Conceal all pipework in ceiling space, ducts, cavities, wall chases, cupboards etc. unless otherwise approved.  
 4. Refer to designers drawings and fixture and equipment technical specifications for pipework connections.

5. Make good all disturbed surfaces to match existing.
6. Remove all excess soil and surplus materials from site.
7. All plumbing to be installed by a licensed plumber.

Install inspection openings at major bends for stormwater and all low points of downpipes.  
 All plumbing & drainage to be in accordance with local Council requirements.  
 Provide surface drain to back of bulk excavation to drain leveled pad prior to commencing footing excavation.  
 Stormwater line (100mm uPVC)  
 Sewer line (100mm uPVC)

**SERVICES**

The heated water system must be designed & installed with Part B2 of NCC Vol. 3 - Plumbing Code of Australia

Thermal insulation for heated water piping must:

- a) be protected against the effects of weather and sunlight; and
- b) be able to withstand the temperatures within the piping; and
- c) use thermal insulation in accordance with AS/NZS 4859.1

Heated water piping that is not within a conditioned space must be thermally insulated as follows:

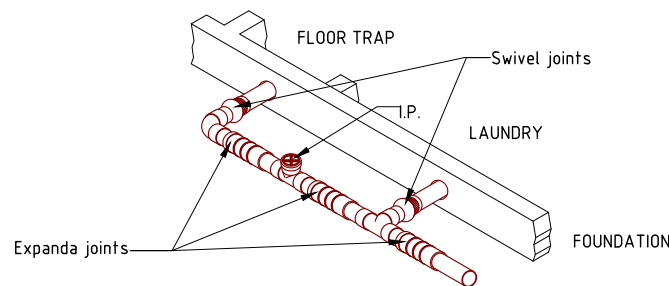
1. Internal piping:
  - a) All flow and return internal piping that is -
    - (i) within an unventilated wall spaces
    - (ii) within an internal floor between storeys, or
    - (iii) between ceiling and insulation and a ceiling
 Must have a minimum R-value of 0.2 (ie. 9mm of closed cell polymer insulation)
2. Piping located within a ventilated wall space, an enclosed building subfloor or a roof space:
  - a) All flow and return piping
  - b) Cold water supply piping and Relief valve piping within 500mm of the connection to central water heating system
 Must have a minimum R-value of 0.45 (ie. 19mm of closed cell polymer insulation)
3. Piping located outside the building or in an unenclosed building sub-floor or roof space:
  - a) All flow and return piping.
  - b) Cold water supply piping and Relief valve piping within 500mm of the connection to central water heating system
 Must have a minimum R-value of 0.6 (ie. 25mm of closed cell polymer insulation)  
 Piping within an insulated timber framed wall, such as that passing through a wall stud, is considered to comply with the above insulation requirements.

Hot & Cold Water Nominal Diameters	
Branch off takes	Min. DN20
Max. off take length 6m	DN18
Max. off take length 3m	DN15
Max. off take length 1m	DN10

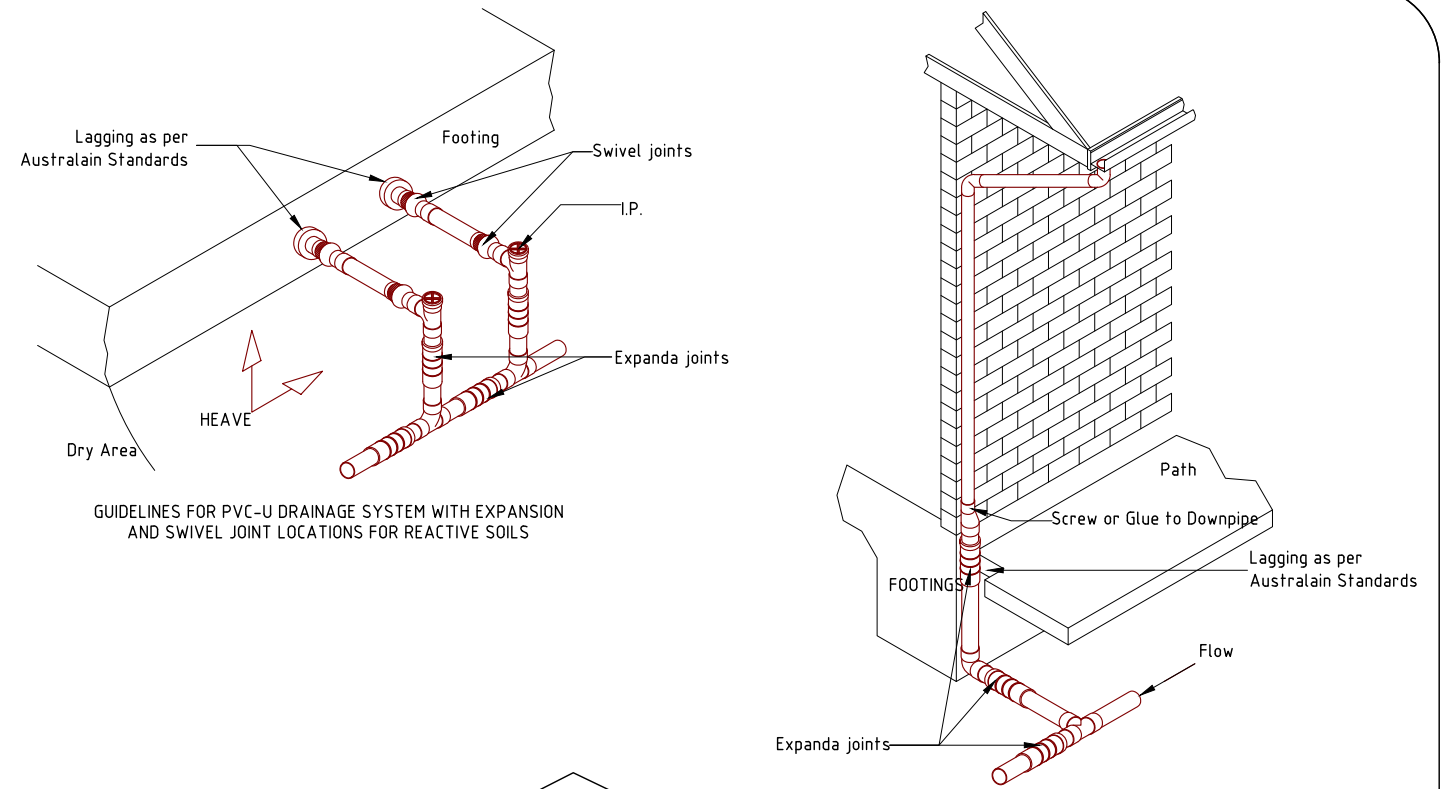
**Insulation Schedule**

Heated Water Pipes Type	Size Range	Insulation
Circulating Line	32-40	25mm Rockwool with foil wrap
Branch Line	20-25	19mm Bradflex
Offtake	18	13mm Bradflex
Cold Water Pipes Exposed Type		Insulation
All	>20	13mm Bradflex
Other Cold Water Pipes Type		Insulation
All	All	Not required

NOTE: Water pipes associated directly with plan equipment shall be insulated in accordance with the manufacturers instructions for a typical installation



GUIDELINES FOR PVC-U DRAINAGE SYSTEM WITH EXPANSION AND SWIVEL JOINT LOCATIONS FOR REACTIVE SOILS



GUIDELINES FOR PVC-U DRAINAGE SYSTEM WITH EXPANSION AND SWIVEL JOINT LOCATIONS FOR REACTIVE SOILS

GUIDELINES FOR PVC-U DRAINAGE SYSTEM WITH EXPANSION AND SWIVEL JOINT LOCATIONS FOR REACTIVE SOILS

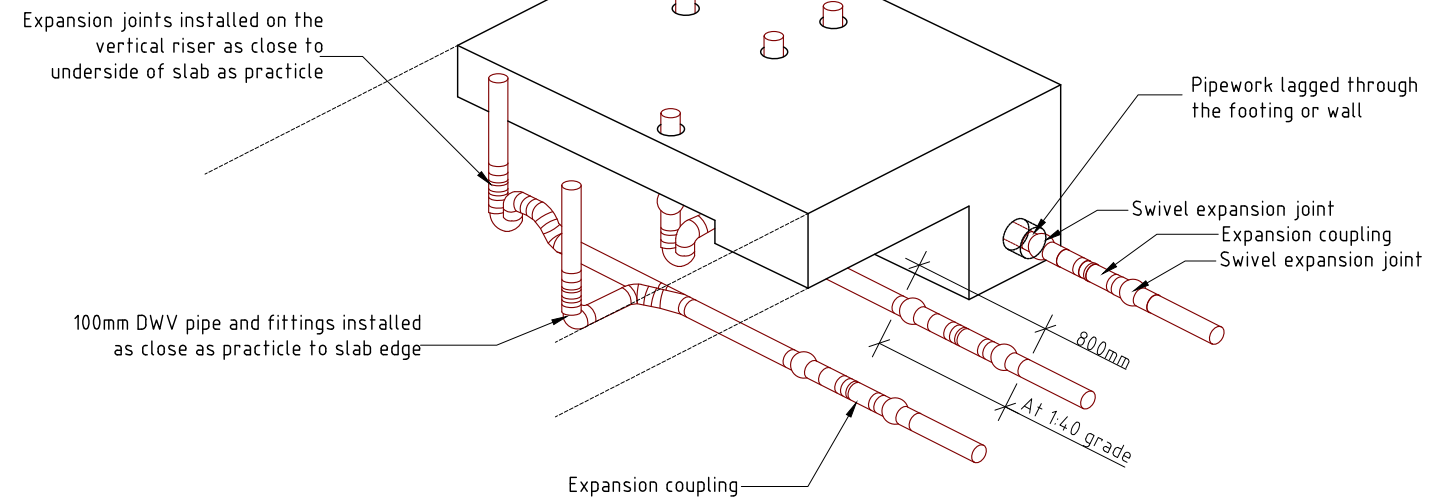
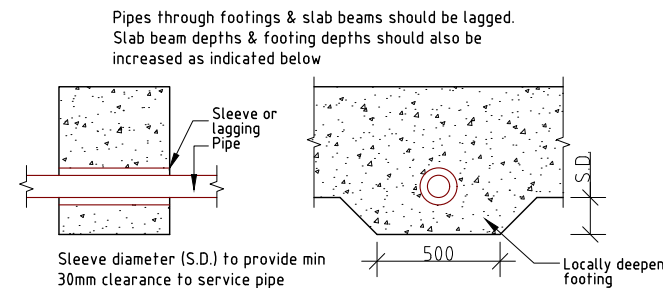


FIGURE G.5(A)- POTENTIAL LOCATIONS OF BELOW GROUND SWIVEL & EXPANSION JOINTS FOR "H" CLASS SITES

- Note 1: Drain grade should be 1:40 for the first 800mm external to slab  
 Note 2: Swivel expansion joints installed on grade should not be used to correct pipe misalignment  
 Note 3: Swivel expansion joints and expansion joints should be installed at 50% of their telescopic movement  
 Note 4: Expansion joints installed on vertical risers should have a minimum of 40mm telescopic movement

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FLEXIBLE CONNECTION FOR SERVICE PIPES PASSING THROUGH FOOTINGS  
 Scale 1:20

Surface drainage to conform with NCC Vol. 2 Part H2D2.  
 NOTE: 50mm fall required over first 1m from building.

**IMPORTANT NOTICE FOR ATTENTION OF OWNER:**  
 The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSRIO Building Technology File 18 and it is the owners responsibility to maintain the site in accordance with that document.

**DEVELOPMENT DRAWINGS ONLY  
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PROPOSED RESIDENCE FOR  
 SJM PROPERTY DEVELOPMENTS PTY LTD AT  
 8A WARDS AVENUE LEWISHAM 7173

PLUMBING NOTES

SCALE N/A

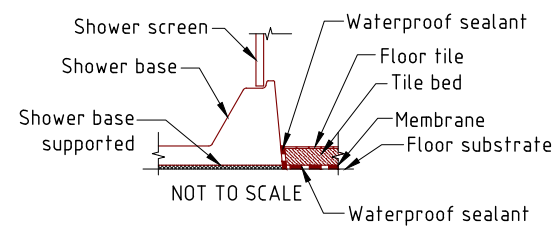
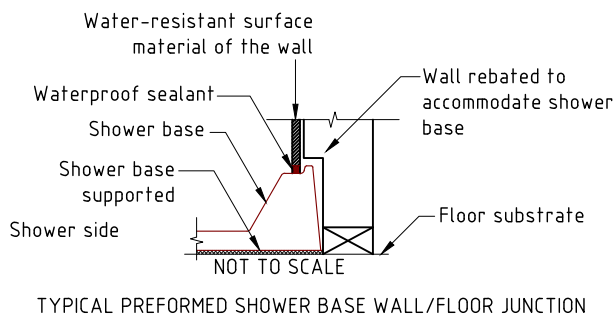
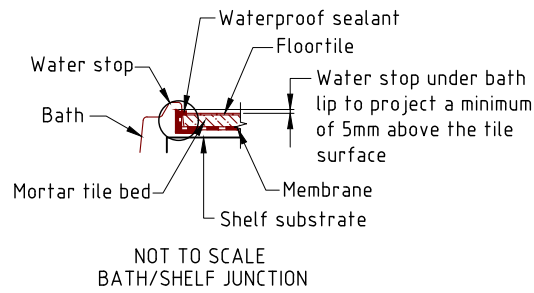
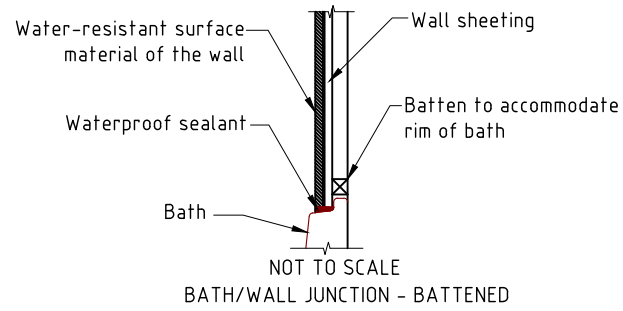
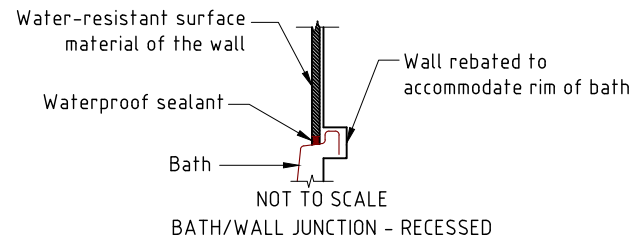
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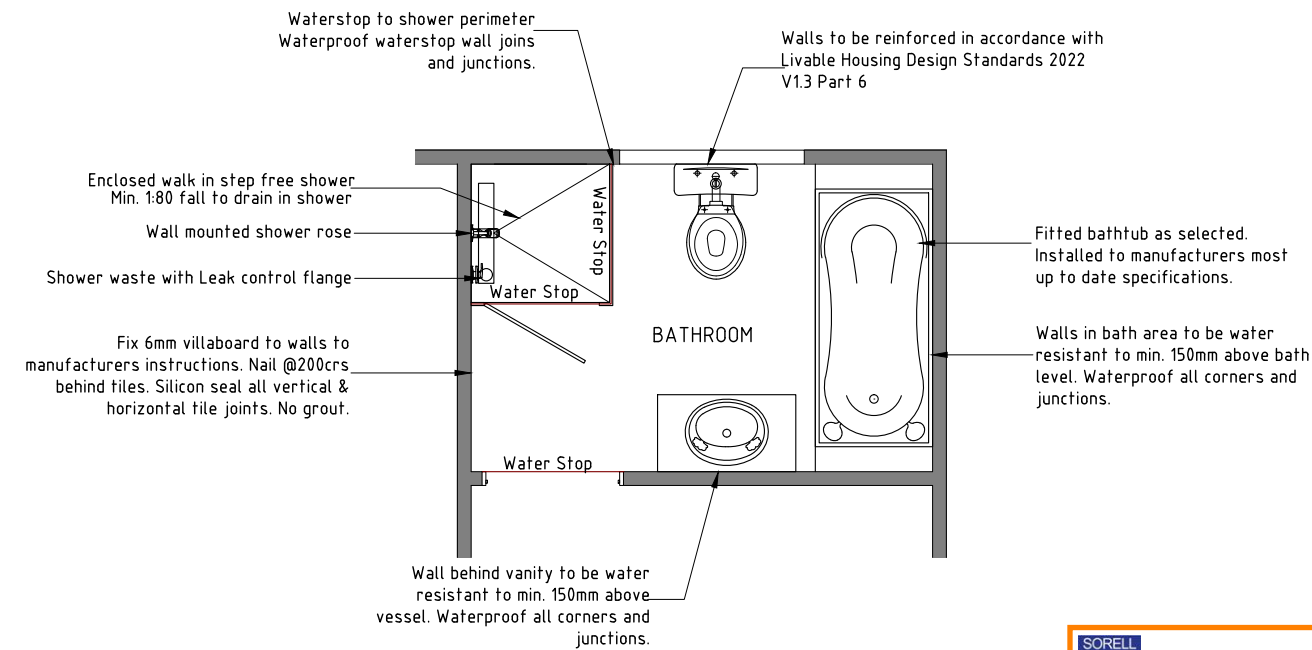
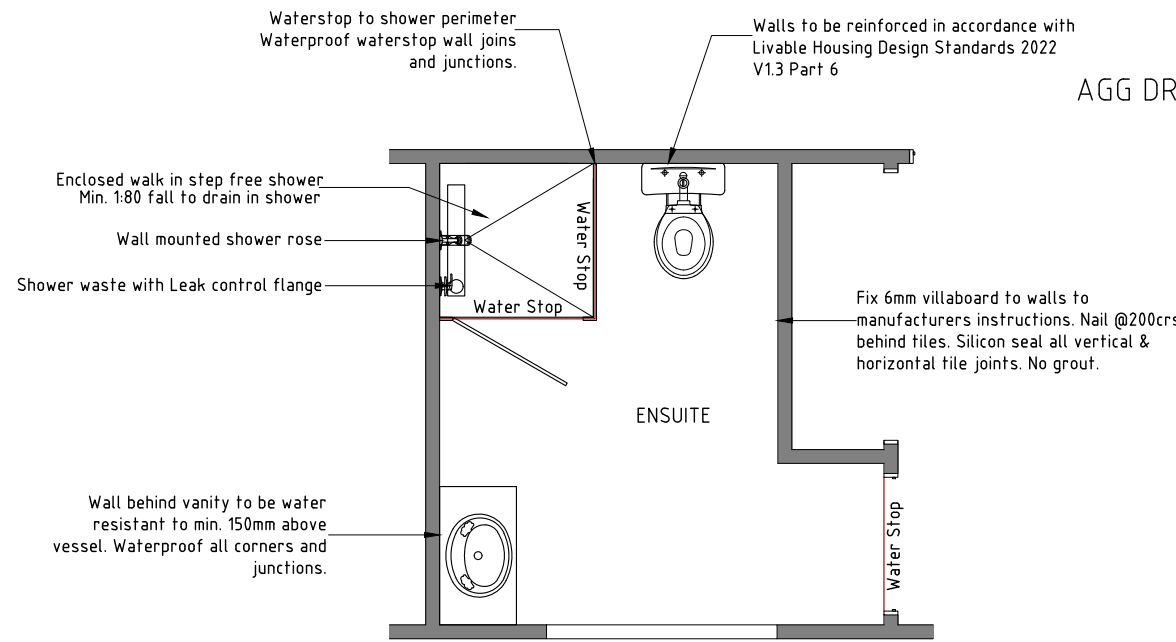
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 phone ph 0400 671 582

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TYPICAL PREFORMED SHOWER BASE/FLOOR JUNCTION ON TIMBER FLOORS, INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER MATERIALS

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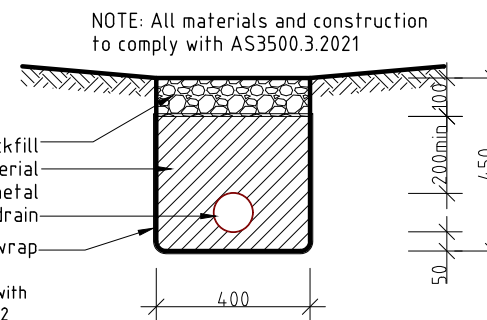


**WET AREA DETAIL - BATHROOM**

Scale 1:50

Seal all joints, gaps & wall junctions with PVA sealant - cover floor/wall junctions min R6: 2 coats of approved PVA membrane installed to manufacturers instructions and on top of the screed to ensure waterproof membrane is drained to the floor waste, including cloth tape to wall junctions and penetrations. To floor, continue 50mm up vertical surfaces & to shower bay 1800x1500 each way from shower rose or to shower screen. To timber skirting or door architrave to stop <25mm above finished floor level.

Selected bathroom tiles, fittings & fixtures - shower to be hobless/step free in accordance with Livable Housing Standard Part 5 walls to be reinforced in accordance with Part 6.2 of Livable Housing Guidelines

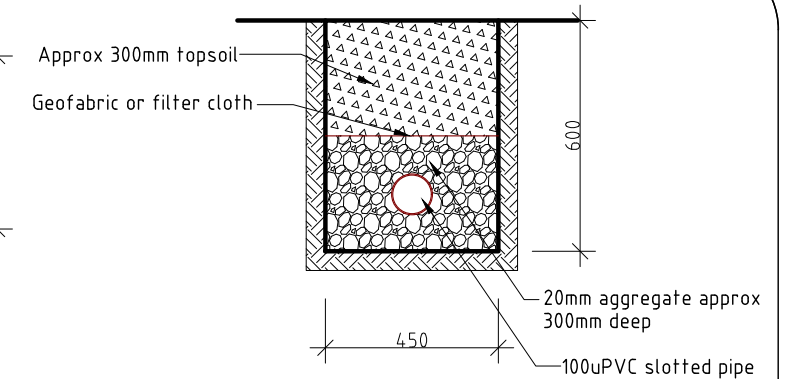


AGG DRAIN DETAIL (TYPICAL)

Scale 1:20

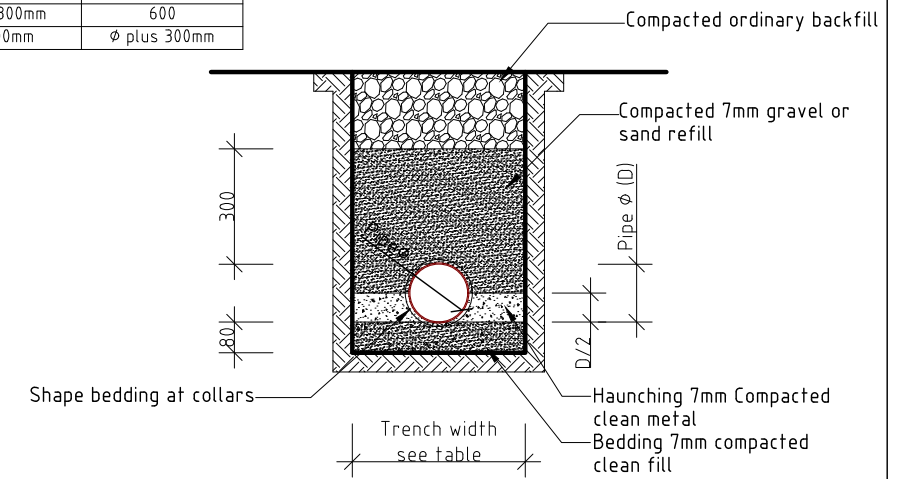
**TRENCH WIDTHS**

Pipe diameter	Min. trench width
Less than 50mm	250
75-100mm	450
150-300mm	600
>300mm	φ plus 300mm



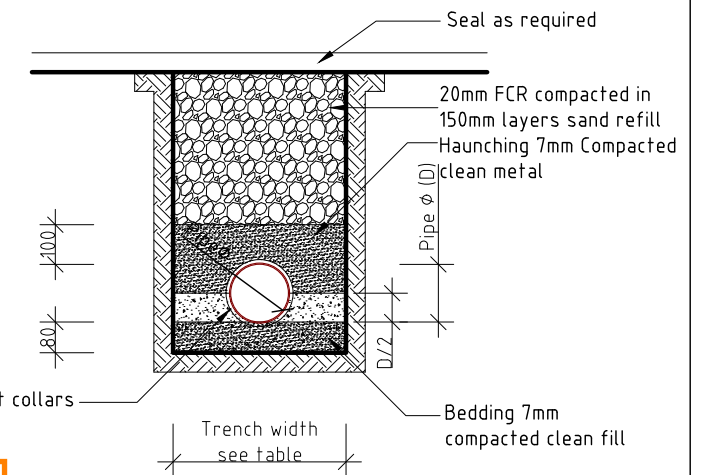
ABSORPTION TRENCH (TYPICAL)

Scale 1:20



PIPE TRENCH DETAIL TO NON-TRAFFICABLE AREAS (TYPICAL)

Scale 1:20



PIPE TRENCH DETAIL TO TRAFFICABLE AREAS (TYPICAL)

Scale 1:20

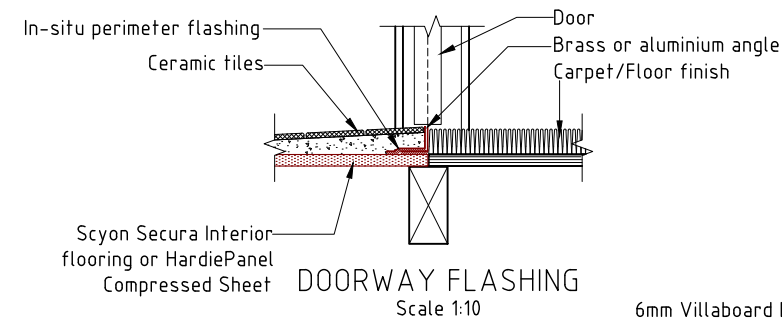
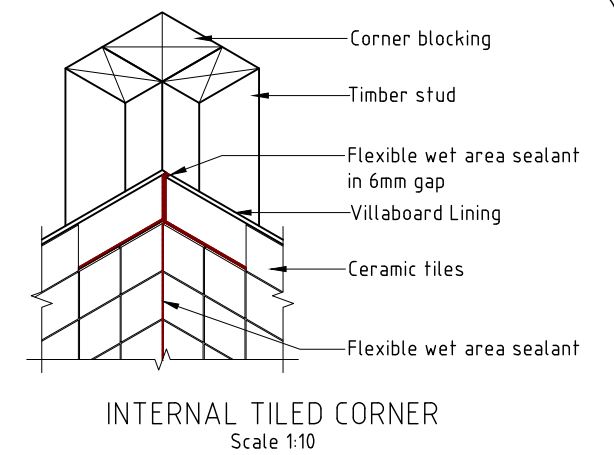
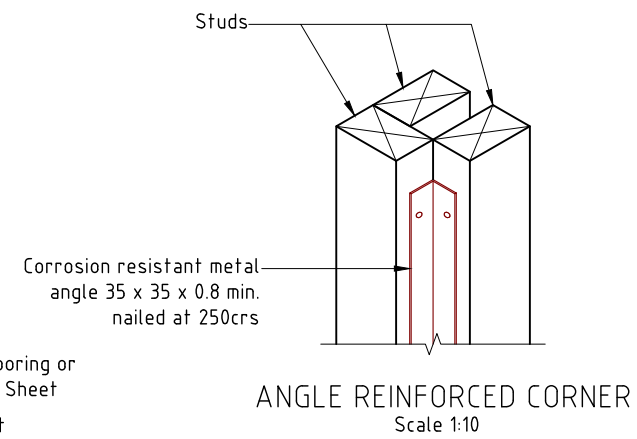
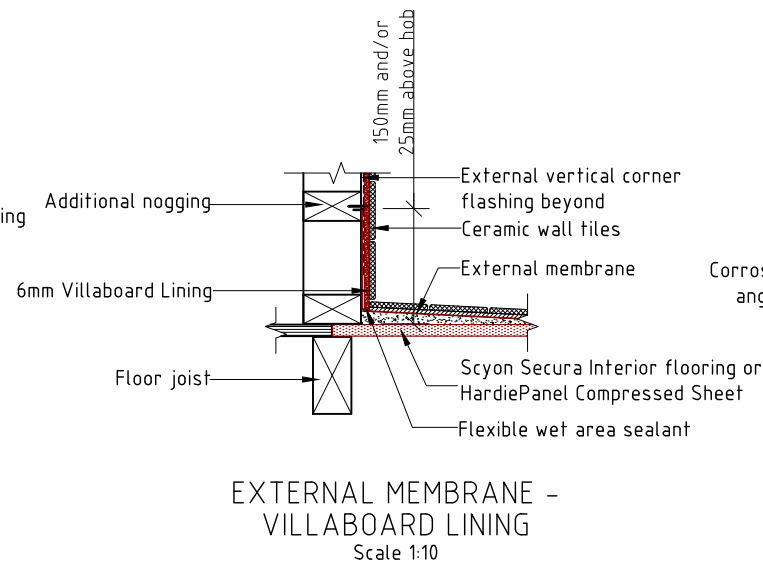
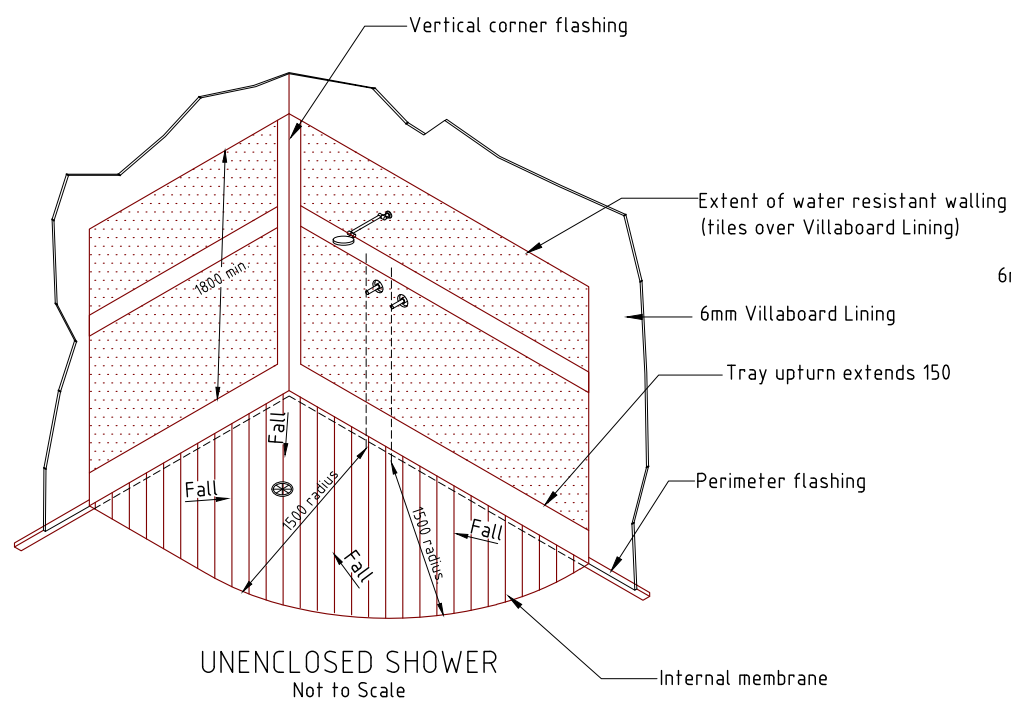
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Surface drainage to conform with NCC Vol. 2 Part H2D2.  
 NOTE: 50mm fall required over first 1m from building.

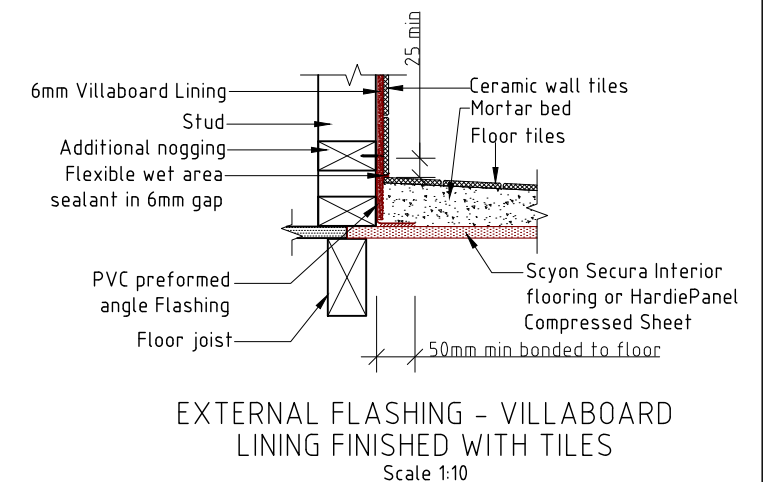
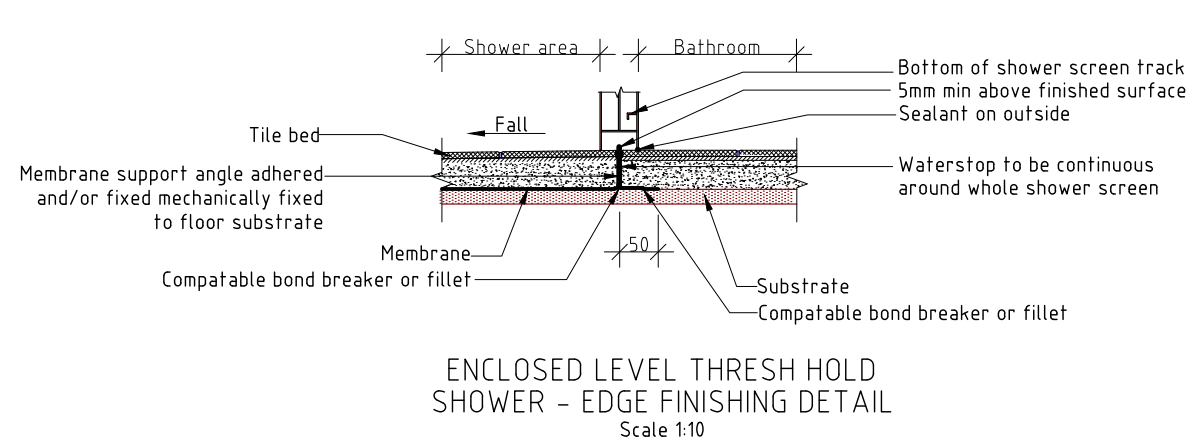
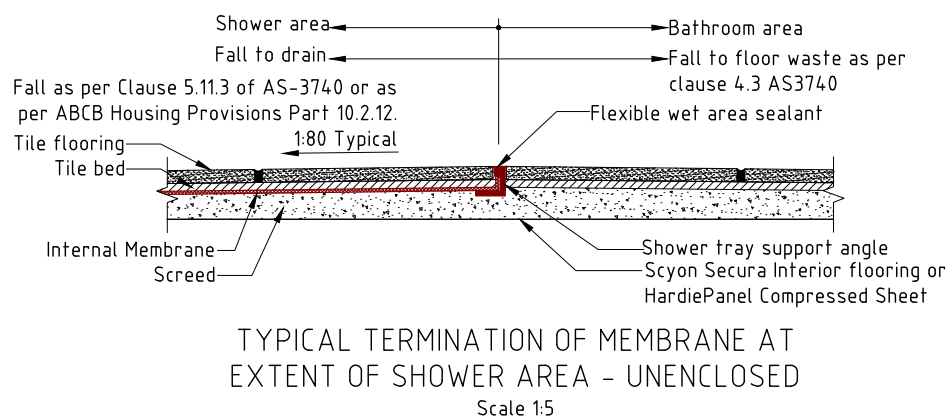
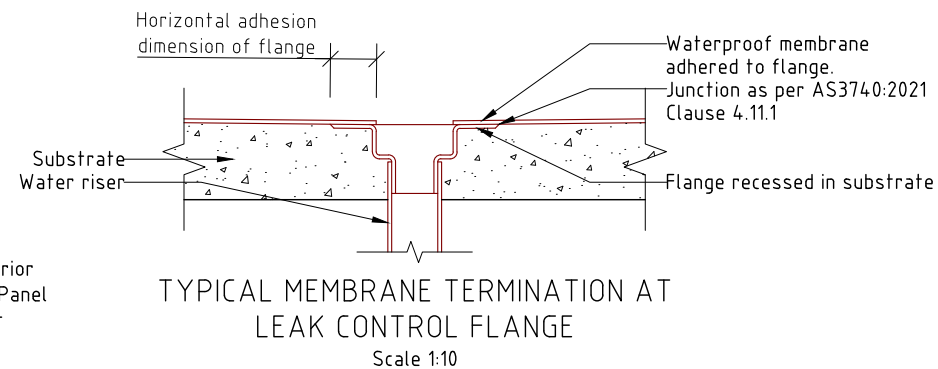
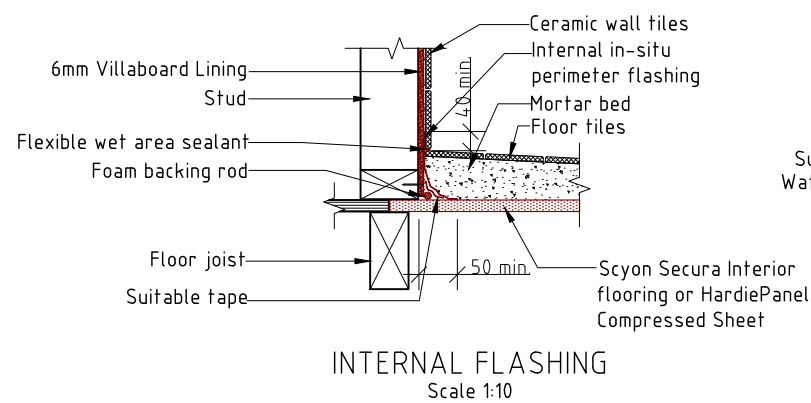
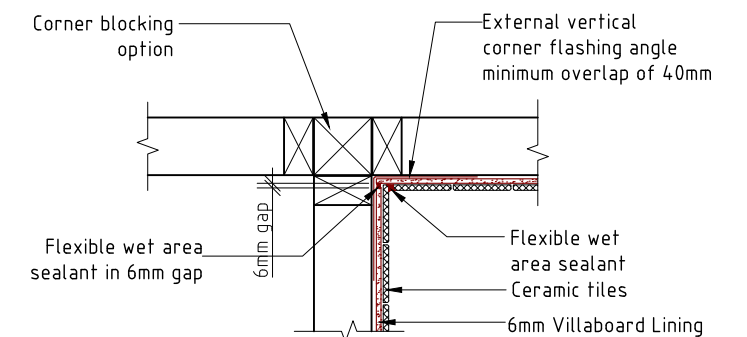
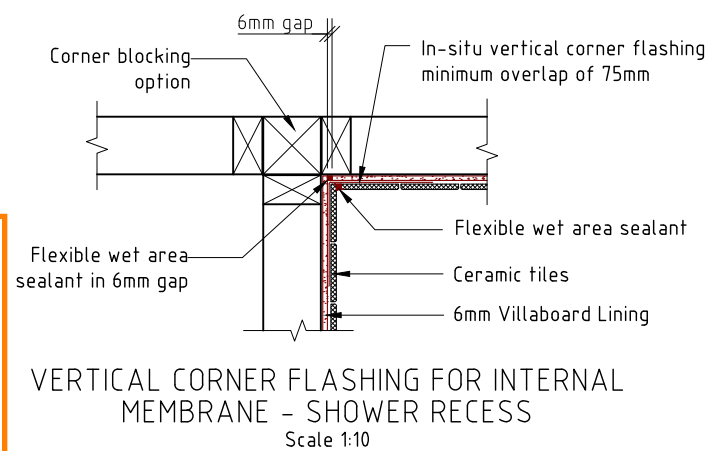
**IMPORTANT NOTICE FOR ATTENTION OF OWNER:**  
 The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSRIO Building Technology File 18 and it is the owners responsibility to maintain the site in accordance with that document.

PLUMBING DETAILS	DATE 26/05/2026	DRAWN BY G.Tilley email: gtilley7@biopond.com phone ph 0400 671 582
SCALE 1:20 0 200 400	AMENDED	DRAWING NO. 08 OF 09
		Certified: G. Tilley Accreditation No. CC620H © copyright 2026 2426

PROPOSED RESIDENCE FOR  
 SJM PROPERTY DEVELOPMENTS PTY LTD AT  
 8A WARDS AVENUE LEWISHAM 7173



**Sorell Council**  
 Development Application: 5.2026.138. -  
 Response to Request For Information - 8a  
 Wards Avenue, Lewisham - P2.pdf  
 Plans Reference: P2  
 Date received: 29/05/2026



**DEVELOPMENT DRAWINGS ONLY  
 NOT FOR CONSTRUCTION**

PROPOSED RESIDENCE FOR  
 SJM PROPERTY DEVELOPMENTS PTY LTD AT  
 8A WARDS AVENUE LEWISHAM 7173

PLUMBING DETAILS

SCALE 1:10  
 0 100 200

AMENDED

DATE  
 26/05/2026

DRAWING NO.  
 09 OF 09

DRAWN BY G.Tilley  
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 phone ph 0400 671 582

Accreditation No. CC620H  
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