

Sorell Council

Subject: Development Proposal for 4 Marshton Lane, Copping

Dear Sorell Council,

I am writing to submit my planning application for my property located at 4 Marshton Lane, Copping.

The proposal encompasses several key components, including a change of use, an application for a new dwelling, 2 x three-bedroom accommodation and a 26x10m garage.

I believe that this proposal aligns with the Sorell Council Land Use Scheme and the Tasmanian Planning Scheme and offers significant benefits to the community.

1. Change of Use from Dwelling to Accommodation for Existing House:

The first aspect of the proposal involves changing the use of the existing house at 4 Marshton Lane from a dwelling to accommodation. This change will enable the property to serve as a facility that can provide temporary accommodation to individuals in need, such as tourists, travellers, or those seeking short-term residences. This aligns with the Sorell Council Land Use Scheme, which encourages the development of diverse and sustainable accommodation options.

2. Application for New Dwelling:

The second component of the proposal involves the application for a new dwelling on the property. This new dwelling will complement the existing house and contribute to the overall improvement and development of the area. It adheres to the Sorell Council Land Use Scheme's objective of supporting appropriate residential development within the community.

3. Application for Two Three-Bedroom Accommodations:

The proposal includes an application for the construction of two additional three-bedroom accommodations. These accommodations will cater to the increasing demand for short-term housing options in the area, potentially benefiting tourists, visitors, or individuals requiring temporary residences. This aligns with the Tasmanian Planning Scheme's goal of fostering sustainable tourism and promoting economic growth.





Attachment to item number 5.3 -

Supporting written submission received 11 June 2024.

Site plan and driveway design prepared by JMG dated 14 October 2025.

Proposal plans of proposed dwelling and visitor accommodation cabins prepared by Imagine by Design dated 11 November 2025

Bushfire hazard report prepared by GES Geo-Environmental Solutions dated December 2025.

Geo-environmental assessment prepared by GES Geo-Environmental Solutions dated February 2024.

P

Proposed outbuilding plans prepared by the Shed Company dated 27 March 2024

Approved building plans for existing dwelling prepared by Ronald Young and Co Builders dated 6 July 2011.

4. Building Application for one 26x10m Garage:

Furthermore, I would like to include a building application for one 26x10m garage on the property. This garage will serve as storage and parking facilities, providing convenience and security for residents and visitors. The garages will comply with the relevant building codes and regulations, ensuring safe and efficient use of the premises. It will also assist with storage for any farm activities/equipment.

Benefits to the Community: The proposed development offers several significant benefits to the community, including:

1. **Increased Accommodation Options:** The provision of additional accommodations will address the growing demand for short-term housing and contribute to the local tourism industry's growth, attracting more visitors to the area. This, in turn, can benefit local businesses, such as restaurants, shops, and recreational facilities, by increasing customer traffic and supporting economic growth.
2. **Economic Opportunities:** The construction and operation of the new dwellings, accommodations, and garage will generate employment opportunities during the construction phase and potentially in the hospitality and service sectors once operational. This will have positive economic impacts on the local community, creating job opportunities, increasing local spending, and supporting the growth of new businesses.
3. **Support for Local Businesses:** The availability of additional accommodations will benefit local businesses, such as restaurants, cafes, and shops. Tourists and visitors staying in the area will have more options for lodging, leading to increased patronage of local establishments. This, in turn, can stimulate the local economy, encourage entrepreneurship, and foster a vibrant business community.
4. **Enhanced Tourism Experience:** The development proposal aims to provide comfortable and convenient accommodations for tourists and travellers visiting the area. By offering well designed facilities and amenities, the proposal seeks to enhance the overall tourism experience, attracting more visitors and encouraging them to stay longer, explore local attractions, and contribute to the local economy.

In conclusion, I believe that this development proposal for 4 Marshton Lane, Copping, aligns with the Sorell Council Land Use Scheme and the Tasmanian Planning Scheme. The proposed change of use, construction of a new dwelling, addition of two three-bedroom accommodations, and the building application for one garage offer significant

benefits to the community. These include increased accommodation options, employment opportunities, support for local businesses, and an enhanced tourism experience.

Please find enclosed the following documents to accompany this application:

1. Bushfire Hazard Report
2. Geo-Environmental Assessment
3. Primary Residence Plan
4. Three bedroom accommodation plan
5. Three bedroom accommodation plan
6. Garage Plan
7. Title and Plan

I kindly request the Sorell Council's consideration and support for this development proposal. Thank you for your attention to this matter. Should you require any additional information or have any questions, please do not hesitate to contact me.

I look forward to a positive response.

Yours Sincerely,

Shannon Campbell

Written Submission – Clause 20.3.1 Discretionary Use (Rural Zone)

Property: 4 Marshton Lane, Copping

Proposal: Change of use of existing residence to visitor accommodation, construction of a new dwelling, and two additional visitor accommodation units.

P1 – Suitability for the Zone

The proposal is consistent with the purpose of the Rural Zone as it allows for a diversified use of the land that complements existing and potential rural activities.

- The site is approx. 17 hectares and will continue to support rural uses, including horses, chickens, dogs, cats, and the establishment of a boronia crop for future harvesting.
- The majority of the land will remain undeveloped and retain its natural bushland character.
- The proposed visitor accommodation will not remove or compromise any productive agricultural land, as the development is sited on bush-covered areas that are not suitable for farming.
- The scale and form of the development, with the use of dark cladding and natural timber materials, is designed to blend with the rural landscape.

Accordingly, the use is appropriate for the zone and maintains the rural character of the area.

P2 – Compatibility with Surroundings

The proposal is compatible with surrounding land uses and will not cause unreasonable amenity impacts.

- The nearest dwellings are approximately 130m, 240m, and 280m from the proposed accommodation, ensuring an appropriate separation distance and retention of privacy.
- The property is secluded and heavily vegetated, with natural buffers reducing any potential visual or acoustic impacts.
- Adequate on-site parking will be provided, and the expected traffic generation from visitor accommodation is low and will not impact local road safety or capacity.
- The use will not generate unreasonable noise, lighting, or odour impacts.

The proposal will therefore coexist harmoniously with neighbouring properties and the broader rural landscape.

P3 – Impact on Agricultural Potential

The development will not constrain the existing or future agricultural use of the site or adjoining rural land.

- No productive agricultural land will be removed, fragmented, or rendered unviable.
- The proposal will occur on bush-covered land unsuitable for farming, while other parts of the property remain available for small-scale agricultural pursuits, including boronia cultivation.
- Surrounding agricultural enterprises, such as vineyards, will not be affected by the proposal.

The proposal maintains and protects the long-term agricultural potential of the site and adjoining land.

P4 – Contribution to the Community

The development will deliver significant community and economic benefits, consistent with the intent of the Rural Zone to support tourism and rural diversification.

- The proposal will provide much-needed family-friendly visitor accommodation in a municipality with a shortage of options, particularly in the Copping–Dodges Ferry–Tasman Peninsula corridor.
- The site is strategically located on the tourist route to the Port Arthur Historic Site and in close proximity to beaches, vineyards, and other attractions, ensuring strong demand.
- Visitors will support local businesses, including cafes, wineries, and tourist operators, retaining economic benefits within the municipality.
- The development will adopt sustainable practices including solar power, rainwater collection, and on-site wastewater treatment, reinforcing its environmental credentials.

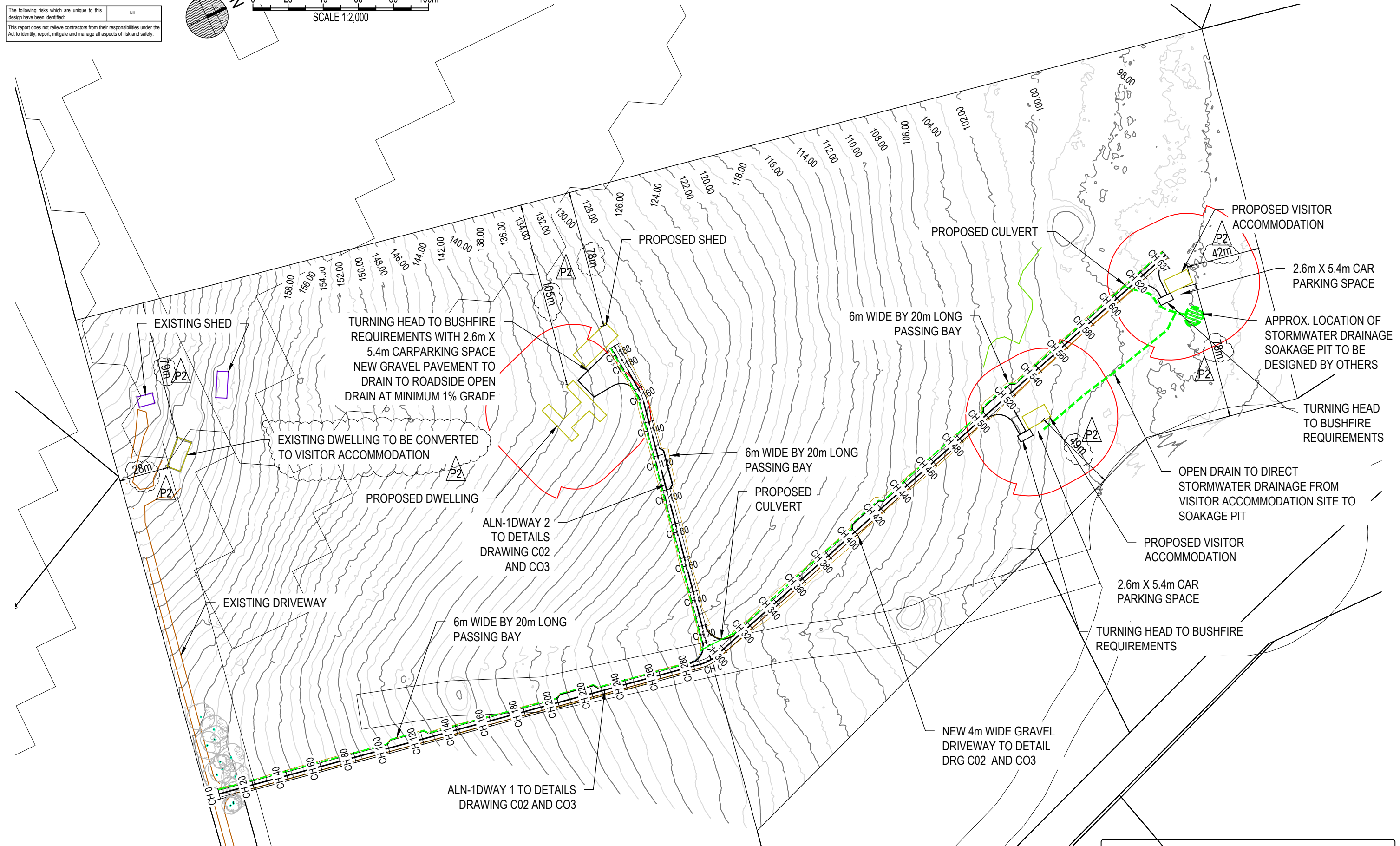
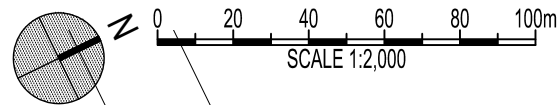
Accordingly, the proposal enhances the local tourism offering and contributes positively to the rural economy.

Conclusion

The proposed change of use and new visitor accommodation satisfies the performance criteria P1–P4 of Clause 20.3.1 of the Tasmanian Planning Scheme (Sorell Council). The use is appropriate for the site, compatible with the surrounding rural setting, protects agricultural potential, and contributes meaningfully to the local community and economy.

Approval of the application is therefore respectfully sought.

The following risks which are unique to this design have been identified: NIL
 This report does not relieve contractors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risk and safety.



NOT FOR CONSTRUCTION

P2 14/10/2025 DIMENSIONS & NOTE ADDED
 P1 29/05/2025 ISSUED FOR COMMENT

REV	DATE	REMARK
P2	14/10/2025	DIMENSIONS & NOTE ADDED
P1	29/05/2025	ISSUED FOR COMMENT

Accepted CJM (Discipline Head)	Date
Accepted SHL (Team Leader)	Date
Approved CJM (Principal)	Date

SCALES @ A3	DESIGNED BY	DRAWN BY
1:2000	SHL	MBB
	PLOT DATE	14/10/2025
DO NOT SCALE. Use only figured dimensions. Locations of structure, fittings, services etc on this drawing are indicative only. CONTRACTOR to check Architects & other project drawings for co-ordination between structure, fabric, fixtures, fittings, services etc.		
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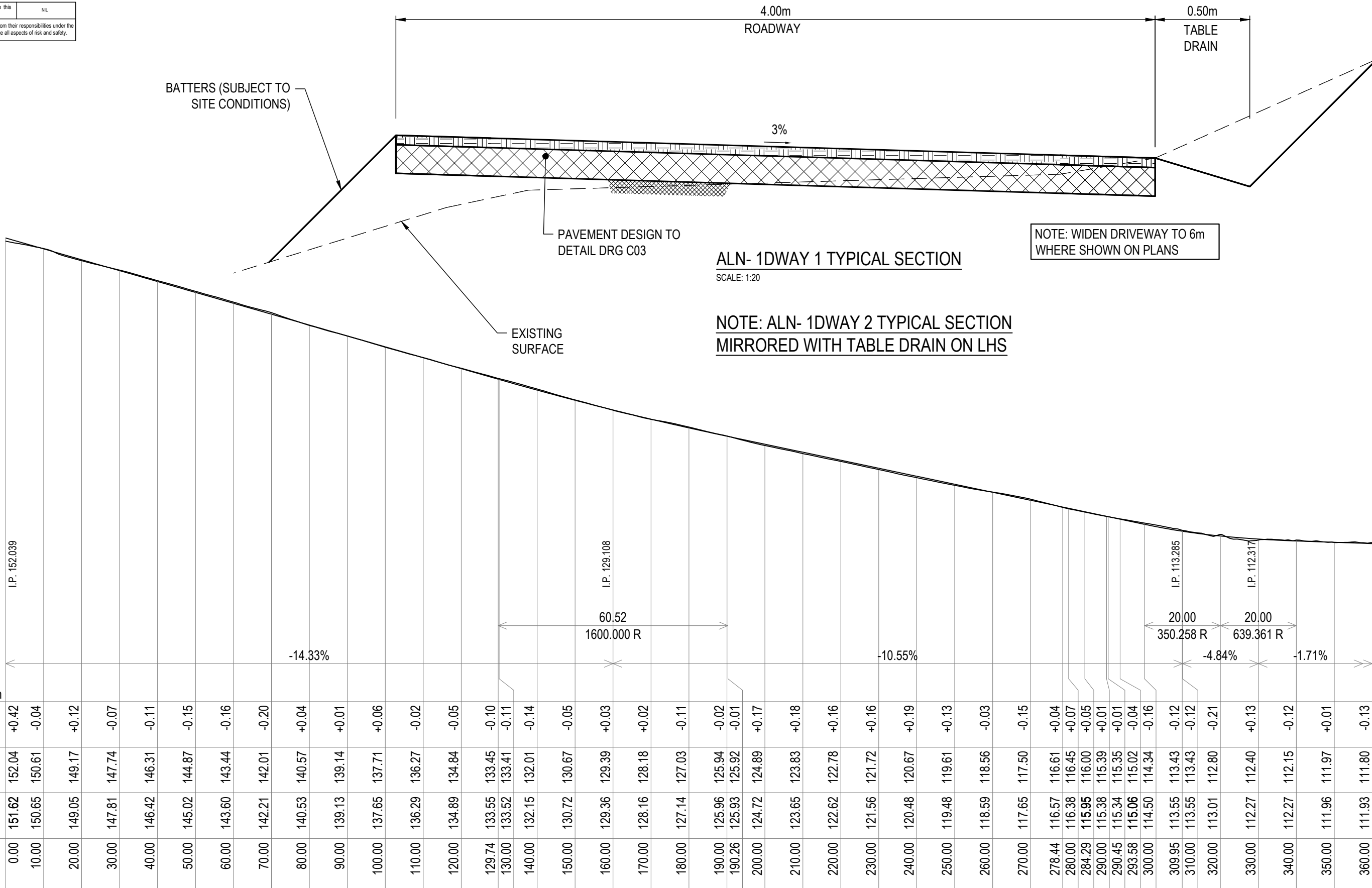
PROJECT
**4 MARSHTON LANE
 COPPING**

TITLE
SITE PLAN

PROJECT NO.	250184CS	
DWG NO.	C01	REVISION
		P2
PLOT DETAILS CIVIL 3D-BASE.DWG		

SAFETY IN DESIGN REPORT PER WHS REGULATIONS

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ALN-1DWAY 1 PROFILE FROM CH 0.000m TO CH 360.000m
 SCALES: 1:1000(H) 1:500(V)

NOT FOR CONSTRUCTION

P1 29/05/2025 ISSUED FOR COMMENT

REV	DATE	REMARK

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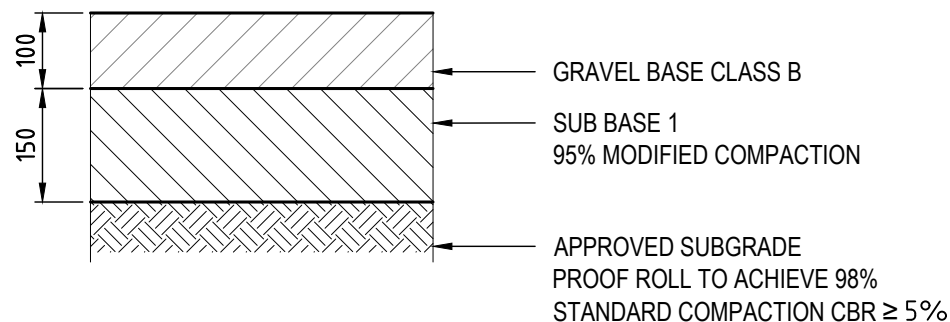
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PROJECT
4 MARSHTON LANE COPPING

TITLE
CROSS SECTIONS

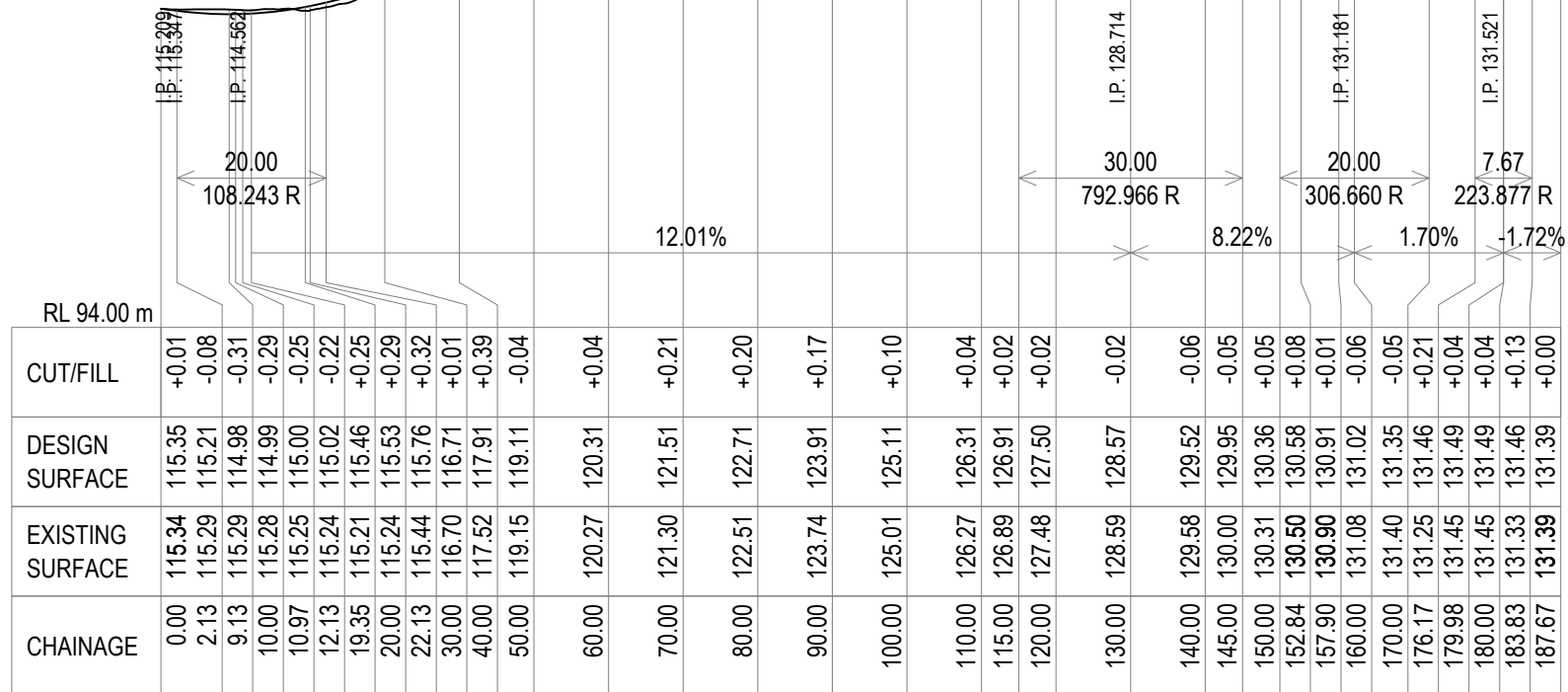
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 DWG NO. **C02** REVISION **P1**
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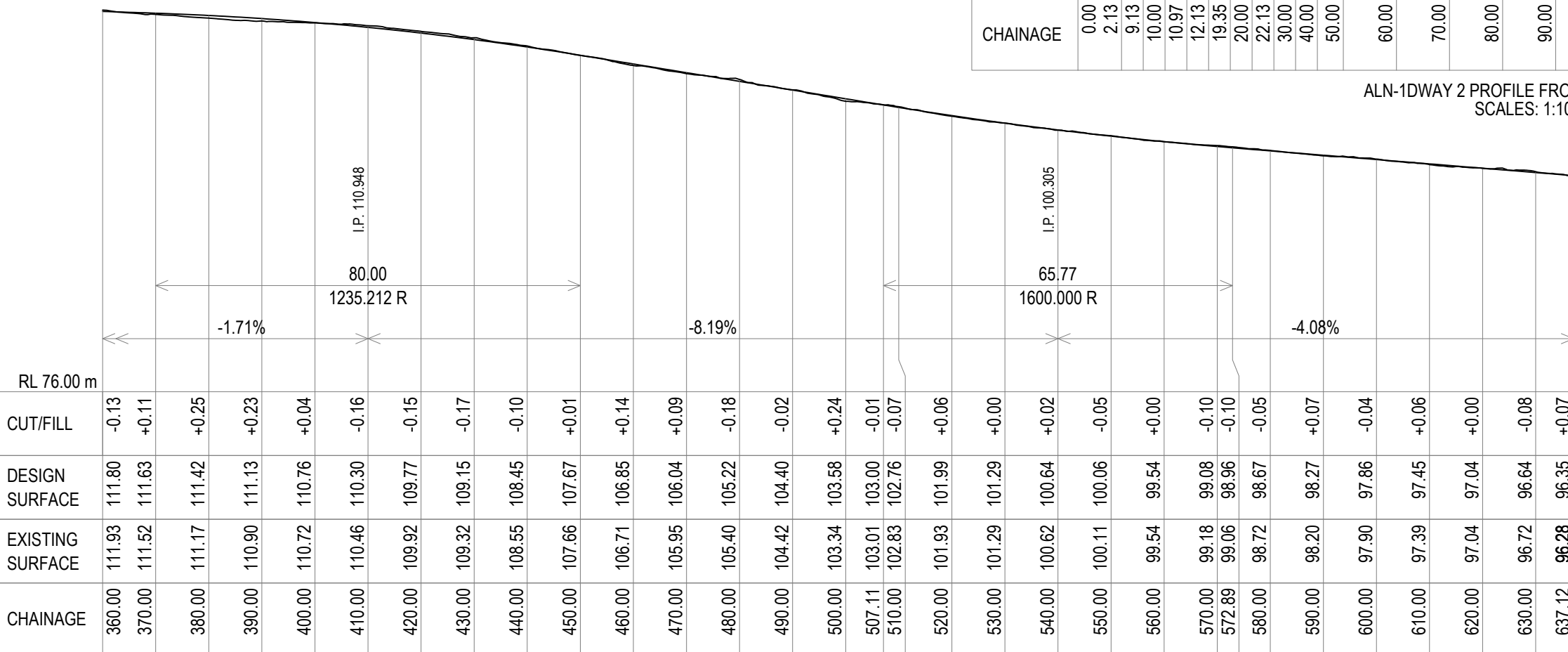


GRAVEL PAVEMENT DETAIL (NEW DWAY, CARPARKING AND TURNING AREAS)

SCALE: 1:10



ALN-1DWAY 2 PROFILE FROM CH 0.000m TO CH 187.665m
 SCALES: 1:1000(H) 1:500(V)



ALN-1DWAY 1 PROFILE FROM CH 360.000m TO CH 637.119m
 SCALES: 1:1000(H) 1:500(V)

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P1 | 29/05/2025 | ISSUED FOR COMMENT

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Accepted CJM (Discipline Head)	Date
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Approved CJM (Principal)	Date

SCALES @ A3	DESIGNED BY	DRAWN BY
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	PLOT DATE	14/10/2025



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PROJECT
4 MARSHTON LANE COPPING

TITLE
CROSS SECTIONS

PROJECT NO.	250184CS
DWG NO.	C03
REVISION	P1
PLOT DETAILS CIVIL 3D-BASE.DWG	



Illustration of Design

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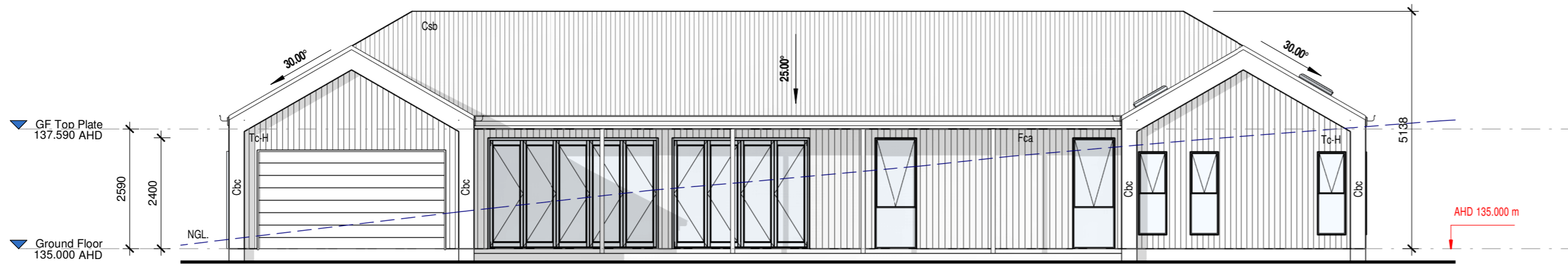
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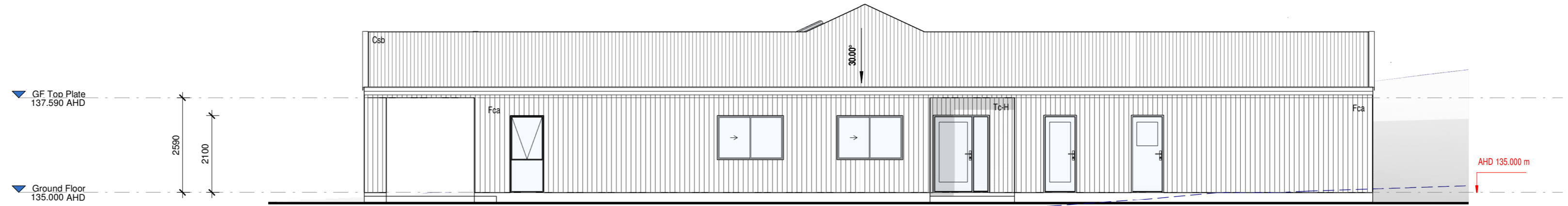
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Csb	Custom Orb Steel Roof Sheeting
Fca	James Hardie Axon Cladding - 133mm Smooth
NGL	NATURAL GROUND LEVEL
Tc-H	'Wood Elements' Horizontal Timber Cladding - 138x21mm profile- Coulee Profile -'Species TBC'(BAL 29 Max rating)



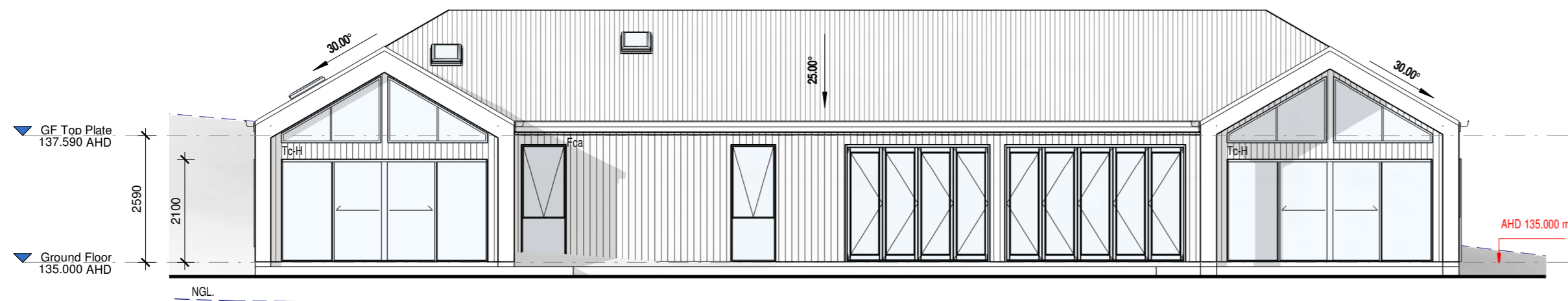
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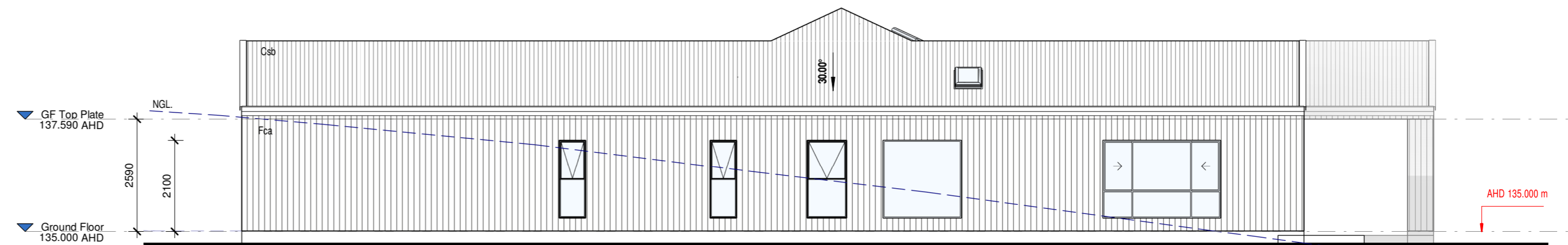
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3 REAR (SOUTH) ELEVATION

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4 RIGHT (WEST) ELEVATION

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Elevations - Primary

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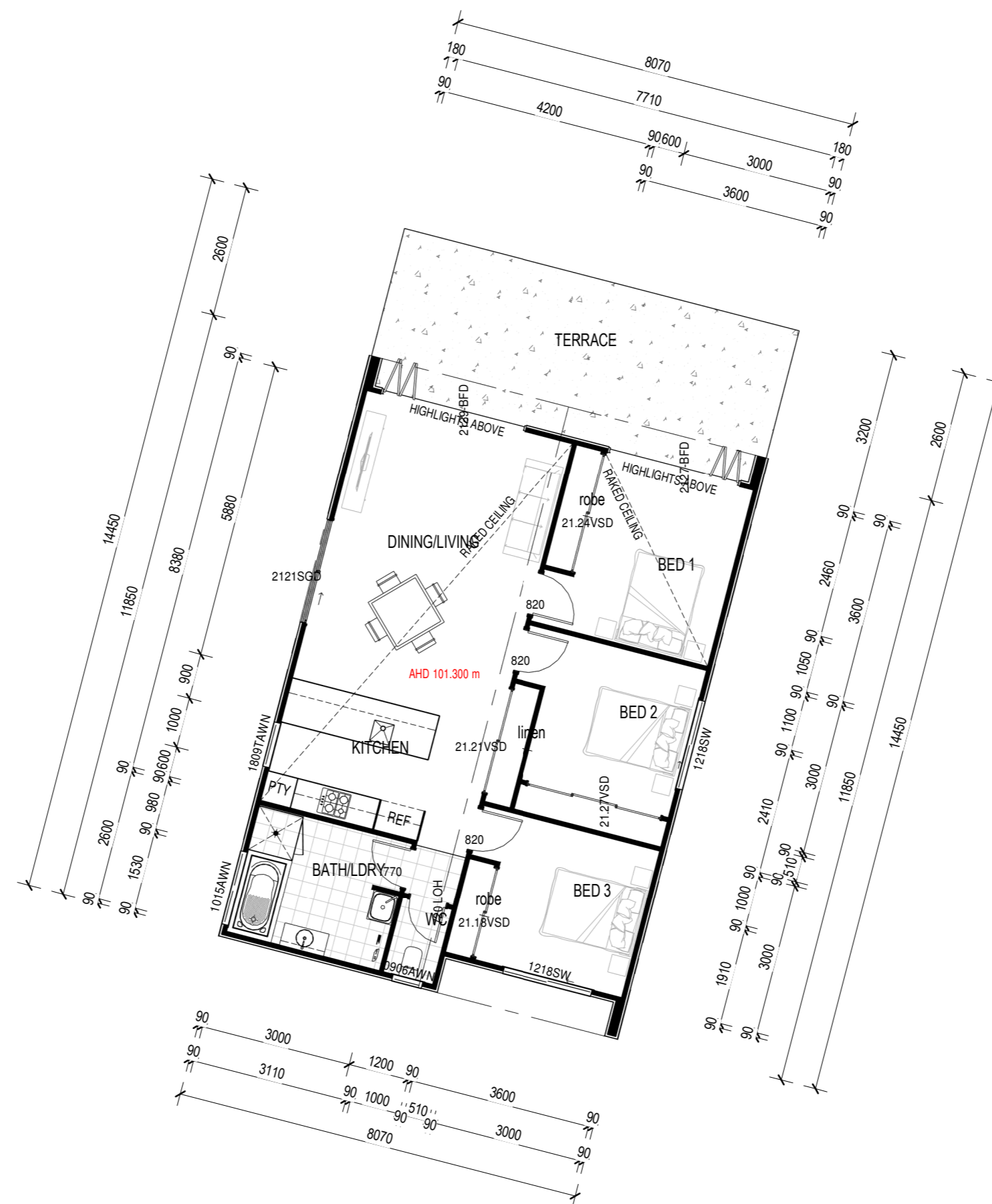
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AREA SCHEDULE

Name	Area
ALFRESCO	19.5 m ²
GARAGE	35.6 m ²
GROUND FLOOR LIVING	297.4 m ²
PATIO	45.2 m ²
PORCH	4.4 m ²
PRIMARY DWELLING	402.1 m ²
Accommodation Dwelling 1	86.5 m ²
Accommodation Dwelling 2	86.5 m ²
SECONDARY DWELLING	173.0 m ²
Grand total	575.1 m ²

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Floor Plan - Accomodation Dwelling

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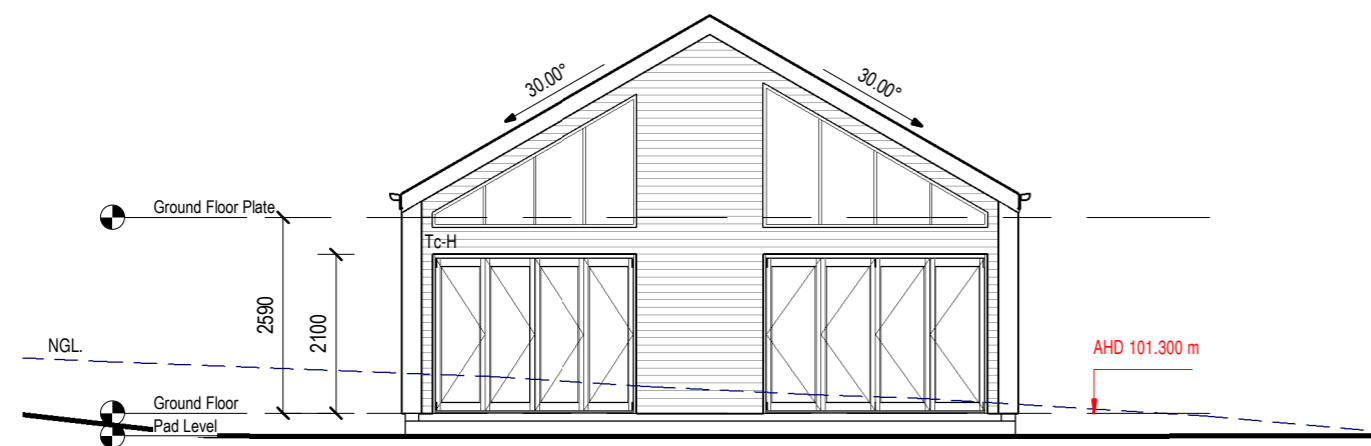
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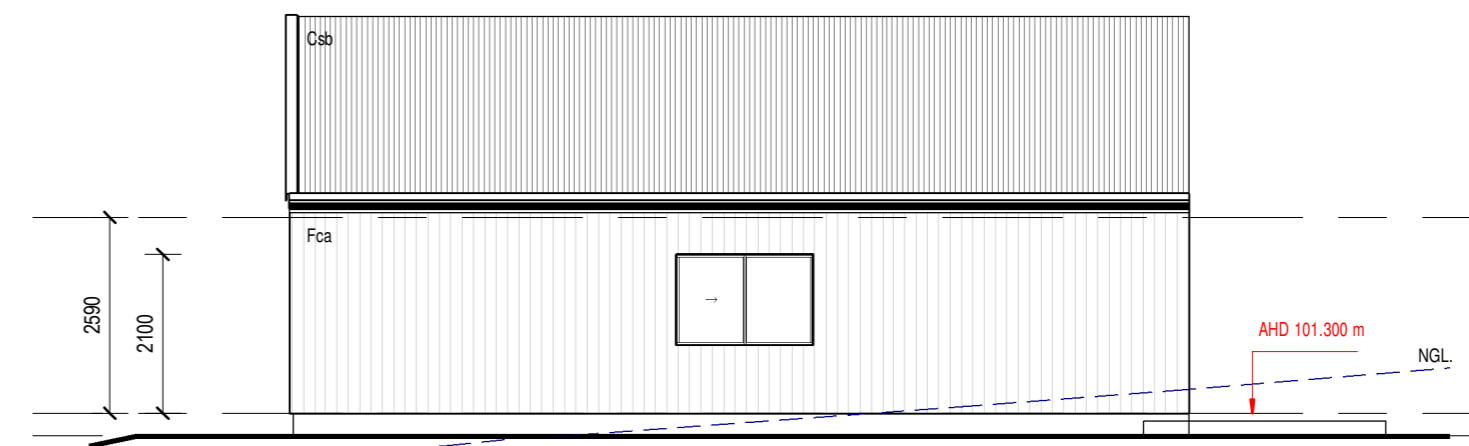
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Fca	James Hardie Axon Cladding - 133mm Smooth
NGL	NATURAL GROUND LEVEL
Tc-H	'Wood Elements' Horizontal Timber Cladding - 138x21mm profile- Coulee Profile -Species TBC'(BAL 29 Max rating)



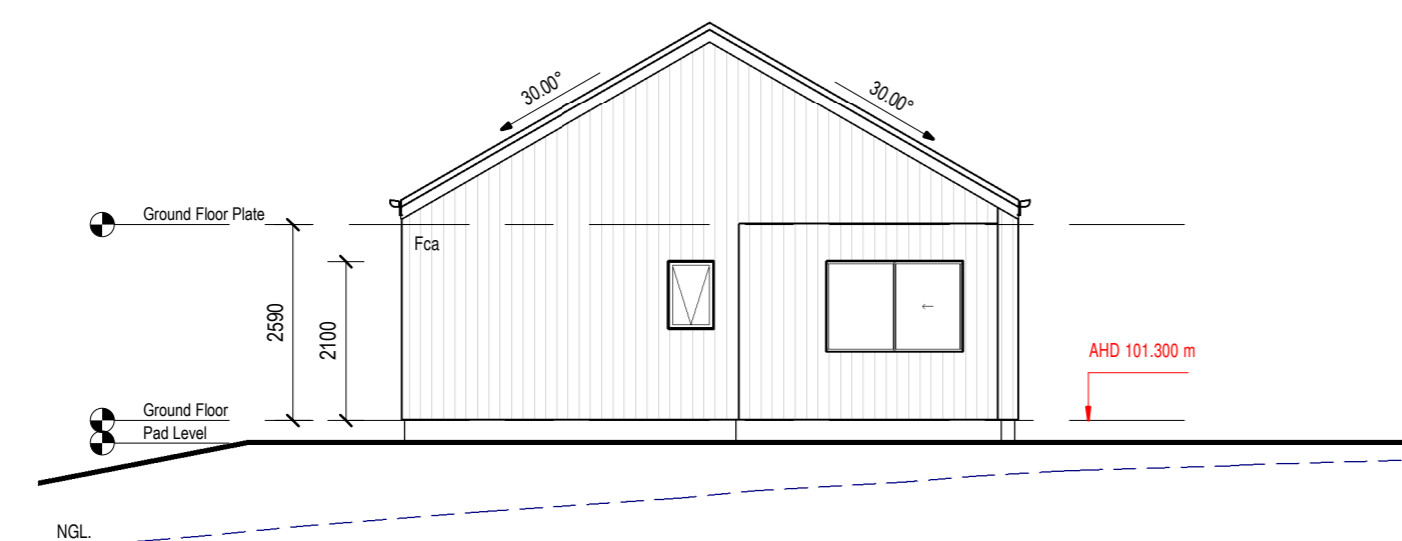
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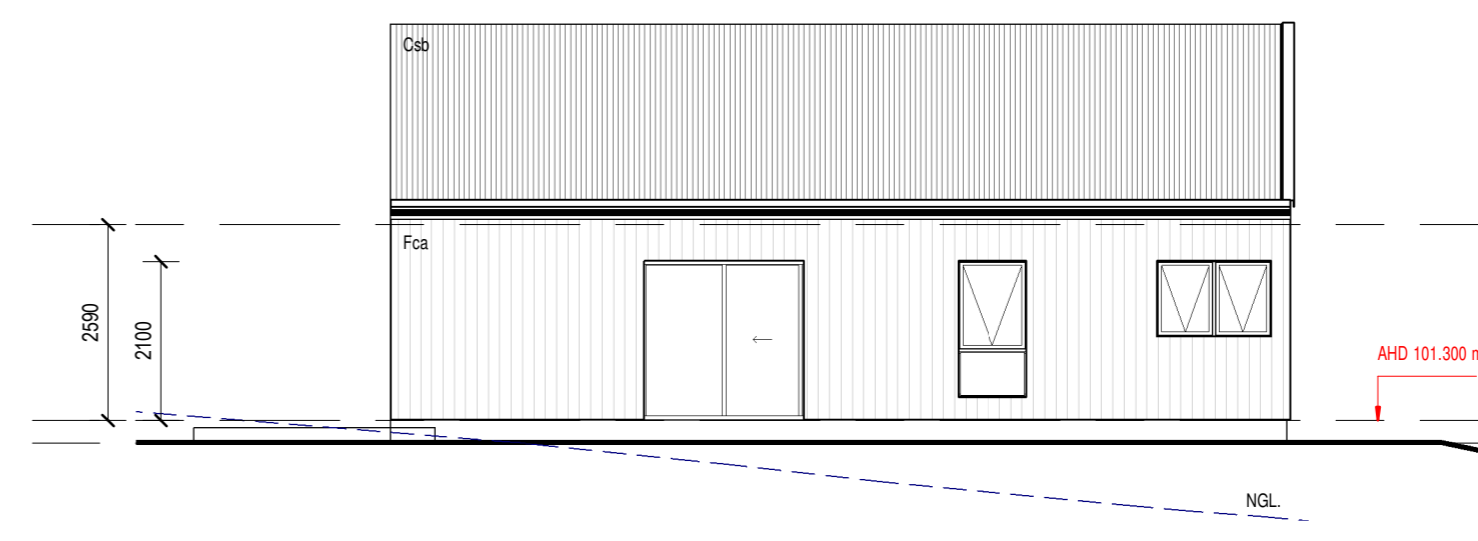
2 ACCOM 1 LEFT (WEST) ELEVATION

1 : 100



3 ACCOM 1 REAR (NORTH) ELEVATION

1 : 100



4 ACCOM 1 RIGHT (EAST) ELEVATION

1 : 100

Elevations - Accomodation Dwelling 1

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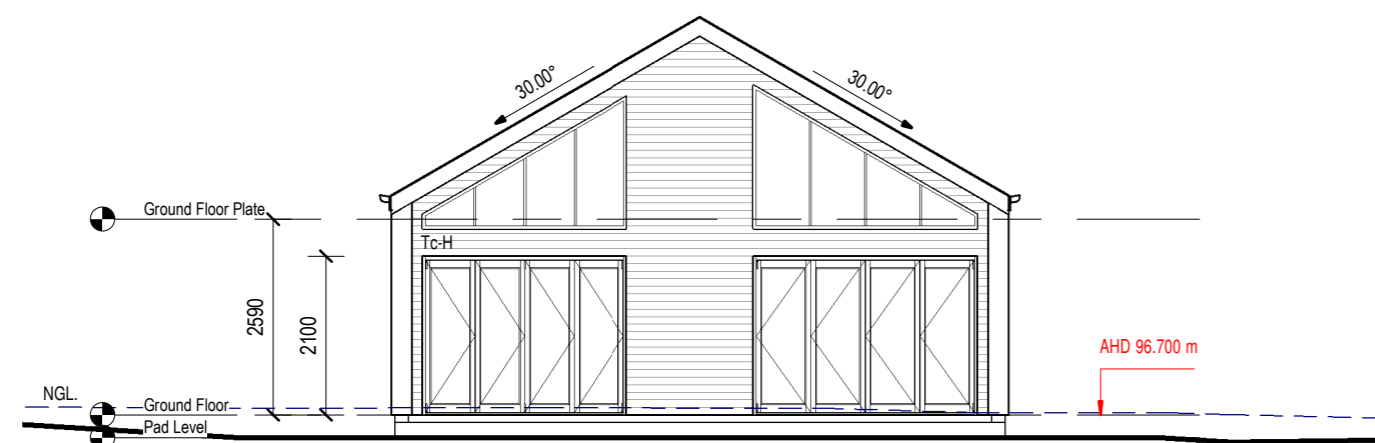


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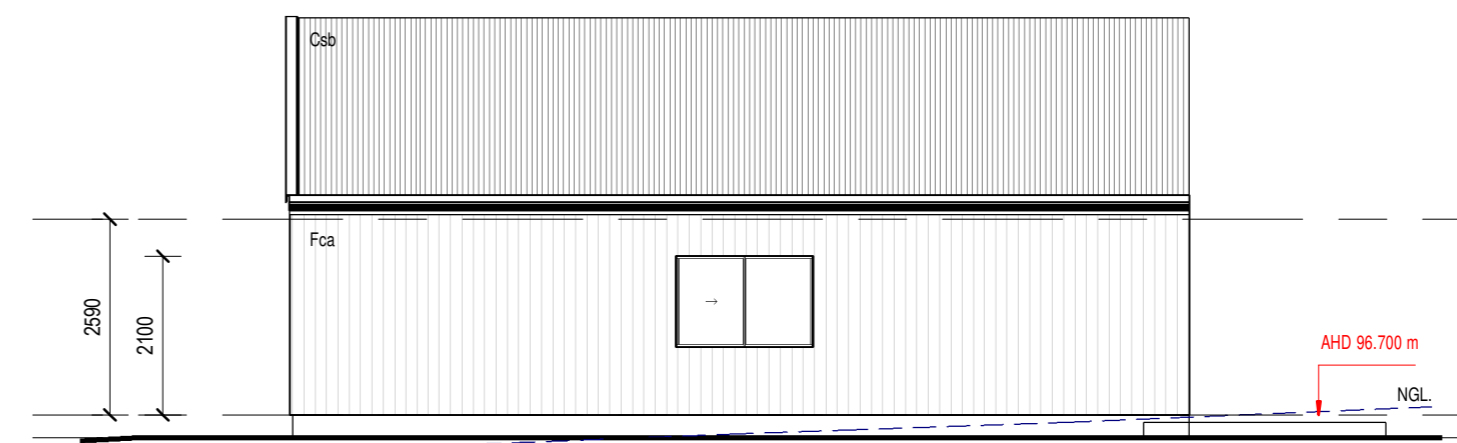
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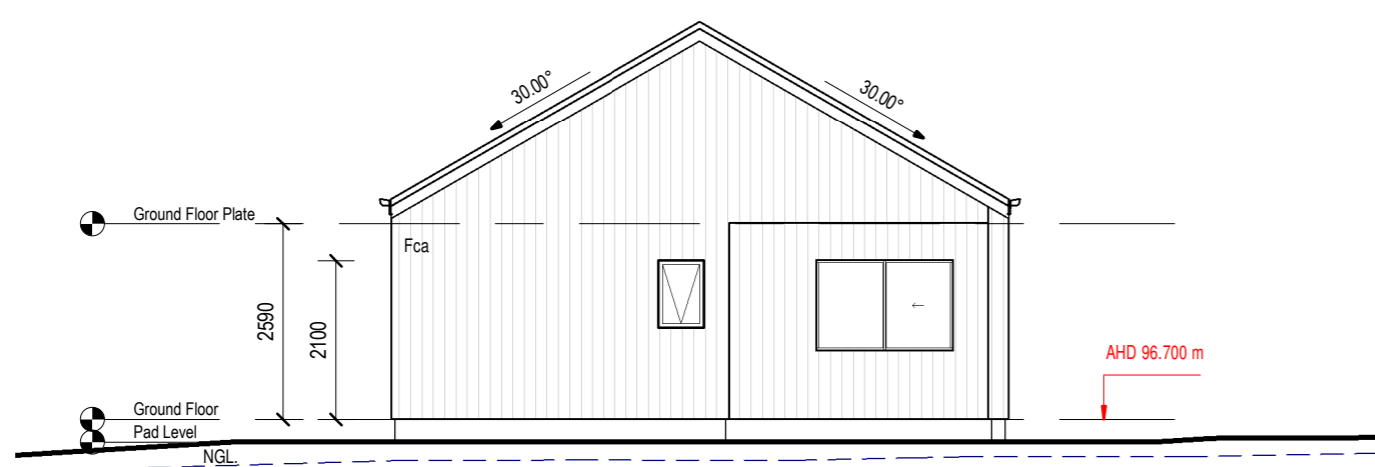
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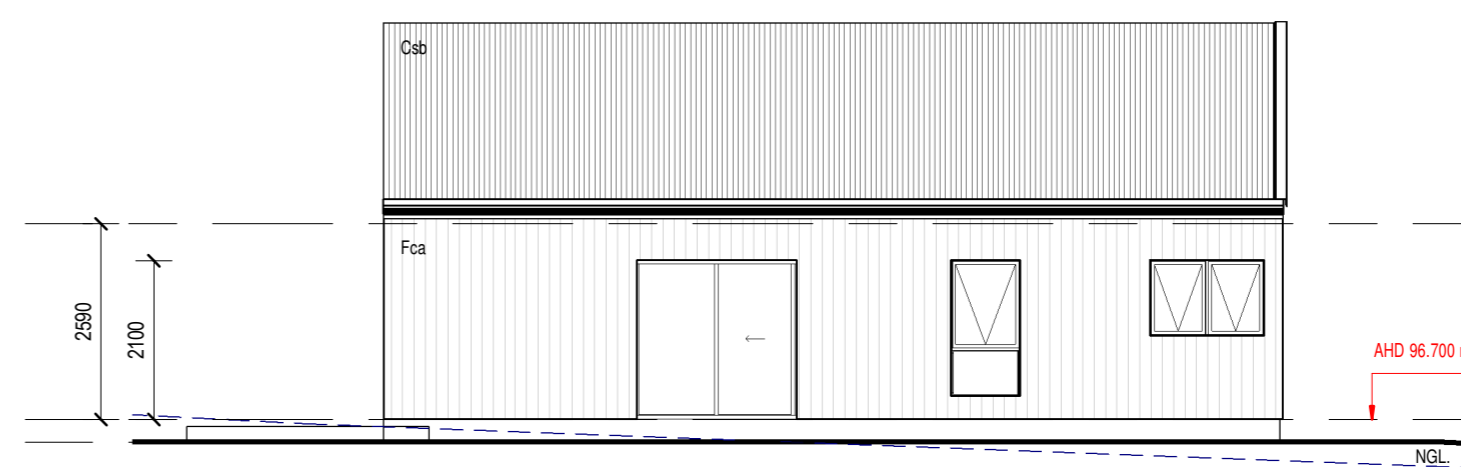
2 ACCOM 2 LEFT (WEST) ELEVATION

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3 ACCOM 2 REAR (NORTH) ELEVATION

1 : 100



4 ACCOM 2 RIGHT (EAST) ELEVATION

1 : 100

Elevations - Accomodation Dwelling 2

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Proposed Residential Development – 4 Marshton Lane, Copping

Bushfire Hazard Report

Applicant: Shannon Campbell



December 2025 J9676v2.0

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Disclaimer

The measures contained in Australian Standard 3959-2018 cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the unpredictable nature and behaviour of fire and extreme weather conditions.

Reasonable steps have been taken to ensure that the information contained within this report is accurate and reflects the conditions on and around the lot at the time of assessment. The assessment has been based on the information provided by you or your designer.

Authorship

This report was prepared by Alice Higgins FPO (planning), BFP - 165 of Geo Environmental Solutions. Base data for mapping: TasMap, Digital and aerial photography: Alice Higgins, GoogleEarth.

1.0 Purpose

This bushfire hazard report is intended to provide information in relation to development in a bushfire-prone area. It will demonstrate compliance with the Building Regulations 2016, and the Directors Determination – Bushfire Hazard Areas, version 1.2, 16th July 2024. Provide a certificate of others (Form 55) as specified by the Director of Building Control for bushfire hazard and give guidance by way of a certified Bushfire Hazard Management Plan (BHMP) which shows a means of protection from bushfires in a form approved by the Chief Fire Officer of the Tasmania Fire Service.

2.0 Summary

Site details & compliance

Title reference	224809/3
PID	3041668
Address	4 Marshton Lane, Copping
Applicant	Shannon Campbell
Municipality	Sorell
Planning Scheme	Tasmanian Planning Scheme – Sorell
Zoning	Rural
Land size	~18.43Ha
Bushfire Attack Level	BAL-12.5 the proposed class 1a habitable building and three class 1b habitable buildings (visitor accommodation)
Certificate of others (Form 55)	Complete and attached
Bushfire Hazard Management Plan	Certified and attached

Development of one new class 1a habitable building, two new class 1b habitable buildings (visitor accommodation), and one change of use of an existing class 1a habitable building to a class 1b habitable building (visitor accommodation) at 4 Marshton Lane, Copping. The development requires demonstrated compliance with the Building Regulations 2016, and the Directors Determination – Bushfire Hazard Areas, version 1.2, 16th July 2024. The site is within a bushfire prone area as defined under the Tasmanian Planning Scheme – Sorell. The Bushfire attack level has been determined as BAL-12.5 the proposed class 1a habitable building and three class 1b habitable buildings (visitor accommodation). Provisions for construction standards, hazard management areas (HMA), property access and water supplies for firefighting will be required as detailed in this report and on the BHMP.

3.0 Introduction

This bushfire hazard report has been completed to form part of supporting documentation for a building permit application for the proposed development. The proposed development site has been identified as being in a bushfire prone area. A site-specific BHMP has been provided for compliance purposes.

4.0 Proposal

The proposal is for the development of one new class 1a habitable building, two new class 1b habitable buildings (visitor accommodation), and one change of use of an existing class 1a habitable building to a class 1b habitable building (visitor accommodation) including associated access and passing bays at 4 Marshton Lane, Copping. This assessment is based on plans provided by the client (Appendix B).

The proposed class 10a building is no closer than 6 metres to the proposed class 1a habitable building and no closer than 6 metres to another class 10a building that is within 6 metres of the proposed class 1a habitable building. Therefore, Division 2 of the Directors Determination does not apply to the proposed class 10a building and has not been considered in this assessment.

5.0 Bushfire Attack Level (BAL) Assessment

5.1 Methods

The bushfire attack level has been determined through the application of section 2 of AS3959-2018 'Simplified Procedure'. Vegetation has been classified using a combination of onsite observations and remotely sensed data to be consistent with Table 2.3 of AS3959-2018. Slope and distances have been determined by infield measurement and/or the use of remotely sensed data (aerial/satellite photography, GIS layers from various sources) analysed with proprietary software systems. Where appropriate vegetation has been classified as low threat.

5.2 Site Description

The proposal is located at 4 Marshton Lane, Copping, in the municipality of Sorell and is zoned Rural under the Tasmanian Planning Scheme - Sorell. Property access is by an existing crossover from Marshton Lane, a council-maintained road. The lot is ~18.43 Ha, is irregular in shape and is located approximately 2.9 km southwest of Tunbridge Hill (Figure 1).

Adjacent lands surrounding the lot are zoned Rural and Agriculture and carry bushfire prone vegetation in the form of fragmented grasslands and forest vegetation. Residential development is scattered throughout the local area occurring to the north, east and south of the sites, with landscape scale forest and woodland vegetation to the west of the sites. The lot carries grassland, shrubland, and forest vegetation which has linkages to landscape scale bushfire-prone vegetation. The lot has gentle to moderate slopes with a north to north-easterly aspect which is likely to influence the bushfire attack at the sites.

Vegetation surrounding the lot was assessed (Tables 1 to 4) and described as 'grassland, shrubland, and forest' (as per AS3959-2018). The classified vegetation potentially having the greatest impact on the site occurs north and west of the sites (Figure 2). The vegetation classification system as defined in AS 3959-2018 Table 2.3 and Figure 2.4 (A to H) has been used to determine vegetation types within 100 metres of the site (Tables 1 to 4).



Figure 1. Site location outlined in pink (Image source: LISTmap 2025).

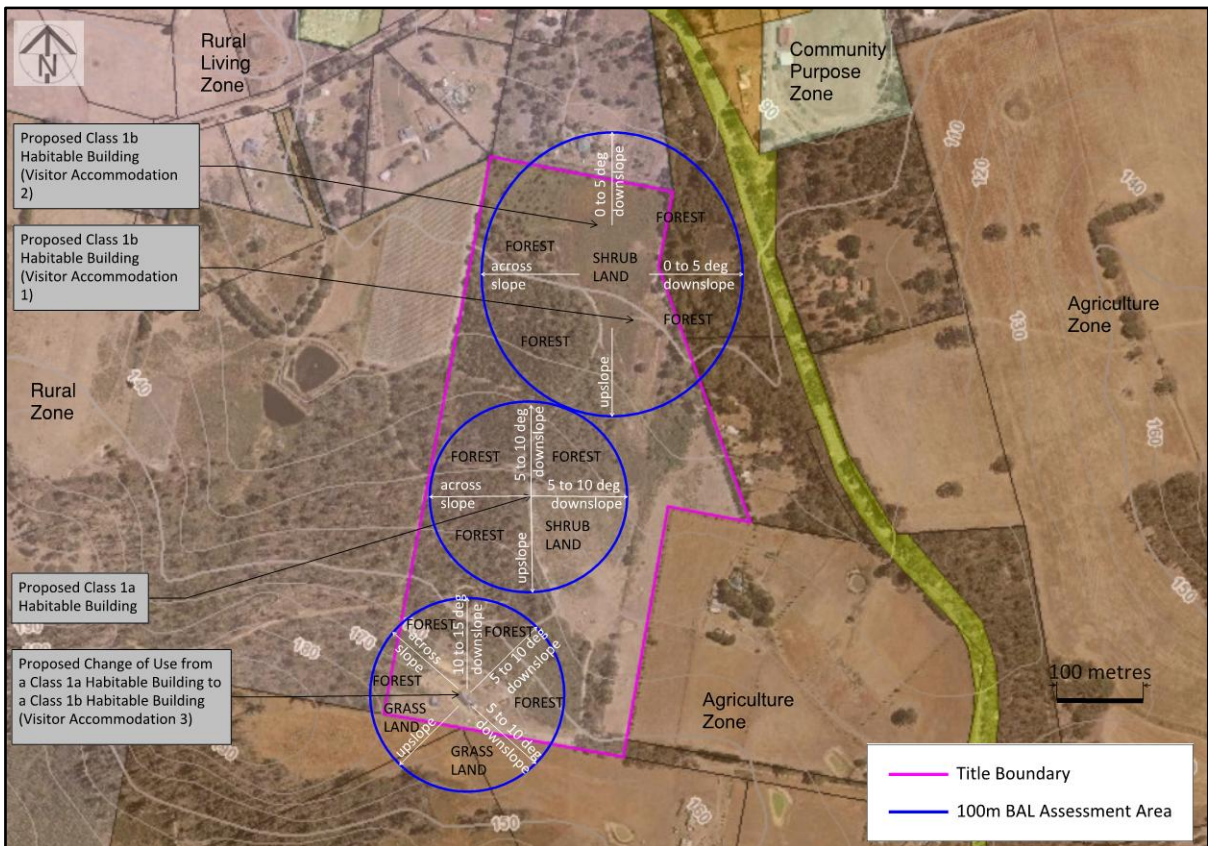


Figure 2. Shows the location of the site (outlined in pink) in the context of the adjacent lands, classified vegetation, and slopes (Image source: LISTmap 2025).

Table 1. Bushfire Attack Level (BAL) Assessment for the proposed class 1a habitable building

Azimuth	Vegetation Classification	Effective Slope	Distance to Bushfire-Prone Vegetation	Hazard Management Area Width	Bushfire Attack Level
North	Shrubland [^]	>5° to 10° downslope	0 to 40 metres	25 metres	BAL-12.5
	Forest [^]	>5° to 10° downslope	40 to >100 metres		
	--	--	--		
	--	--	--		
East	Shrubland [^]	>5° to 10° downslope	0 to >100 metres	25 metres	BAL-12.5
	--	--	--		
	--	--	--		
	--	--	--		
South	Forest [^]	upslope	0 to >100 metres	32 metres	BAL-12.5
	--	--	--		
	--	--	--		
	--	--	--		
West	Forest [^]	flat 0°	0 to >100 metres	32 metres	BAL-12.5
	--	--	--		
	--	--	--		
	--	--	--		

[^] Vegetation classification as per AS3959-2018 and Figures 2.4(A) to 2.4(H).

^{^^} Exclusions as per AS3959-2018, section 2.2.3.2, (a) to (f).

Table 2. Bushfire Attack Level (BAL) Assessment for the proposed class 1b habitable building (Visitor Accommodation No. 1)

Azimuth	Vegetation Classification	Effective Slope	Distance to Bushfire-Prone Vegetation	Hazard Management Area Width	Bushfire Attack Level
North	Forest [^]	>0 to 5° downslope	0 to >100 metres	38 metres	BAL-12.5
	--	--	--		
	--	--	--		
	--	--	--		
East	Forest [^]	>0 to 5° downslope	0 to >100 metres	38 metres	BAL-12.5
	--	--	--		
	--	--	--		
	--	--	--		
South	Forest [^]	upslope	0 to >100 metres	32 metres	BAL-12.5
	--	--	--		
	--	--	--		
	--	--	--		
West	Forest [^]	flat 0°	0 to >100 metres	32 metres	BAL-12.5
	--	--	--		
	--	--	--		
	--	--	--		

[^] Vegetation classification as per AS3959-2018 and Figures 2.4(A) to 2.4(H).

^{^^} Exclusions as per AS3959-2018, section 2.2.3.2, (a) to (f).

Table 3. Bushfire Attack Level (BAL) Assessment for the proposed class 1b habitable building (Visitor Accommodation No. 2)

Azimuth	Vegetation Classification	Effective Slope	Distance to Bushfire-Prone Vegetation	Hazard Management Area Width	Bushfire Attack Level
North	Forest [^]	>0 to 5° downslope	0 to >100 metres	38 metres	BAL-12.5
	--	--	--		
	--	--	--		
	--	--	--		
East	Forest [^]	>0 to 5° downslope	0 to >100 metres	38 metres	BAL-12.5
	--	--	--		
	--	--	--		
	--	--	--		
South	Forest [^]	upslope	0 to >100 metres	32 metres	BAL-12.5
	--	--	--		
	--	--	--		
	--	--	--		
West	Forest [^]	flat 0°	0 to >100 metres	32 metres	BAL-12.5
	--	--	--		
	--	--	--		
	--	--	--		

[^] Vegetation classification as per AS3959-2018 and Figures 2.4(A) to 2.4(H).

^{^^} Exclusions as per AS3959-2018, section 2.2.3.2, (a) to (f).

Table 4. Bushfire Attack Level (BAL) Assessment for the proposed change of use of an existing class 1a habitable building to a class 1b habitable building (Visitor Accommodation No. 3)

Azimuth	Vegetation Classification	Effective Slope	Distance to Bushfire-Prone Vegetation	Hazard Management Area Width	Bushfire Attack Level
North	Grassland [^]	>10° to 15° downslope	0 to 48 metres	56 metres	BAL-12.5
	Forest [^]	>10° to 15° downslope	48 to >100 metres		
	--	--	--		
	--	--	--		
North-east	Grassland [^]	>5° to 10° downslope	0 to 36 metres	46 metres	BAL-12.5
	Forest [^]	>5° to 10° downslope	36 to >100 metres		
	--	--	--		
	--	--	--		
South-east	Grassland [^]	>5° to 10° downslope	0 to >100 metres	20 metres	BAL-12.5
	--	--	--		
	--	--	--		
	--	--	--		
South-west	Grassland [^]	upslope	0 to >100 metres	20 metres	BAL-12.5
	--	--	--		
	--	--	--		
	--	--	--		
North-west	Grassland [^]	flat 0°	0 to 50 metres	32 metres	BAL-12.5
	Forest [^]	flat 0°	50 to >100 metres		
	--	--	--		
	--	--	--		

[^] Vegetation classification as per AS3959-2018 and Figures 2.4(A) to 2.4(H).

^{^^} Exclusions as per AS3959-2018, section 2.2.3.2, (a) to (f).

6.0 Results

The bushfire attack level for the site has been determined as BAL-12.5 the proposed class 1a habitable building and three class 1b habitable buildings (visitor accommodation). There is a risk of ember attack and burning debris ignited by wind borne embers and a likelihood of exposure to increasing levels of radiant heat at the site. The construction components are expected to withstand a maximum heat flux of 12.5 kW/m².

6.1 Construction Standards

The proposed new class 1a habitable building, two new class 1b habitable buildings (visitor accommodation), and the change of use of an existing class 1a habitable building to a class 1b habitable building (visitor accommodation) must be constructed to BAL-12.5 standards in accordance with Sections 3 and 5 of AS3959-2018.

6.2 Property Access

Property access is greater than 200 metres to the static firefighting water supplies. Property access design and construction standards will apply as per Clause 2.3.2 and Table 2 Elements B and C of the Directors Determination – Bushfire Hazard Areas, v1.2, 16th July 2024 as below:

Element B

- all- weather construction,
- load capacity of at least 20 t, including for bridges and culverts,
- minimum carriageway width of 4 m,
- minimum vertical clearance of 4 m,
- minimum horizontal clearance of 0.5 m from the edge of the carriageway,
- cross falls of less than 3 degrees (1:20 or 5%),
- dips less than 7 degrees (1:8 or 12.5%) entry and exit angle,
- curves with a minimum inner radius of 10 m,
- maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads, and
- terminate with a turning area for fire appliances provided by one of the following:
 - a turning circle with a minimum outer radius of 10m, or
 - a property access encircling the building, or
 - a hammerhead “T” or “Y” turning head 4 m wide and 8 m long.

Element C

The following design and construction requirements apply to property access >200 metres long:

- passing bays of 2 metres additional carriageway width and 20 metres length provided every 200 metres.

6.3 Water Supplies for Firefighting

The site is not serviced by a reticulated water supply. Therefore, a static water supply and associated infrastructure for firefighting is required in accordance with Clause 2.3.3 and Table 3B of the Directors Determination – Bushfire Hazard Areas, v1.2, 16th July 2024.

Table 5. Requirements for Static Water Supplies dedicated for Firefighting

Element		Requirement
A.	Distance between building area to be protected and water supply	The following requirements apply: (a) The building area to be protected must be located within 90 metres of the firefighting water point of a static water supply; and (b) The distance must be measured as a hose lay, between the firefighting water point and the furthest part of the building area.
B.	Static Water Supplies	A static water supply: (a) May have a remotely located offtake connected to the static water supply, (b) May be a supply for combined use (firefighting and other uses) but the specified minimum quantity of firefighting water must always be available, (c) Must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose including firefighting sprinkler or spray systems, (d) Must be metal, concrete or lagged by non-combustible materials if above ground, and (e) If a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959:2018, the tank may be constructed of any material provided that the lowest 400 mm of the tank exterior is protected by: (i) metal, (ii) non-combustible material, or (iii) fibre-cement a minimum of 6 mm thickness.
C.	Fittings, pipework and accessories (including stands and tank supports)	Fittings and pipework associated with a firefighting water point for a static water supply must: (a) Have a minimum nominal internal diameter of 50 mm, (b) Be fitted with a valve with a minimum nominal internal diameter of 50 mm, (c) Be metal or lagged by non-combustible materials if above ground, (d) Where buried, have a minimum depth of 300 mm, (e) Provide a DIN or NEN standard forged Storz 65 mm coupling fitted with a suction washer for connection to firefighting equipment, (f) Ensure the coupling is always accessible and available for connection, (g) Ensure the coupling is fitted with a blank cap and securing chain (minimum 220 mm length), (h) Ensure underground tanks have either an opening at the top of not less than 250 mm diameter or a coupling compliant with this Table, and (i) Where a remote offtake is installed, ensure the offtake is in a position that is: (i) Visible, (ii) Accessible to allow connection by firefighting equipment, (iii) At a working height of 450 – 600 mm above ground level, and (iv) Protected from possible damage, including damage by vehicles.
D.	Signage for static water connections	The firefighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must: (a) comply with water tank signage requirements within AS 2304:2019, or (b) comply with the Tasmania Fire Service Water Supply Signage Guideline published by the Tasmania Fire Service.
E.	Hardstand - A hardstand area for fire appliances must be provided:	(a) No more than three metres from the firefighting water point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like), (b) No closer than six metres from the building area to be protected, (c) With a minimum width of three metres constructed to the same standard as the carriageway, and (d) Connected to the property access by a carriageway equivalent to the standard of the property access.

6.4 Hazard Management Area

A HMA will need to be established and maintained for the life of the development and is shown on the BHMP. Guidance for the establishment and maintenance of the HMA is given below and on the BHMP.

A HMA is the area, between a habitable building or building area and the bushfire prone vegetation, which provides access to a fire front for firefighting, which is maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire. This can be achieved through but is not limited to the following strategies.

- Remove fallen limbs, sticks, leaf and bark litter,
- Maintaining grass at less than a 100mm height,
- Avoid or minimise the use of flammable mulches (especially against buildings),
- Thin out under-story vegetation to provide horizontal separation between fuels,
- Prune low-hanging tree branches (<2 metres from the ground) to provide vertical separation between fuel layers,
- Remove and or prune larger trees to maintain a 6-metre horizontal separation between canopies,
- Minimise the storage of flammable materials such as firewood,
- Maintaining vegetation clearance around vehicular access,
- Use low-flammability plant species for landscaping purposes where possible, and
- Clear out any accumulated leaf and other debris from roof gutters and other debris accumulation points.

HMA Maintenance

The established HMA must be maintained in a minimal fuel state for bushfire protection mechanisms to be effective. The need to maintain an effective HMA into the future must be considered when planting gardens and landscaping. An annual inspection and maintenance of the HMA should be conducted prior to the bushfire season. It is particularly important that any flammable fine fuels at ground level such as leaves, litter and wood piles are suitably managed.

Any additional fire protection measures implemented by the owners such as fire pumps and sprinkler systems must be tested regularly to ensure functionality.

7.0 Compliance

Table 6. Compliance with the Directors Determination - Bushfire Hazard Areas, version 1.2, 16th July 2024.

Requirements	Compliance
2.3.1 Design & Construction Requirements	<p>Clause 2.3.1 requires buildings to be constructed in accordance with AS3959-2018 or NASH standard – Steel Framed Construction in Bushfire Areas consistent with the BAL determined for the site.</p> <p>The BHMP specifies construction to BAL-12.5 the proposed class 1a habitable building and three class 1b habitable buildings (visitor accommodation) standards of AS3959-2018.</p> <p>If the proposed buildings are designed and constructed in accordance with the above construction standards, the development will comply with clause 2.3.1.</p>
2.3.2 Property Access	<p>Clause 2.3.2 requires property access to be designed and constructed to comply with Table 2 of the determination and is applicable from the public roadway to within (at minimum) 90 metres of the furthest part of the building/s and includes access to a hardstand for the firefighting water point.</p> <p>Property access is greater than 200 metres in length and therefore design and construction requirements specified in this report are required for compliance with Table 2.</p> <p>If the requirements of section 6.2 of this report are implemented the proposal will comply with clause 2.3.2.</p>
2.3.3 Water Supply for Firefighting	<p>Clause 2.3.3 requires that a new building constructed in a bushfire-prone area is provided with a dedicated firefighting water supply in accordance with Tables 3A or 3B.</p> <p>Static water supplies consistent with Table 3B have been specified in this report and are required for compliance on the BHMP.</p> <p>If the requirements of section 6.3 of this report are implemented the proposal will comply with clause 2.3.3.</p>
2.3.4 Hazard Management Areas	<p>Clause 2.3.4 requires that new buildings in bushfire-prone areas are provided with an HMA which is compliant with Table 4. The HMA must have the minimum separation distances required for the BAL determined for the site and, have an HMA established which reduces fuels and other hazards so that fuels and other hazards do not significantly contribute to the bushfire attack.</p> <p>HMA's are shown on the BHMP and are specified to the minimum widths required to achieve BAL-12.5 the proposed class 1a habitable building and three class 1b habitable buildings (visitor accommodation). This report and the BHMP specify requirements for hazard management areas.</p> <p>If the HMA's are established in accordance with the BHMP the proposal will comply with clause 2.3.4</p>
2.3.5 Emergency Plan	<p>The proposal is for the construction of a class 1a building and 2 class 1b buildings (visitor accommodation), and a change of use of an existing class 1a habitable building to a class 1b habitable building (visitor accommodation). In this circumstance, Emergency Plans will be required for compliance for the three visitor accommodation buildings and are required prior to occupancy.</p>
3. Bushfire Hazard Management Plan and Certificate	<p>A bushfire hazard management plan has been prepared for work for which this division applies and has been certified in accordance with the Chief Officers requirements by an accredited person.</p>

8.0 Guidance

The defensible space (HMA) around a building is critical for providing occupants and/or fire fighters with safe access to the building in order that firefighting activities may be undertaken. The larger the defensible space, the safer it will be for those defending the structure. Some desirable characteristics of a hazard management area are:

- The area directly adjacent to the building has a significant amount of flammable material removed such that there is little to no material available to burn around the building,
- Includes non-flammable areas such as paths, driveways, managed lawns,
- Establishment of orchards, vegetable gardens, dams or wastewater effluent disposal areas on the fire prone side of the building,
- Creating wind breaks and radiation shields such as non-combustible fences and low flammability hedges, and
- It is not necessary to remove all vegetation from the defensible space, trees can provide protection from wind borne embers and radiant heat in some circumstances.

9.0 Further Information

For further information on preparing yourself and your property for bushfires visit the Tasmania Fire Service website at www.fire.tas.gov.au or phone 1800 000 699 for information on:

- Preparing a bushfire survival plan
- Preparing yourself and your home for a bushfire
- Guidelines for development in bushfire prone areas in Tasmania
- Fire resisting plants for the urban fringe and rural areas
- Using fire outdoors
- Fire permits
- Total fire bans
- Bushfires burning in Tasmania

10.0 Glossary and Abbreviations

AS – Australian Standard

BAL – Bushfire Attack Level – A means of measuring the severity of a building’s potential exposure to ember attack, radiant heat, and direct flame contact, using increments of radiant heat expressed in kilowatts per metre squared, and the basis for establishing the requirements for construction to improve protection of building elements from attack by bushfire (AS3959-2018).

BFP – Bushfire Practitioner – An accredited practitioner recognised by Tasmania Fire Service.

BHMP – Bushfire Hazard Management Plan – A plan for an individual habitable building or subdivision identifying separation distances required between a habitable building(s) and bushfire-prone vegetation based on the BAL for the site. The BHMP also indicates requirements for construction, property access and firefighting water.

Class 1a building – A single habitable building, being a detached house, or one of a group of attached habitable buildings being a town house, row house or the like (NCC 2022).

Class 1b Building – A boarding house, guest house, or hotel that has a floor area less than 300m² and ordinarily has less than 12 people living in it. It can also be four or more single dwellings located on one allotment which are used for short-term holiday accommodation.

deg – degrees

FDI – fire danger index – Relates to the chance of a fire starting, its rate of spread, its intensity, and the difficulty of its suppression, according to various combinations of air temperature, relative humidity, wind speed and both the long- and short-term drought effects (AS3959-2018).

ha – hectares

HMA – Hazard Management Area – The area, between a habitable building or building area and the bushfire-prone vegetation, which provides access to a fire front for firefighting, which is maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire.

km - kilometres

m – metres

mm – millimetres

NASH – National Association of Steel Framed Housing

t – tonnes

11.0 References

Australian Building Codes Board, National Construction Code, Building Code of Australia, Australian Building Codes Board, Canberra.

Building Act 2016. The State of Tasmania Department of Premier and Cabinet.

Building Regulations 2016. The State of Tasmania Department of Premier and Cabinet.

Directors Determination – Bushfire Hazard Areas, version 1.2 16th July 2024. Director of Building Control.

LISTmap 2025. Land Information System Tasmania, Tasmania Government.

Standards Australia, AS3959-2018 Construction of buildings in bushfire-prone areas. Sydney, NSW., Australia.

Tasmania Fire Service 2020, Building for Bushfire – Planning and Building in Bushfire-Prone Areas for Owners and Builders. Tasmania Fire Service, Tasmania.

Tasmanian Planning Scheme – Sorell, Tasmanian Planning Commission 2015, Tasmanian Planning Commission, Hobart.

12.0 Limitations Statement

This bushfire hazard report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the applicant named in section 2. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that described in this report. In preparing this report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible bushfire hazard condition and does not provide a guarantee that no loss of property or life will occur as a result of bushfire. As stated in AS3959-2018 "It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions". In addition, no responsibility is taken for any loss which is a result of actions contrary to AS3959-2018 or the Tasmanian Planning Commission Bushfire code.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required. No responsibility is accepted for use of any part of this report in any other context or for any other purpose by third party.

Appendix A - Site Photos



Figure 3. Northern azimuth from the site of the proposed class 1a habitable building looking at shrubland and forest 5 to 10 degrees downslope.



Figure 4. Eastern azimuth from the site of the proposed class 1a habitable building looking at shrubland 5 to 10 degrees downslope.



Figure 5. Northern azimuth from the site of the proposed class 1b habitable building (visitor accommodation 1) looking at forest 0 to 5 degrees downslope.

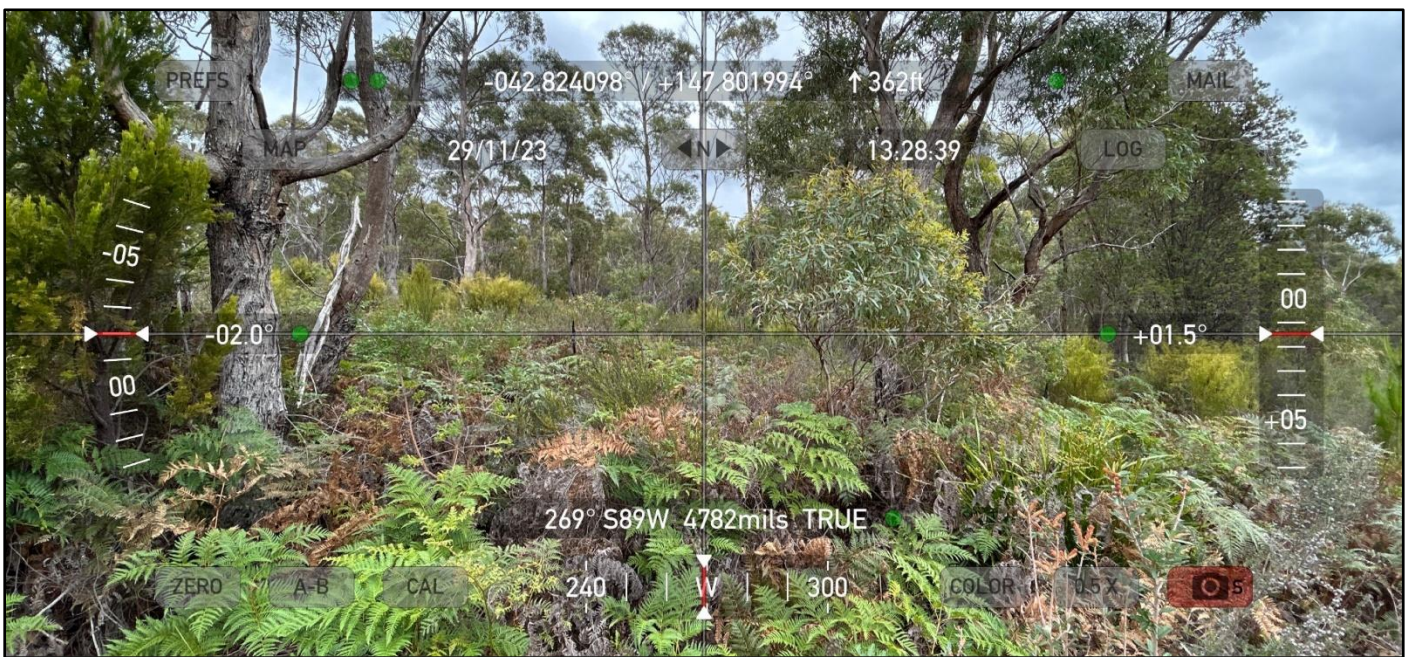


Figure 6. Western azimuth from the site of the proposed class 1b habitable building (visitor accommodation 1) looking at forest across slope.



Figure 7. Southern azimuth from the site of the proposed class 1b habitable building (visitor accommodation 2) looking at forest upslope.

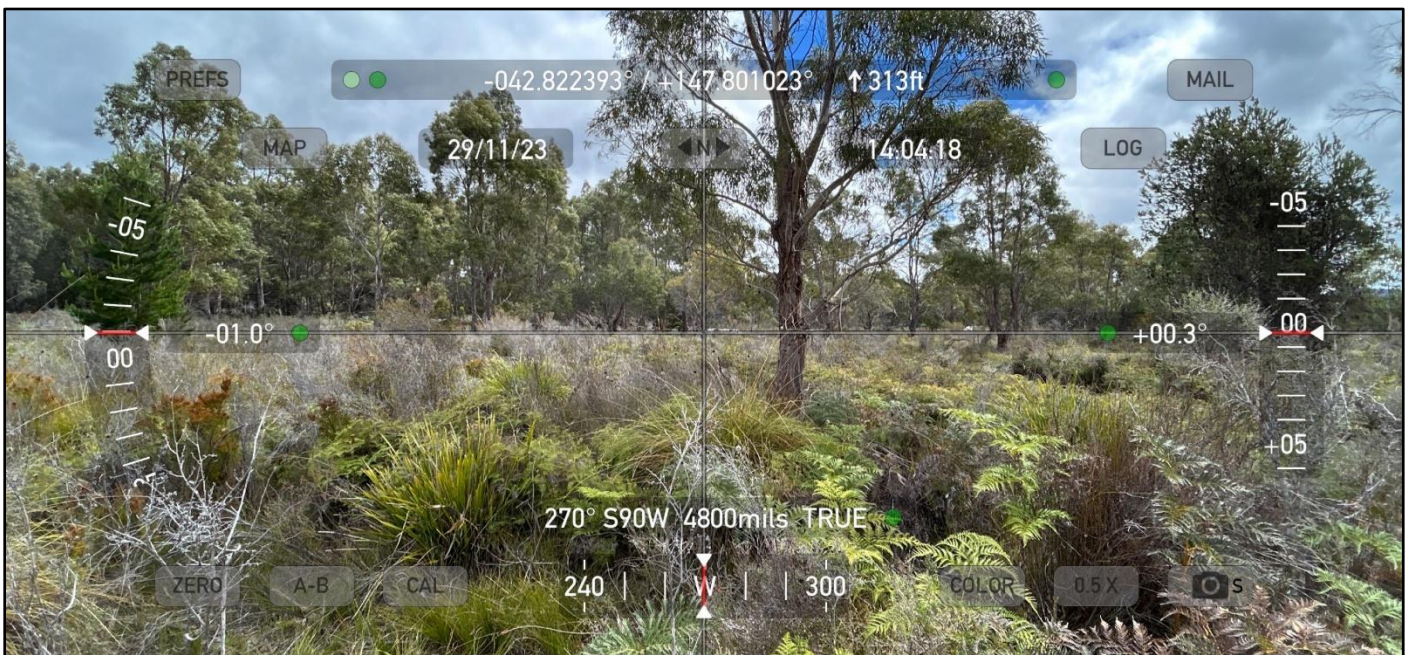


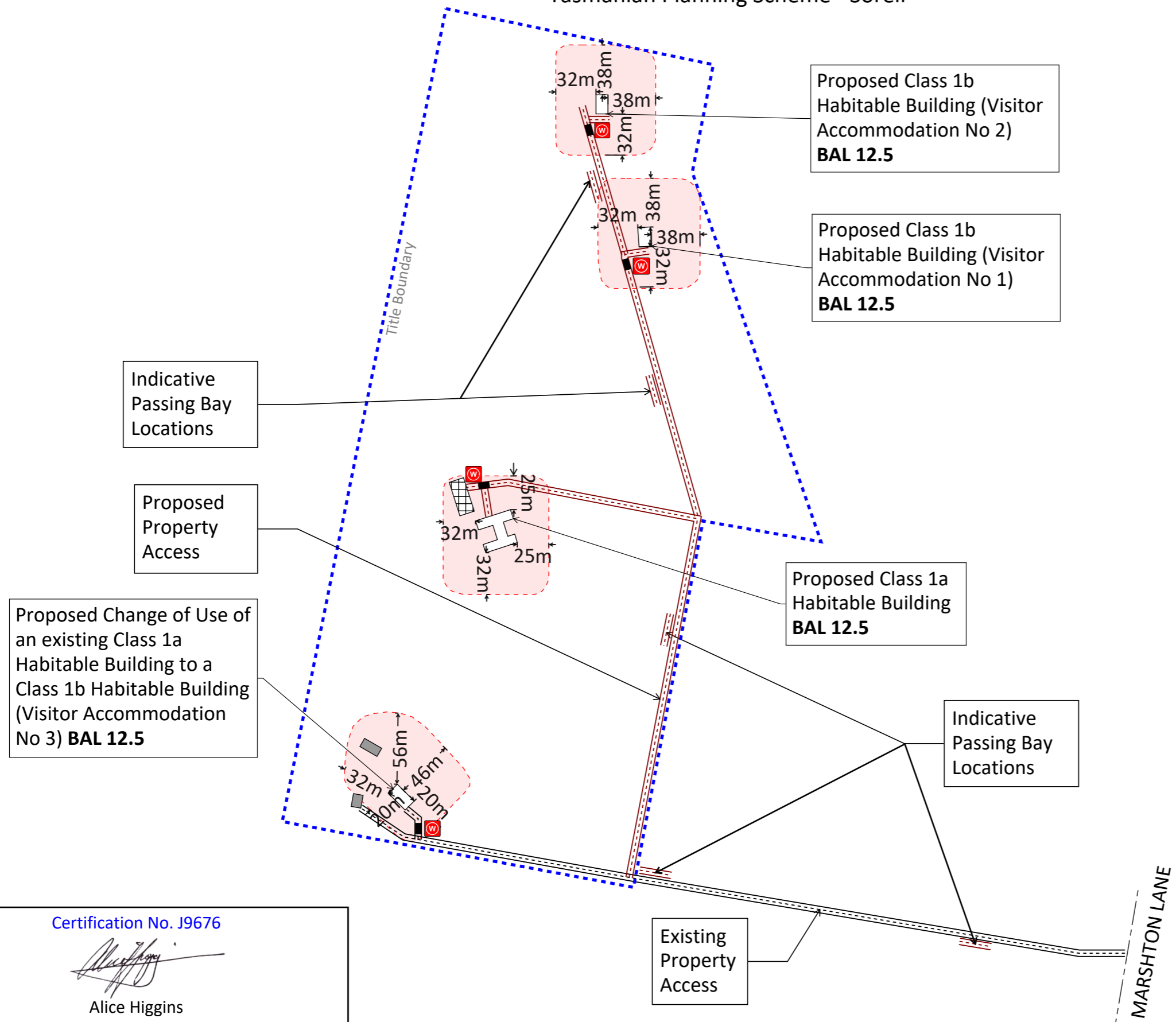
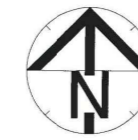
Figure 8. Western azimuth from the site of the proposed class 1b habitable building (visitor accommodation 2) looking at forest across slope.



Figure 9. North-eastern azimuth from the site of the change of use of an existing class 1a habitable building to a class 1b habitable building (visitor accommodation 3) looking at grassland and forest 5 to 10 degrees downslope.



Figure 10. South-eastern azimuth from the site of the change of use of an existing class 1a habitable building to a class 1b habitable building (visitor accommodation 3) looking at grassland 5 to 10 degrees downslope.



- Proposed Class 1a and Class 1b Habitable Buildings
- Proposed Class 10a Building
- Existing Class 10a Buildings
- Existing Property Access with Proposed Passing Bays
- Proposed Property Access with Passing Bays
- Hazard Management Area
- Indicative Hardstand and Turning Head
- Indicative Static Fire Fighting Water Supply and Connection Point

Building Specifications to BAL-12.5 for the proposed class 1a habitable building, two Class 1b habitable buildings (visitor accommodation), and change of use of an existing class 1a habitable building to a class 1b habitable building (visitor accommodation) of AS3959-2018

Certification No. J9676

 Alice Higgins
 Acc. No. BFP-165
 Scope 1, 2, 3A, 3B, 3C.

Do not scale from these drawings. Dimensions to take precedence over scale. Written specifications to take precedence over diagrammatic representations.

Client Name and Address:
 Shannon Campbell
 c/o 4 Marshon Lane
 Copping, TAS, 7174

C.T.: 224809/3
 PID: 3041668

The Bushfire Hazard Management Plan is to be printed at A3 in colour and read in conjunction with the Bushfire Hazard Report for the proposed class 1a habitable building and three class 1b habitable buildings (visitor accommodation) at 4 Marshon Lane, Copping(GES, 8th December 2025, J9676v2.0)

Drawing Number:
 A01

Sheet 1 of 2
 Prepared by:
 Alice Higgins

Design and Specification Requirements

Requirements for Construction

The proposed class 1a habitable building, two class 1b habitable buildings (visitor accommodation), and change of use of an existing class 1a habitable building to a class 1b habitable building (visitor accommodation) must be constructed to BAL-12.5 standards in accordance with Sections 3 and 5 of AS3959-2018.

Requirements for Property Access

Property access is greater than 200 metres long, and access is required for a fire appliance to access a water connection point.

Property access is required to comply with Table 2 Elements B and C of the Directors Determination - Bushfire Hazard Areas, version 1.2, 16th July 2024.

The following design and construction requirements apply to property access:

Element B:

- (a) All-weather construction;
- (b) Load capacity of at least 20 tonnes, including for bridges and culverts;
- (c) Minimum carriageway width of 4 metres;
- (d) Minimum vertical clearance of 4 metres;
- (e) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
- (f) Cross falls of less than 3° (1:20 or 5%);
- (g) Dips less than 7° (1:8 or 12.5%) entry and exit angle;
- (h) Curves with a minimum inner radius of 10 metres;
- (i) Maximum gradient of 15° (1:3.5 or 28%) for sealed roads, and 10° (1:5.5 or 18%) for unsealed roads; and
- (j) Terminate with a turning area for fire appliances provided by one of the following:
 - (i) A turning circle with a minimum inner radius of 10 metres;
 - (ii) A property access encircling the building; or
 - (iii) A hammerhead "T" or "Y" turning head 4 metres wide and 8 metres long.

Element C:

- The following design and construction requirements apply to property access >200 metres long:
- (a) complies with requirements for B above; and
 - (b) passing bays of 2 metres additional carriageway width and 20 metres length provided every 200 metres.

Requirements for Static Water Supply for Fire fighting

The site is not serviced by a reticulated water supply and therefore a dedicated, static fire fighting water supply will be provided in accordance with the following;

Static water supplies and associated infrastructure for fire fighting purposes will be provided in accordance with Table 3B of the Directors Determination - Bushfire Hazard Areas, version 1.2, 16th July 2024

A Distance between building area to be protected and water supply

The following requirements apply:

- (a) The building area to be protected must be located within 90 metres of the fire fighting water point of a static water supply; and
- (b) The distance must be measured as a hose lay, between the fire fighting water point and the furthest part of the building area.

B) Static Water Supplies

A static water supply:

- (a) May have a remotely located offtake connected to the static water supply;
- (b) May be a supply for combined use (fire fighting and other uses) but the specified minimum quantity of fire fighting water must be available at all times;
- (c) Must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose including fire fighting sprinkler or spray systems;
- (d) Must be metal, concrete or lagged by non-combustible materials if above ground; and
- (e) If a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959-2009, the tank may be constructed of any material provided that the lowest 400 mm of the tank exterior is protected by:
 - (i) metal;
 - (ii) non-combustible material; or
 - (iii) fibre-cement a minimum of 6 mm thickness.

Requirements for Static Water Supply for Fire fighting

C) Fittings and pipework associated with a fire fighting water point for a static water supply must:

- (a) Have a minimum nominal internal diameter of 50mm; (2) Be fitted with a valve with a minimum nominal internal diameter of 50mm;
- (b) Be fitted with a valve with a minimum nominal internal diameter of 50mm;
- (c) Be metal or lagged by non-combustible materials if above ground;
- (d) Where buried, have a minimum depth of 300mm (compliant with AS/NZS 3500.1-2003 Clause 5.23);
- (e) Provide a DIN or NEN standard forged Storz 65 mm coupling fitted with a suction washer for connection to fire fighting equipment;
- (f) Ensure the coupling is accessible and available for connection at all times;
- (g) Ensure the coupling is fitted with a blank cap and securing chain (minimum 220 mm length);
- (h) Ensure underground tanks have either an opening at the top of not less than 250 mm diameter or a coupling compliant with this Table; and
- (i) Where a remote offtake is installed, ensure the offtake is in a position that is:
 - (i) Visible;
 - (ii) Accessible to allow connection by fire fighting equipment;
 - (iii) At a working height of 450 – 600mm above ground level; and
 - (iv) Protected from possible damage, including damage by vehicles.

D) Signage for static water connections

The fire fighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must comply with the Tasmania Fire Service Water Supply Signage Guideline published by the Tasmania Fire Service

E) Hardstand

- A hardstand area for fire appliances must be provided:
- (a) No more than three metres from the fire fighting water point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like);
 - (b) No closer than six metres from the building area to be protected;
 - (c) With a minimum width of three metres constructed to the same standard as the carriageway; and
 - (d) Connected to the property access by a carriageway equivalent to the standard of the property access.

Requirements for Hazard Management Area

A hazard management area is required to be established and maintained for the life of the building and is shown on this BHMP. Guidance for the establishment and maintenance of the hazard management area is also provided.

A hazard management area is the area, between a habitable building or building area and the bushfire prone vegetation, which provides access to a fire front for firefighting, which is maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire. This can be achieved through, but is not limited to the following actions;

- Remove fallen limbs, sticks, leaf and bark litter;
- Maintain grass at less than a 100mm height;
- Remove pine bark and other flammable mulch (especially from against buildings);
- Thin out under-story vegetation to provide horizontal separation between fuels;
- Prune low-hanging tree branches (<2m from the ground) to provide (vertical separation between fuel layers);
- Prune larger trees to maintain a 6 metre horizontal separation between canopies;
- Minimise the storage of flammable materials such as firewood;
- Maintain vegetation clearance around vehicular access and water supply points;
- Use low-flammability species for landscaping purposes where appropriate;
- Clear out any accumulated leaf and other debris from roof gutters and other accumulation points.

It is not necessary to remove all vegetation from the hazard management area, trees may provide protection from wind borne embers and radiant heat under some circumstances.

Certification No. J9676



Alice Higgins
Acc. No. BFP-165
Scope 1, 2, 3A, 3B, 3C.

Do not scale from these drawings. Dimensions to take precedence over scale. Written specifications to take precedence over diagrammatic representations.	Client Name and Address: Shannon Campbell c/o 4 Marshton Lane Copping, TAS, 7174	C.T.: 224809/3 PID: 3041668	The Bushfire Hazard Management Plan is to be printed at A3 in colour and read in conjunction with the Bushfire Hazard Report for the proposed class 1a habitable building and three class 1b habitable buildings (visitor accommodation) at 4 Marshton Lane, Copping (GES, 8th December 2025, J9676v2.0)	Drawing Number: A01	Sheet 2 of 2 Prepared by: Alice Higgins
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Attachment 2

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Owner /Agent
 Address
 Suburb/postcode

Qualified person details:

Qualified person:
 Address: Phone No:
 Fax No:
 Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: Lot No:
 Certificate of title No:
 The assessable item related to this certificate: (description of the assessable item being certified)
 Assessable item includes –
 - a material;
 - a design
 - a form of construction
 - a document
 - testing of a component, building system or plumbing system
 - an inspection, or assessment, performed

Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable items, at any stage, as part of – (tick one)

Attachment 2

building work, plumbing work or plumbing installation or demolition work

OR

a building, temporary structure or plumbing installation

In issuing this certificate the following matters are relevant –

Documents:	Bushfire Hazard Report for 4 Marshton Lane, Copping. 8 th December 2025, J9676v2.0. Bushfire Hazard Management Plan for 4 Marshton Lane, Copping. 8 th December 2025, J9676v2.0. And Form 55
Relevant	BAL assessed as per AS3959-2018 for the proposed class 1a habitable building, two class 1b habitable buildings (visitor accommodation) and one change of use of an existing class 1a habitable building to a class 1b habitable building (visitor accommodation) identified on the BHMP
References:	AS3959-2018 Construction of Buildings in Bushfire-prone Areas Building Regulations 2016 National Construction Code (NCC) – Vol. 2 Directors Determination - Bushfire Hazard Areas, v1.2, 16 th July 2024

Substance of Certificate: (what it is that is being certified)

Bushfire Attack Level Assessment in accordance with AS3959-2018 and determination of other mitigation measures as required by the relevant Directors Determination as cited in the Bushfire Hazard Report and on the BHMP.
Design and construction for the proposed one class 1a habitable building, two class 1b habitable buildings (visitor accommodation) and one change of use of an existing class 1a habitable building to a class 1b habitable building (visitor accommodation) must be to a minimum standard of **BAL-12.5** (sections 3 and 5 of AS3959-2018).

Scope and/or Limitations

Scope: The bushfire hazard assessment was undertaken at the site to determine whether there is sufficient risk to the proposed class 1a/1b habitable buildings from bushfire to warrant specific bushfire hazard management measures.

Limitations:

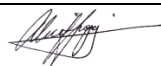
The assessment relates to bushfire hazard only.

The assessor has taken all reasonable steps to ensure that the information provided in this assessment is accurate and reflects the conditions on and around the site and allotment on the date of this assessment.

The recommendations made in the bushfire hazard assessment are based on the conditions of the site at the time of the assessment. No liability will be accepted by the assessor for actions undertaken by the owners or others that compromise the effectiveness of the measures outlined in this assessment.

The effectiveness of the bushfire safety measures outlined in the assessment are reliant on their implementation and ongoing maintenance.

I certify the matters described in this certificate.

Qualified person:	Signed: 	Certificate No: J19676	Date: 8/12/2025
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GEO-ENVIRONMENTAL ASSESSMENT

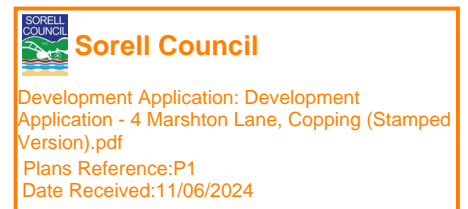
4 Marshton Lane

Copping

February 2024



GEO-ENVIRONMENTAL
S O L U T I O N S



Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

Investigation Details

Client:	Shannon Campbell
Site Address:	4 Marshton Lane, Copping
Date of Inspection:	29/11/2023
Proposed Works:	New houses
Investigation Method:	Geoprobe 540UD - Direct Push
Inspected by:	M. Campbell

Site Details

Certificate of Title (CT):	224809/3
Title Area:	Approx. 18.43 ha
Applicable Planning Overlays:	Bushfire-prone Areas
Slope & Aspect:	5° N facing slope
Vegetation:	Mixed Flora
Ground Surface:	Undisturbed

Background Information

Geology Map:	MRT 1:250000
Geological Unit:	Triassic Sandstone
Climate:	Annual rainfall 750mm
Water Connection:	Tank
Sewer Connection:	Unserviced-On-site required
Testing and Classification:	AS2870:2011, AS1726:2017 & AS1547:2012

Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	Horizon	Description
0.00-0.20	0.00-0.30	A1	SAND (SP): Dark grey, slightly moist, loose.
0.20-0.50	0.30-0.60	A2	SAND (SP): Grey-white, slightly moist, loose to medium dense.
0.50-0.60	0.60-0.80	BC	SAND (SW) with gravels: Orange-brown, slightly moist, very dense to refusal on rock.

BH 3 Depth (m)	Horizon	Description
0.00-0.20	A1	SAND SP): Dark grey, slightly moist, loose.
0.20-0.60	A2	SAND (SP): Grey-white, slightly moist, loose to medium dense.
0.60-1.40	B2	CLAY (CI): Medium plasticity, yellow-brown, slightly moist, stiff.
1.4-1.5	BC	Sandy CLAY (CL): Low plasticity, orange-brown, slightly moist, very hard to refusal on rock.

BH 4 Depth (m)	BH 5 Depth (m)	BH 6 Depth (m)	Horizon	Description
0.00-0.10	0.00-0.10	0.00-0.10	A1	SAND (SP): Dark grey, slightly moist, loose.
0.10-0.50	0.10-0.70	0.10-0.70	B2	SAND (SP): Grey-white, slightly moist, loose to very dense with depth, refusal on assumed hard pan.

BH 7 Depth (m)	BH 8 Depth (m)	Horizon	Description
0.00-0.40	0.00-0.40	A1	SAND (SP): Dark grey, slightly moist, loose.
0.40-1.1	0.40-0.60	B21	CLAY (CH): High plasticity, yellow-brown, slightly moist, firm (BH7 lens of sand at 0.9m).
1.10-3.00		B22	Sandy CLAY (CI): Medium plasticity, yellow-brown, slightly moist, stiff (BH7 no refusal).
	0.60-0.80	BC	SAND (SP): Orange-yellow-white, slightly moist, very dense to refusal.

Site Notes

The soils on site consist of sand topsoils overlying clay subsoils which have developed from Triassic Sandstone. Soil depth is highly variable across the site.

Site Classification

The site has been assessed and classified in accordance with AS2870:2011 “Residential Slabs and Footings”.

The site has been classified as:

Class M

Y^s range: **20-40mm**

Notes: Soils on site are have plastic and reactive characteristics, however, these soils are shallow and not likely to exhibit maximum ground surface movement potential with an indicative Y’s range of 20-40mm. All foundations must be founded into the underlying bedrock.

Site Classification for northern accommodation building

The site has been assessed and classified in accordance with AS2870:2011 “Residential Slabs and Footings”.

The site has been classified as:

Class P

Y^s range: **20-40mm**

Notes: The site has been classified as Class P, due to poor bearing capacities (<100kPa) in upper soil profile which is likely to cause significant differential settlement.

Wind Loading Classification

According to “AS4055:2021 - Wind Loads for Housing” the house site is classified below:

Wind Classification:	N3
Region:	A
Terrain Category:	2.0
Shielding Classification:	NS
Topographic Classification:	T1
Wind Classification:	N3
Design Wind Gust Speed – m/s (V _{h,u}):	50

Wastewater Classification & Recommendations

According to AS1547-2012 (on-site waste-water management) the natural soil is classified as **Light Clay (category 5)**. The site is unsuited to the installation of a traditional septic tank and trenches due to shallow soil onsite. Secondary treatment of effluent will be required, and it is proposed to install package treatment systems (e.g. Econocycle, Envirocycle, Ozzikleen etc) with treated effluent disposed by surface irrigation with sprinklers. A Design Irrigation Rate (DIR) of 3L/m²/day has been assigned for this site.

Primary Residence

The proposed three-bedroom equivalent dwelling has a calculated maximum wastewater output of 600L/day. This is based on a tank water supply and a maximum occupancy of 5 people (120L/day/person). With secondary treatment this will require an absorption area of at least 200m². This can be accommodated by surface irrigation with sprinklers.

Secondary Residences

The two proposed 3 bedroom dwellings each have a calculated maximum wastewater output of 600L/day. This is based on a tank water supply and a maximum occupancy of 5 people (120L/day/person). With secondary treatment this will require an absorption area of at least 200m². This can be accommodated by surface irrigation with sprinklers. For the most northern residence subsurface irrigation will be required due to the proximity to property boundaries.

For all calculations please refer to the Trench summary reports. A cut-off drain will not be required due to the highly permeable topsoils. A 100% reserve area should be set aside for future wastewater requirements. There is sufficient space available on site to accommodate the reserve due to the large property size (>2ha). Therefore, a formal reserve area has not been assigned.

The following setback distances are required to comply with the Building Act 2016:

Surface Irrigation

Buildings	6m
Boundaries	40m
Downslope surface water:	100m

Subsurface Irrigation

Upslope or level buildings:	3m
Downslope buildings:	3.25m
Upslope or level boundaries:	1.5m
Downslope boundaries:	6.5m
Downslope surface water:	100m

Compliance with Building Act 2016 Guidelines for On-site Wastewater Management Systems is outlined in the attached table. .During construction GES will need to be notified of any variation to the soil conditions or wastewater loading as outlined in this report.

Construction Notes & Recommendations

The site has been classified as **Class M**.

It is recommended the foundations be placed on the underlying bedrock to minimise the potential for significant foundation movement.

Construction Notes & Recommendations for northern secondary residence

The site has been classified as **Class P** due to poor bearing capacities in the upper soil profile.

It is recommended that all footings be founded in the natural material with bearing capacities >100kPa.

All earthworks on site must comply with AS3798:2007, and I further recommend that consideration be given to drainage and sediment control on site during and after construction. Care should also be taken to ensure there is adequate drainage in the construction area to avoid the potential for weak bearing and foundation settlement associated with excessive soil moisture.

During construction GES will need to be notified of any variation to the soil conditions or wastewater loading as outlined in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD

Director

Primary Residence Assessment Report

GES

Land suitability and system sizing for on-site wastewater management

Trench 3.0 (Australian Institute of Environmental Health)

Assessment Report

Site assessment for on-site waste water disposal

Assessment for Shannon Campbell	Assess. Date	6-Feb-24
	Ref. No.	
Assessed site(s) 4 Marshton Lane, Copping	Site(s) inspected	29-Nov-23
Local authority Sorell	Assessed by	John Paul Cumming

This report summarises wastewater volumes, climatic inputs for the site, soil characteristics and system sizing and design issues. Site Capability and Environmental sensitivity issues are reported separately, where 'Alert' columns flag factors with high (A) or very high (AA) limitations which probably require special consideration for system design(s). Blank spaces on this page indicate data have not been entered into TRENCH.

Wastewater Characteristics

Wastewater volume (L/day) used for this assessment = 960 (using the 'No. of bedrooms in a dwelling' method)
 Septic tank wastewater volume (L/day) = 320
 Sullage volume (L/day) = 640
 Total nitrogen (kg/year) generated by wastewater = 2.9
 Total phosphorus (kg/year) generated by wastewater = 2.3

Climatic assumptions for site

(Evapotranspiration calculated using the crop factor method)

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Mean rainfall (mm)	52	41	57	51	65	87	48	66	51	87	62	48
Adopted rainfall (R, mm)	52	41	57	51	65	87	48	66	51	87	62	48
Retained rain (Rr, mm)	46	37	51	46	58	78	43	60	46	79	56	43
Max. daily temp. (deg. C)												
Evapotrans (ET, mm)	130	110	91	63	42	29	32	42	63	84	105	126
Evapotr. less rain (mm)	84	73	40	17	-16	-49	-11	-18	17	5	49	83
Annual evapotranspiration less retained rain (mm) = 275												

Soil characteristics

Texture = Light Clay Category = 5 Thick. (m) = 1
 Adopted permeability (m/day) = 0.12 Adopted LTAR (L/sq m/day) = 3 Min depth (m) to water = 3

Proposed disposal and treatment methods

Proportion of wastewater to be retained on site: All wastewater will be disposed of on the site
 The preferred method of on-site primary treatment: In a package treatment plant
 The preferred method of on-site secondary treatment: In-ground
 The preferred type of in-ground secondary treatment: None
 The preferred type of above-ground secondary treatment: None
 Site modifications or specific designs: Not needed

Suggested dimensions for on-site secondary treatment system

Total length (m) = 32
 Width (m) = 10
 Depth (m) = 0.2
 Total disposal area (sq m) required = 320
 comprising a Primary Area (sq m) of: 320
 and a Secondary (backup) Area (sq m) of:

Sufficient area is available on site

To enter comments, click on the line below 'Comments'. (This yellow-shaded box and the buttons on this page will not be printed.)

Comments

Due to the clay subsoils an absorption area of 320 sq m is required. Therefore the system should have the capacity to cope with extreme climatic and loading events.

Secondary Residence Assessment Report

GES

Land suitability and system sizing for on-site wastewater management

Trench 3.0 (Australian Institute of Environmental Health)

Assessment Report

Site assessment for on-site waste water disposal

Assessment for	Shannon Campbell	Assess. Date	7-Feb-24
		Ref. No.	
Assessed site(s)	4 Marshton Lane, Copping	Site(s) inspected	29-Nov-23
Local authority	Sorell	Assessed by	John Paul Cumming

This report summarises wastewater volumes, climatic inputs for the site, soil characteristics and system sizing and design issues. Site Capability and Environmental sensitivity issues are reported separately, where 'Alert' columns flag factors with high (A) or very high (AA) limitations which probably require special consideration for system design(s). Blank spaces on this page indicate data have not been entered into TRENCH.

Wastewater Characteristics

Wastewater volume (L/day) used for this assessment = 600 (using the 'No. of bedrooms in a dwelling' method)
 Septic tank wastewater volume (L/day) = 200
 Sullage volume (L/day) = 400
 Total nitrogen (kg/year) generated by wastewater = 1.8
 Total phosphorus (kg/year) generated by wastewater = 1.5

Climatic assumptions for site

(Evapotranspiration calculated using the crop factor method)

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Mean rainfall (mm)	52	41	57	51	65	87	48	66	51	87	62	48
Adopted rainfall (R, mm)	52	41	57	51	65	87	48	66	51	87	62	48
Retained rain (Rr, mm)	46	37	51	46	58	78	43	60	46	79	56	43
Max. daily temp. (deg. C)												
Evapotrans (ET, mm)	130	110	91	63	42	29	32	42	63	84	105	126
Evapotr. less rain (mm)	84	73	40	17	-16	-49	-11	-18	17	5	49	83
Annual evapotranspiration less retained rain (mm) =												275

Soil characteristics

Texture = Light Clay Category = 5 Thick. (m) = 1
 Adopted permeability (m/day) = 0.12 Adopted LTAR (L/sq m/day) = 3 Min depth (m) to water = 3

Proposed disposal and treatment methods

Proportion of wastewater to be retained on site: All wastewater will be disposed of on the site
 The preferred method of on-site primary treatment: In a package treatment plant
 The preferred method of on-site secondary treatment: In-ground
 The preferred type of in-ground secondary treatment: None
 The preferred type of above-ground secondary treatment: None
 Site modifications or specific designs: Not needed

Suggested dimensions for on-site secondary treatment system

Total length (m) = 20
 Width (m) = 10
 Depth (m) = 0.2
 Total disposal area (sq m) required = 200
 comprising a Primary Area (sq m) of: 200
 and a Secondary (backup) Area (sq m) of:

Sufficient area is available on site

To enter comments, click on the line below 'Comments'. (This yellow-shaded box and the buttons on this page will not be printed.)

Comments

Due to the clay subsoils an absorption area of 200 sq m is required. Therefore the system should have the capacity to cope with extreme climatic and loading events.

GES

Land suitability and system sizing for on-site wastewater management
Trench 3.0 (Australian Institute of Environmental Health)

Site Capability Report
Site assessment for on-site waste water disposal

Assessment for	Shannon Campbell	Assess. Date	6-Feb-24
		Ref. No.	
Assessed site(s)	4 Marshton Lane, Copping	Site(s) inspected	29-Nov-23
Local authority	Sorell	Assessed by	John Paul Cumming

This report summarises data relating to the physical capability of the assessed site(s) to accept wastewater. Environmental sensitivity and system design issues are reported separately. The 'Alert' column flags factors with high (A) or very high (AA) site limitations which probably require special consideration in site acceptability or for system design(s). Blank spaces indicate data have not been entered into TRENCH.

Alert	Factor	Units	Value	Confid level	Limitation		Remarks
					Trench	Amended	
	Expected design area	sq m	10,000	V. high	Very low		
	Density of disposal systems	/sq km	3	Mod.	Very low		
	Slope angle	degrees	5	High	Very low		
	Slope form	Straight simple		High	Low		
	Surface drainage	Good		High	Very low		
	Flood potential	Site floods <1:100 yrs		High	Very low		
	Heavy rain events	Infrequent		High	Moderate		
	Aspect (Southern hemi.)	Faces N		V. high	Very low		
	Frequency of strong winds	Common		High	Low		
	Wastewater volume	L/day	960	High	High	Moderate	Other factors lessen impact
	SAR of septic tank effluent		1.7	High	Low		
	SAR of sullage		2.6	High	Moderate		
	Soil thickness	m	1.0	V. high	Low		
	Depth to bedrock	m	1.0	V. high	High	Moderate	Other factors lessen impact
	Surface rock outcrop	%	0	V. high	Very low		
	Cobbles in soil	%	0	V. high	Very low		
	Soil pH		6.5	High	Very low		
	Soil bulk density	gm/cub. cm	1.4	High	Very low		
	Soil dispersion	Emerson No.	8	V. high	Very low		
	Adopted permeability	m/day	0.12	Mod.	Very low		
	Long Term Accept. Rate	L/day/sq m	3	High	High	Moderate	Other factors lessen impact

To enter comments, click on the line below 'Comments' . (This yellow-shaded box and the buttons on this page will not be printed.)

Comments

This site has the capability to accept secondary treated onsite wastewater.

GES

Land suitability and system sizing for on-site wastewater management
Trench 3.0 (Australian Institute of Environmental Health)

Environmental Sensitivity Report
Site assessment for on-site waste water disposal

Assessment for	Shannon Campbell	Assess. Date	7-Feb-24
		Ref. No.	
Assessed site(s)	4 Marshton Lane, Copping	Site(s) inspected	29-Nov-23
Local authority	Sorell	Assessed by	John Paul Cumming

This report summarises data relating to the environmental sensitivity of the assessed site(s) in relation to applied wastewater. Physical capability and system design issues are reported separately. The 'Alert' column flags factors with high (A) or very high (AA) limitations which probably require special consideration in site acceptability or for system design(s). Blank spaces indicate data have not been entered into TRENCH.

Alert	Factor	Units	Value	Confid level	Limitation		Remarks
					Trench	Amended	
	Cation exchange capacity	mmol/100g	80	High	Low		
A	Phos. adsorp. capacity	kg/cub m	0.5	High	High		
	Annual rainfall excess	mm	-275	High	Very low		
	Min. depth to water table	m	3	High	Very low		
	Annual nutrient load	kg	3.3	High	Very low		
	G'water environ. value	Agric non-sensit		V. high	Low		
	Min. separation dist. required	m	3	High	Very low		
	Risk to adjacent bores	Very low		V. high	Very low		
	Surf. water env. value	Agric non-sensit		V. high	Low		
A	Dist. to nearest surface water	m	110	V. high	High		
A	Dist. to nearest other feature	m	20	V. high	High		
	Risk of slope instability	Very low		V. high	Very low		
	Distance to landslip	m	400	V. high	Very low		

To enter comments, click on the line below 'Comments'. (This yellow-shaded box and the buttons on this page will not be printed.)

Comments

There is low risk of environmental harm associated with onsite wastewater disposal at this site.

APPENDIX 1 - DCP Results Table

Dynamic Cone Penetration (DCP) Conversion to Californian Bearing Ratio
(ref: Australian Standard AS 1289.6.3.2 - 1997)

DCP Location BH7

Depth (mm)	DCP (Blows/100mm)	DCP (mm/Blow)	DCP Resistance (mPa)	Allowable Bearing Capacity (kPa)	CBR (Rounded Up)
0-100	1	100.0	0.3	35	2
100-200	2	50.0	0.6	69	4
200-300	2	50.0	0.6	69	4
300-400	1	100.0	0.3	35	2
400-500	2	50.0	0.6	69	4
500-600	2	50.0	0.6	69	4
600-700	2	50.0	0.6	69	4
700-800	3	33.3	0.9	104	6
800-900	2	50.0	0.6	69	4
900-1000	3	33.3	0.9	104	6
1000-1100	4	25.0	1.3	139	8
1100-1200	3	33.3	0.9	104	6
1200-1300	5	20.0	1.6	174	10
1300-1400	5	20.0	1.6	174	10
1400-1500	4	25.0	1.3	139	8
1500-1600	6	16.7	1.9	208	13
1600-1700	6	16.7	1.9	208	13
1700-1800	7	14.3	2.2	243	15
1800-1900	8	12.5	2.5	278	17
1900-2000	9	11.1	2.8	313	20
2000-2100	9	11.1	2.8	313	20
2100-2200	8	12.5	2.5	278	17
2200-2300	10	10.0	3.1	347	22
2300-2400	12	8.3	3.8	417	27
2400-2500	14	7.1	4.4	486	32
2500-2600	17	5.9	5.3	590	40

Demonstration of wastewater system compliance to *Building Act 2016 Guidelines for On-site Wastewater*

Acceptable Solutions	Performance Criteria	Compliance
<p>A1</p> <p>Horizontal separation distance from a building to a land application area must comply with one of the following:</p> <ul style="list-style-type: none"> a) be no less than 6m; or b) be no less than: <ul style="list-style-type: none"> (i) 3m from an upslope building or level building; (ii) If primary treated effluent to be no less than 4m plus 1m for every degree of average gradient from a downslope building; (iii) If secondary treated effluent and subsurface application, no less than 2m plus 0.25m for every degree of average gradient from a downslope building. 	<p>P1</p> <ul style="list-style-type: none"> a) The land application area is located so that <ul style="list-style-type: none"> (i) the risk of wastewater reducing the bearing capacity of a building's foundations is acceptably low.; and (ii) is setback a sufficient distance from a downslope excavation around or under a building to prevent inadequately treated wastewater seeping out of that excavation 	<p>Complies with A1 (a)</p> <p>Land application area will be located with a minimum separation distance of 6m from buildings</p>
<p>A2</p> <p>Horizontal separation distance from downslope surface water to a land application area must comply with (a) or (b)</p> <ul style="list-style-type: none"> (a) be no less than 100m; or (b) be no less than the following: <ul style="list-style-type: none"> (i) if primary treated effluent 15m plus 7m for every degree of average gradient to downslope surface water; or (ii) if secondary treated effluent and subsurface application, 15m plus 2m for every degree of average gradient to down slope surface water. 	<p>P2</p> <p>Horizontal separation distance from downslope surface water to a land application area must comply with all of the following:</p> <ul style="list-style-type: none"> a) Setbacks must be consistent with AS/NZS 1547 Appendix R; b) A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is acceptable. 	<p>Complies with A2 (a)</p> <p>Land application area will be located a minimum of >100m from downslope surface water</p>

<p>A3</p> <p>Horizontal separation distance from a property boundary to a land application area must comply with either of the following:</p> <p>(a) be no less than 40m from a property boundary; or</p> <p>(b) be no less than:</p> <p>(i) 1.5m from an upslope or level property boundary; and</p> <p>(ii) If primary treated effluent 2m for every degree of average gradient from a downslope property boundary; or</p> <p>(iii) If secondary treated effluent and subsurface application, 1.5m plus 1m for every degree of average gradient from a downslope property boundary.</p>	<p>P3</p> <p>Horizontal separation distance from a property boundary to a land application area must comply with all of the following:</p> <p>(a) Setback must be consistent with AS/NZS 1547 Appendix R; and</p> <p>(b) A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is acceptable.</p>	<p>Primary residence and Eastern secondary residence</p> <p>Complies with A3 a Land application area will be located with a minimum separation distance of 40m from a boundary</p> <p>Northern secondary residence</p> <p>Complies with A3 (b) (i) Land application area will be located with a minimum separation distance of 1.5m from an upslope or level property boundary</p> <p>Complies with A3 (b) (iii) Land application area will be located with a minimum separation distance of 6.5m from a downslope property boundary.</p>
<p>A4</p> <p>Horizontal separation distance from a downslope bore, well or similar water supply to a land application area must be no less than 50m and not be within the zone of influence of the bore whether up or down gradient.</p>	<p>P4</p> <p>Horizontal separation distance from a downslope bore, well or similar water supply to a land application area must comply with all of the following:</p> <p>(a) Setback must be consistent with AS/NZS 1547 Appendix R; and</p> <p>(b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 demonstrates that the risk is acceptable</p>	<p>Complies with A4 No bore or well identified within 50m</p>

<p>A5</p> <p>Vertical separation distance between groundwater and a land application area must be no less than:</p> <p>(a) 1.5m if primary treated effluent; or</p> <p>(b) 0.6m if secondary treated effluent</p>	<p>P5</p> <p>Vertical separation distance between groundwater and a land application area must comply with the following:</p> <p>(a) Setback must be consistent with AS/NZS 1547 Appendix R; and</p> <p>(b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 that demonstrates that the risk is acceptable</p>	<p>Complies with A5 (b)</p> <p>No groundwater encountered</p>
<p>A6</p> <p>Vertical separation distance between a limiting layer and a land application area must be no less than:</p> <p>(a) 1.5m if primary treated effluent; or</p> <p>(b) 0.5m if secondary treated effluent</p>	<p>P6</p> <p>Vertical setback must be consistent with AS/NZS1547 Appendix R.</p>	<p>Complies with A5 (b)</p>
<p>A7</p> <p>nil</p>	<p>P7</p> <p>A wastewater treatment unit must be located a sufficient distance from buildings or neighbouring properties so that emissions (odour, noise or aerosols) from the unit do not create an environmental nuisance to the residents of those properties</p>	<p>Complies</p>

AS1547:2012 – Loading Certificate – AWTS Design

This loading certificate sets out the design criteria and the limitations associated with use of the system.

Site Address: 4 Marshton Lane, Copping

System Capacity:

Primary Residence: 5 persons @ 120L/person/day

Secondary Residence: 5 persons @ 120L/person/day

Summary of Design Criteria

DIR: 3mm/day.

Absorption area:

Primary Residence: 200m²

Secondary Residence: 200m²

Reserve area location /use: Not Assigned - more than 100% available

Water saving features fitted: Standard fixtures

Signage: Suitable warning signs to be displayed around the disposal area indicating that reclaimed water is being used i.e. “Recycled Water, Avoid Contact, Do Not Drink”

Allowable variation from design flows: 1 event @ 200% daily loading per quarter

Typical loading change consequences: Expected to be minimal due to use of AWTS and large land area

Overloading consequences: Continued overloading may cause hydraulic failure of the irrigation area and require upgrading/extension of the area. Risk considered acceptable due to monitoring through quarterly maintenance reports.

Underloading consequences: Lower than expected flows will have minimal consequences on system operation unless the house has long periods of non occupation. Under such circumstances additional maintenance of the system may be required. Long term under loading of the system may also result in vegetation die off in the irrigation area and additional watering may be required. Risk considered acceptable due to monitoring through quarterly maintenance reports.

Lack of maintenance / monitoring consequences: Issues of underloading/overloading and condition of the irrigation area require monitoring and maintenance, if not completed system failure may result in unacceptable health and environmental risks. Monitoring and regulation by the permit authority required to ensure compliance.

Other considerations: Owners/occupiers must be made aware of the operational requirements and limitations of the system by the installer/maintenance contractor.

CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

Form **35**

To: Owner name
 Address
 Suburb/postcode

Designer details:

Name: Category:
 Business name: Phone No:
 Business address:
 Fax No:
 Licence No: Email address:

Details of the proposed work:

Owner/Applicant Designer's project reference No.
Address: Lot No:

Type of work: Building work Plumbing work (X all applicable)

Description of work:

(new building / alteration / addition / repair / removal / re-erection water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
<input type="checkbox"/>	Building design	Architect or Building Designer
<input type="checkbox"/>	Structural design	Engineer or Civil Designer
<input type="checkbox"/>	Fire Safety design	Fire Engineer
<input type="checkbox"/>	Civil design	Civil Engineer or Civil Designer
<input checked="" type="checkbox"/>	Hydraulic design	Building Services Designer
<input type="checkbox"/>	Fire service design	Building Services Designer
<input type="checkbox"/>	Electrical design	Building Services Designer
<input type="checkbox"/>	Mechanical design	Building Service Designer
<input type="checkbox"/>	Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
<input type="checkbox"/>	Other (specify)	

Deemed-to-Satisfy: Performance Solution: (X the appropriate box)

Other details:

AWTS with subsurface irrigation

Design documents provided:

The following documents are provided with this Certificate –

Document description:

Drawing numbers:	Prepared by: Geo-Environmental Solutions	Date: Feb-24
Schedules:	Prepared by:	Date:
Specifications:	Prepared by: Geo-Environmental Solutions	Date: Feb-24
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by: Geo-Environmental Solutions	Date: Feb-24

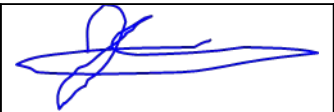
Standards, codes or guidelines relied on in design process:	
AS1547:2012 On-site domestic wastewater management.	
AS3500 (Parts 0-5)-2013 Plumbing and drainage set.	

Any other relevant documentation:	
Geo-Environmental Assessment - 4 Marshton Lane Copping - Feb-24	
Geo-Environmental Assessment - 4 Marshton Lane Copping - Feb-24	

Attribution as designer:	
---------------------------------	--

I John-Paul Cumming, am responsible for the design of that part of the work as described in this certificate;
The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	John-Paul Cumming		07/02/2024
Licence No:	CC774A		

Assessment of Certifiable Works: (TasWater)

Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.

If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.

TasWater must then be contacted to determine if the proposed works are Certifiable Works.


I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:

- The works will not increase the demand for water supplied by TasWater
- The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater’s sewerage infrastructure
- The works will not require a new connection, or a modification to an existing connection, to be made to TasWater’s infrastructure
- The works will not damage or interfere with TasWater’s works
- The works will not adversely affect TasWater’s operations
- The work are not within 2m of TasWater’s infrastructure and are outside any TasWater easement
- I have checked the LISTMap to confirm the location of TasWater infrastructure
- If the property is connected to TasWater’s water system, a water meter is in place, or has been applied for to TasWater.

Certification:

I John-Paul Cumming..... being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: www.taswater.com.au

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	John-Paul Cumming		07/02/2024



CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Shannon Campbell Owner /Agent
4 Marshton Lane Address
Copping 7174 Suburb/postcode

Qualified person details:

Qualified person: John-Paul Cumming
Address: 29 Kirksway Place Phone No: 03 6223 1839
Battery Point 7004 Fax No:
Licence No: AO999 Email address: jcumming@geosolutions.net.au

Qualifications and Insurance details: Certified Professional Soil Scientist (CPSS stage 2) (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: AS2870-2011 Foundation Classification (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: 4 Marshton Lane Lot No:
Copping 7174 Certificate of title No: 224809/3
The assessable item related to this certificate: Classification of foundation Conditions according to AS2870-2011 (description of the assessable item being certified)
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: Foundation Classification (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work
or

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:	The attached soil report for the address detailed above in 'details of work'
Relevant calculations:	Reference the above report.
References:	AS2870:2011 residential slabs and footings AS1726:2017 Geotechnical site investigations CSIRO Building technology file – 18.

Substance of Certificate: (what it is that is being certified)

Site Classification consistent with AS2870-2011.
--

Scope and/or Limitations

The classification applies to the site as inspected and does not account for future alteration to foundation conditions as a result of earth works, drainage condition changes or variations in site maintenance.

I, John-Paul Cumming certify the matters described in this certificate.

Qualified person:	<i>Signed:</i>	<i>Certificate No:</i>	<i>Date:</i>
		J9676	07/02/2024

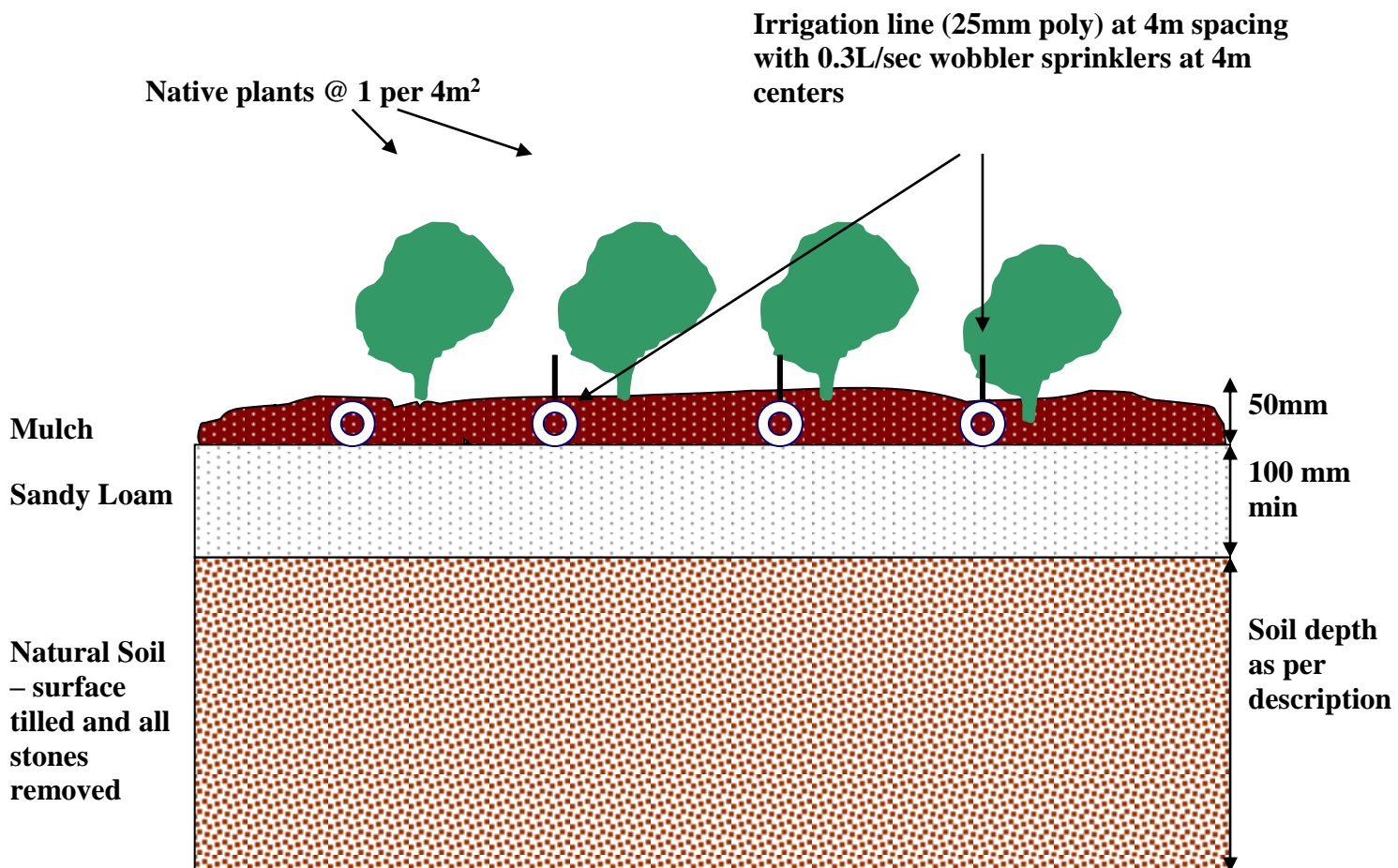


Figure 1 - AWTS

AWTS - Raised irrigation bed design

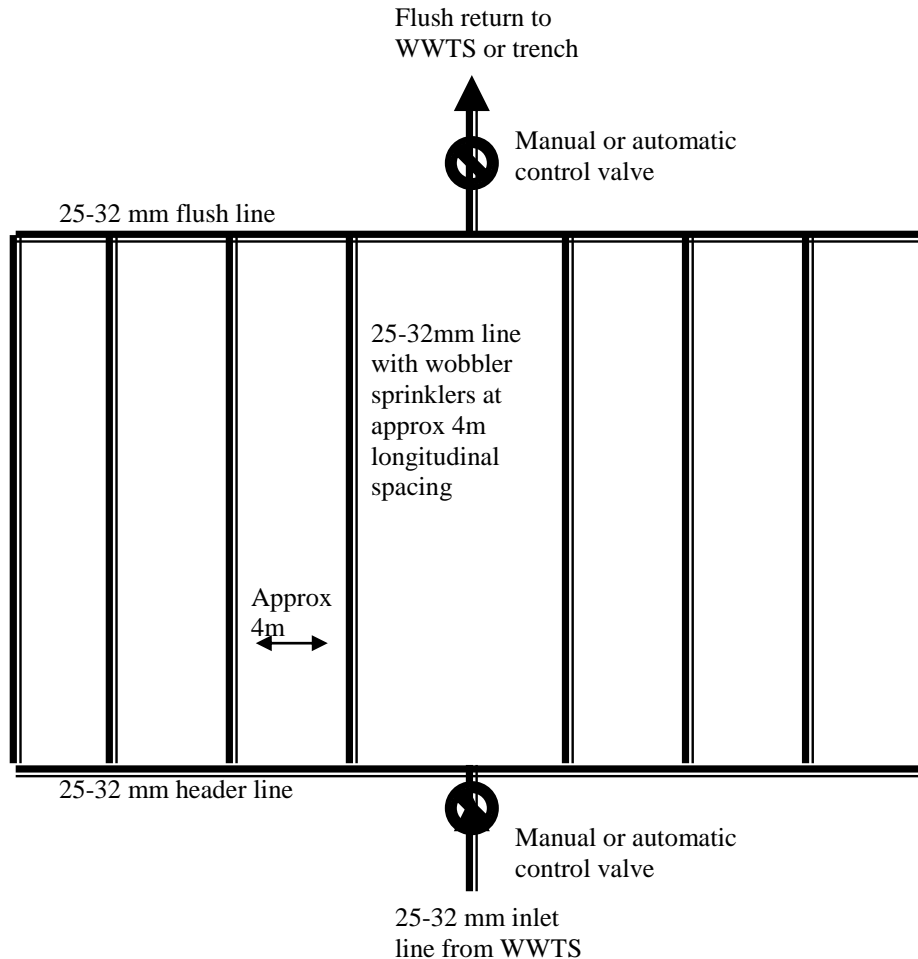
To be used in conjunction with site evaluation report for construction of irrigation areas for use with aerated wastewater treatment systems (AWTS) on shallow, duplex, or clay soils. On dispersive soils gypsum should be added to tilled natural soil at 1Kg/5m². For irrigation areas larger than 500m² the irrigation area should be split into multiples of at least 100m² with flow automatically switched between each area by a kraine valve.

Irrigation Area Cross Section



- The existing surface of the site should be tilled to a depth of 100mm with a conventional plough, discs or spring tines to break down the turf matt and any large soil clods
- A minimum of 100mm of loam should be added to the site to aid installation—the loam should be mixed into the exiting subsoil with another pass of the cultivating tines or similar

Irrigation Area Plan View



Design specifications:

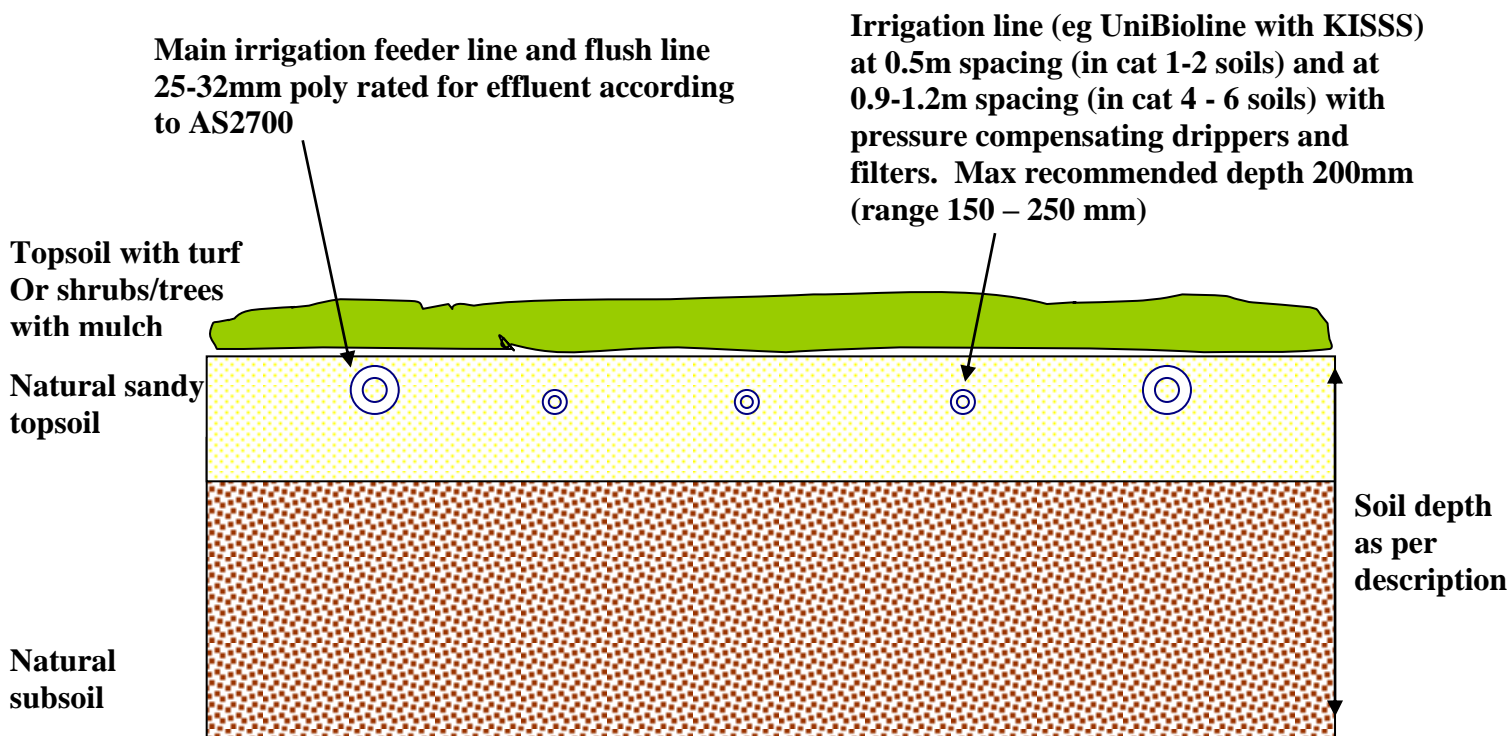
1. Manufacturer's recommendations for spacing of lateral irrigation lines should be followed (i.e. wobbler® 5.56 mm sprinklers) with a spacing of 4m centers.
2. Typical sprinkler flow rates are 0.3L/sec per 5.56 mm emitter dependant pressure.
3. Dependant upon treatment system a 200µm filter may be installed at the pumping chamber outlet.
4. A flush line must be installed at the lowest point/bottom of the irrigation area with a return valve for flushing back into the treatment chamber of the system (not into the primary chamber as it may affect the performance of the microbial community) or to a dedicated absorption trench.
5. The minimum irrigation pumping capacity should be a 12m head or 120 kpa measured at the highest point of the irrigation area.

Figure 1 – AWTS

Subsurface irrigation design

To be used in conjunction with site evaluation report for construction of subsurface irrigation areas for use with aerated wastewater treatment systems (AWTS). **On dispersive soils gypsum should be added to tilled natural soil at 1Kg/5m².** The irrigation outlet line from the system or holding tank should utilize a 25-32mm main line out stepped down to a 11-16mm lateral drip irrigation lines in each irrigation row. If the final design is for shrubs/trees then a mounded row design is best employed with a nominal mound height of approximately 200mm.

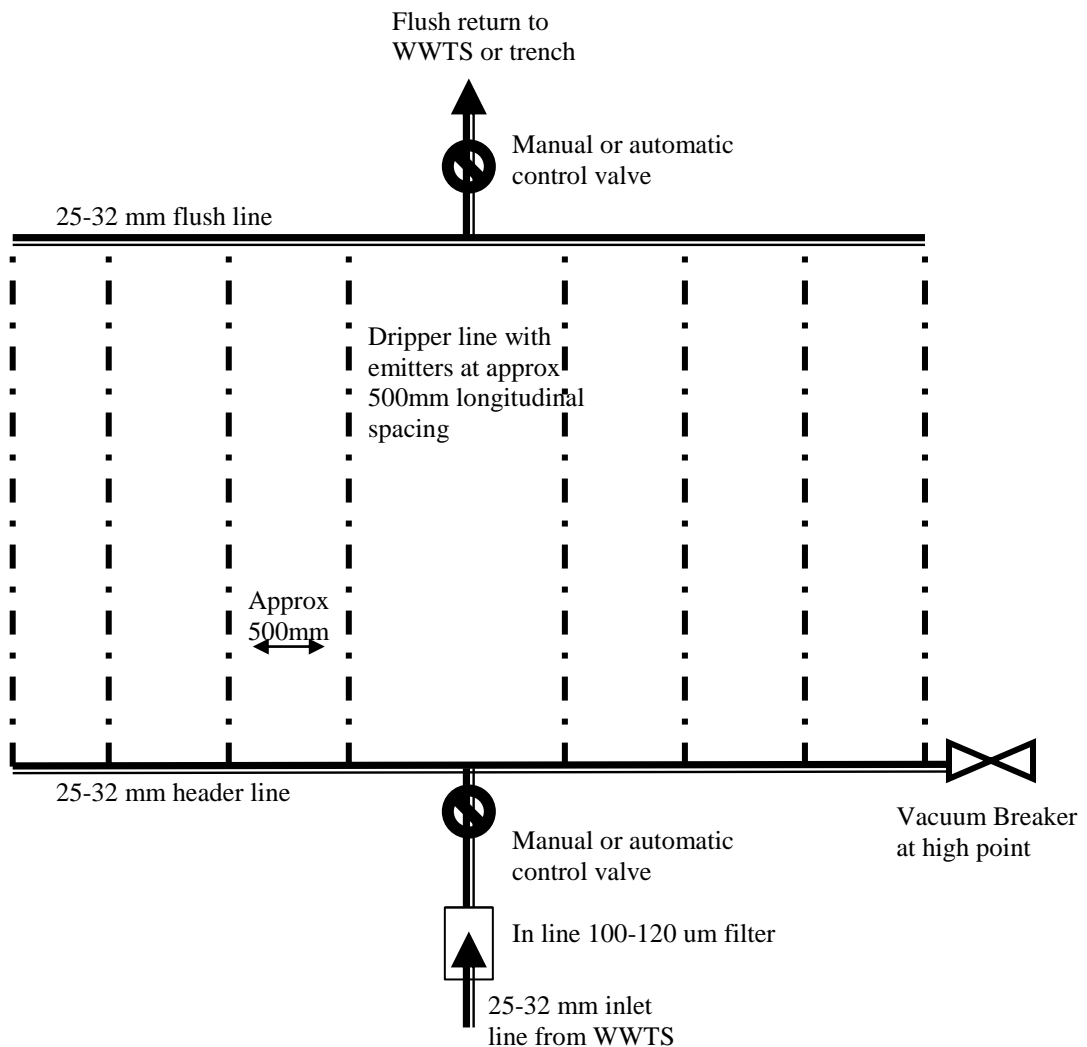
Irrigation Area Cross Section



Note – the topsoil/turf depths are minimum, with a maximum recommended depth of irrigation line below surface of 200mm (range 150-250mm).

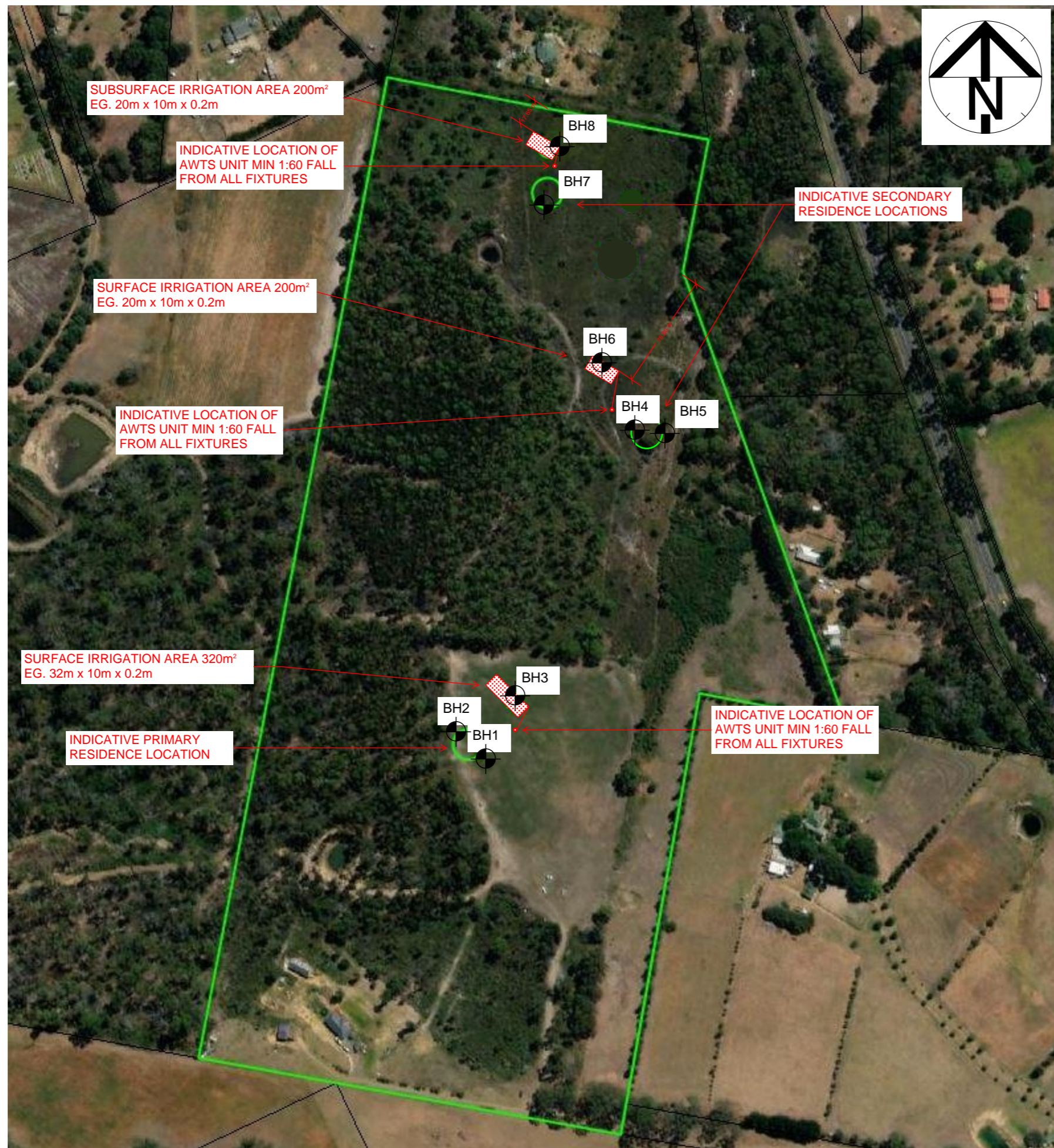
- The existing surface of the site should be tilled to a depth of 200mm with a conventional plough, discs or spring tines to break down the turf matt and any large soil clods
- Turf, or grass seed or plants/mulch should be applied to the area as soon as practical after the laying of dripper line and commissioning of the system

Irrigation Area Plan View



Design specifications:

1. Manufacturer's recommendations for spacing of lateral irrigation lines should be followed (either Techline brand, Geoflow or KISSS) with commonly used with spacing of 0.3m (0.5m KISSS) in highly permeable soils and 0.6m (1.0-1.2m KISSS) in less permeable loams and clays.
2. Dependant upon treatment system a 200µm filter may be installed at the pumping chamber outlet, but a 100-120 µm inline disc filter should be installed prior to discharge into the irrigation area.
3. A vacuum breaker valve must be installed at the highest point of each irrigation zone in a marked and protected valve control box.
4. A flush line must be installed at the lowest point/bottom of the irrigation area with a return valve for flushing back into the treatment chamber of the system (not into the primary chamber as it may affect the performance of the microbial community) or to a dedicated absorption trench.
5. The minimum irrigation pumping capacity should be equivalent to 120kpa (i.e. 12m of head) at the highest point of the irrigation area (a gauge should be placed at the vacuum breaker) – therefore pump size can be matched on site to the irrigation pipe size and design.



Wastewater system:

AWTS unit vented according to
NCC vol 3 Tas H101.2
min 1:60 fall from all fixtures

Primary Residence

Surface irrigation - 320m²
e.g. 32m x 10m x 0.2m

Secondary Residence East

Surface irrigation - 200m²
e.g. 20m x 10m x 0.2m

Secondary Residence North

Subsurface irrigation - 200m²
e.g. 20m x 10m x 0.2m

- Min 3m from upslope buildings
- Min 3.25m from downslope buildings
- Min 1.5m from upslope or level boundaries
- Min 6.5m from downslope boundary
- Min 100m from downslope surface water

Refer to GES report



Dr. John Paul Cumming
Building Services Designer-
Hydraulic
CCC774A

7/02/2024



Approximate Test Hole Location

Do not scale from these drawings.
Dimensions to take precedence
over scale.

Shane Campbell
4 Marshton Lane Copping 7174:

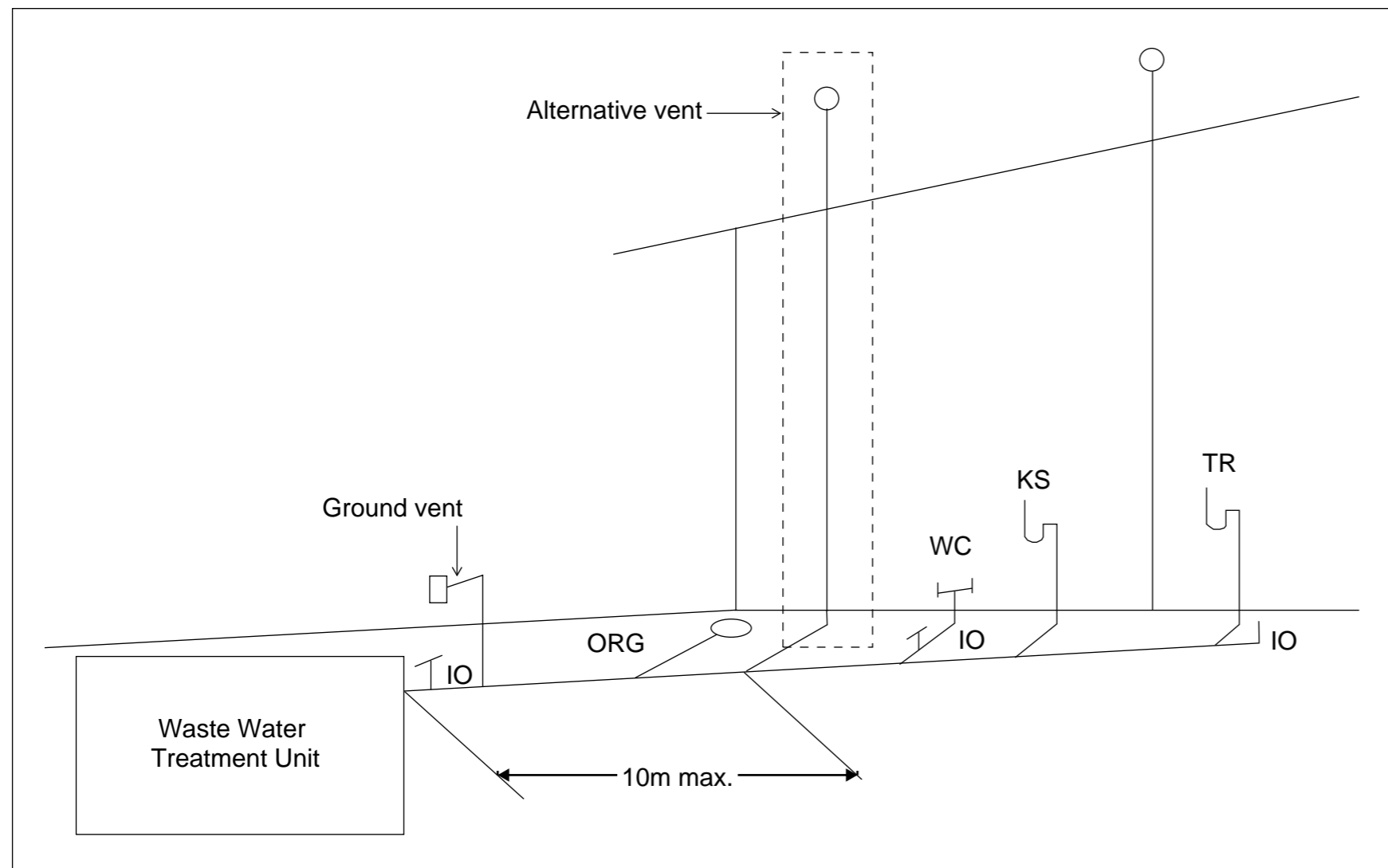
C.T.: 224809/3
PID: 3041668

Date: 07/02/2024

On-Site Wastewater Management Plan

Drawing Number:

Sheet 1 of 1
Drawn by: LR



Tas Figure H101.2 Alternative Venting Arrangements

Vents must terminate in accordance with AS/NZS 3500.2

Alternative venting to be used by extending a vent to terminate as if an upstream vent, with the vent connection between the last sanitary fixture or sanitary appliance and the on-site wastewater management system. Use of a ground vent is not recommended

Inspection openings must be located at the inlet to an on-site wastewater management system treatment unit and the point of connection to the land application system and must terminate as close as practicable to the underside of an approved inspection opening cover installed at the finished surface level

Access openings providing access for desludging or maintenance of on-site wastewater management system treatment units must terminate at or above finished surface level

Alternative vent is the preferred arrangement where possible.

Details of your Building

(Approx. weight: 7,100kg)

Span	Main Building: 10 metres
Length	26 metres (5 Bays: 5 metres, 5 metres, 5 metres, 5 metres, 6 metres)
Height	5 metres
Roof Type	Gable, 10 degree pitch
Roof	COLORBOND® steel CORODEK® 0.42 BMT (0.47TCT) sheeting, BlueScope
Walls and Trim	COLORBOND® steel TRIMCLAD® 0.42 BMT (0.47TCT) sheeting, BlueScope
Gutters	WINDSPRAY® GUTTER-01. We have calculated the number of downpipes required for: Left Side = 3. Right Side = 3.
Downpipes	90mm PVC downpipe - 6m lengths, 90mm Downpipe straps
Roller Doors	Four (4) COLORBOND® steel 3.55m high x 3m wide roller doors supplied with a planetary gearing system (roller door is not wind rated). An internal chain drive has been added to the door to assist with opening and closing the door at heights. Refer to the General Specification (# Access Doors) in relation to opening sizes. The Roller Doors are boxed or steel wrapped for protection during transport. Refer to the Building information for details on Industrial Door Handling.
PA Doors	One (1) Larnec 2040h x 820w Single skin metal clad pre-hung door with COLORBOND® steel® steel facings and fold-down vertical sides for strength and appearance. Powder coated welded RHS frame. Supplied with a Knob/Lever entrance set. 180 degrees opening and reversible handing;
Dividing Walls	One (1) structural wall coloured red running across the span of the building between bays 4 & 5. COLORBOND® steel TRIMCLAD® 0.42 BMT (0.47TCT) sheeting. This wall will be the colour selected for internal walls. This wall is structural - they must be installed in the location shown. They cannot be moved at any time.
Open Bays	One (1) 6m open bay - along the sides of the steel building. Refer to Layout (attached) for location & height clearances.
Purlins & Girts	Z sections bolted to rafters & columns with a minimum overlap of 10% of the bay width. The roof purlins are Z150, the side girts are Z150 and the end girts are Z100.
Bracing	The building will have Apex braces. Estimated internal apex clearance is: 4.158m.
Fixing to Footings	Tru-Bolts fitted after concrete is cured.





Specific Inclusions Of Building

- Determination of the design criteria by the engineer. This includes assessment in 8 cardinal directions to determine the site design wind speed based on the building orientation.
- A comprehensive step by step Construction Kit. This kit is specific to your building and gives step by step, simple to follow instructions on how to build your building.
- Engineering certification of the steel building to the appropriate Australian Standards.
- Slab or Pier designs for soil classes A, S, M, H1 and H2.
- Materials as nominated above supplied as per the attached "General Specification".
- BlueScope - product warranties of up to 15 years apply.

Specific Exclusions

- Drawings other than detailed above.
- Consent authority including any building, development or construction certificate application(s).
- Construction of the steel building and any foundations (building is supplied as a kit).
- Insurance of the steel building once delivered to site or collected from depot.

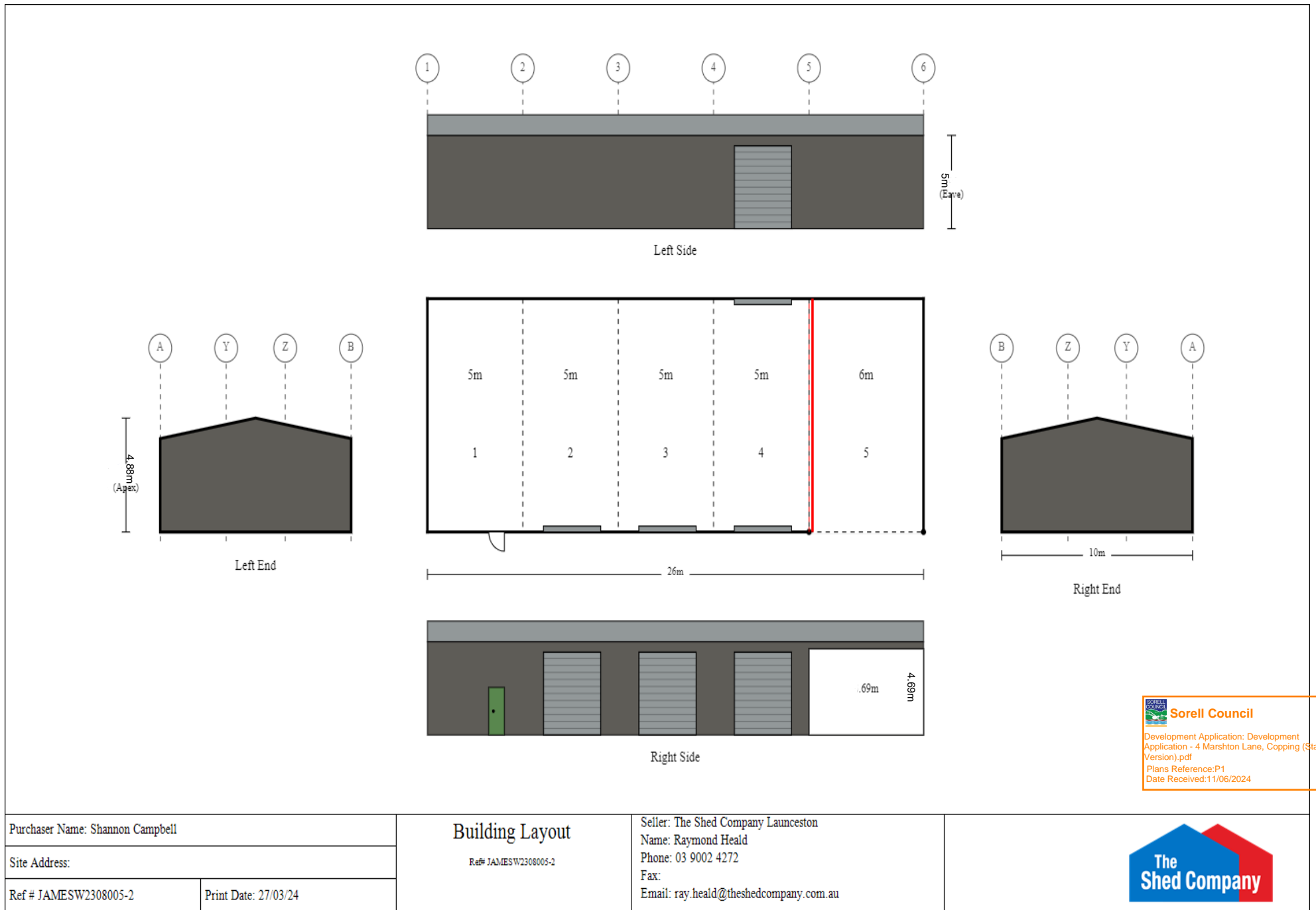
If you have any further queries, then please do not hesitate to contact us.

Kind Regards,

Raymond Heald
Director

☎ | 03 9002 4272

✉ | ray.heald@theshedcompany.com.au



Sorell Council
 Development Application: Development Application - 4 Marshton Lane, Copping (Stamped Version).pdf
 Plans Reference:P1
 Date Received:11/06/2024

Purchaser Name: Shannon Campbell	
Site Address:	
Ref # JAMESW2308005-2	Print Date: 27/03/24

Building Layout
 Ref# JAMESW2308005-2

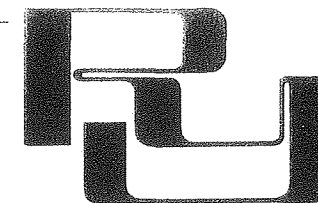
Seller: The Shed Company Launceston
 Name: Raymond Heald
 Phone: 03 9002 4272
 Fax:
 Email: ray.heald@theshedcompany.com.au





Sorell Council

Development Application: 5.2024.136.1 -
Response to Request For Information - 4
Marston Lane, Copping - P7.pdf
Plans Reference: P7
Date Received: 06/03/2026



RONALD YOUNG

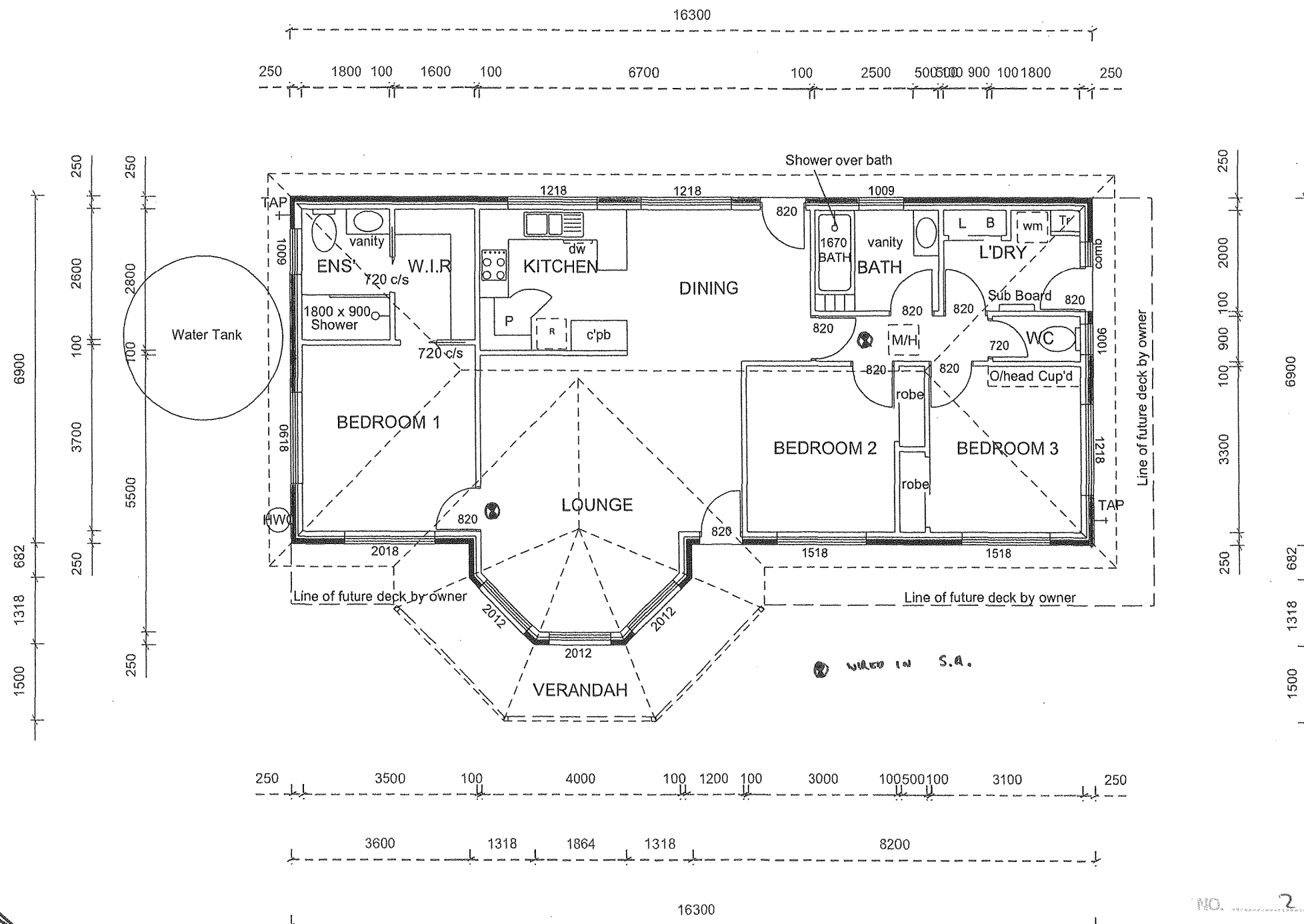
A.B.N. 52 009 494 446

CNR COLLINS & HARRINGTON STS, HOBART 7000

PHONE: 6234 7633 FAX: 6234 6445

BUILDING - DESIGN - DEVELOPMENT

CO BUILDERS PTY



BUILDING PERMIT DOCUMENT
 This document is one of the documents relevant to the permit issued for building work as identified by permit No. aa 2011 216 1
 Date permit issued: 10/11/2011
 Permit Authority: [Signature]

PLUMBING PERMIT DOCUMENT
 This document is one of the documents relevant to the permit issued for plumbing work as identified by permit No. 23/2011/216/1
 Date permit issued: 10-11-2011
 Permit Authority: [Signature]

Another Perspective
 5 Star Energy Certified
 Cert. No: 2011-08-0210
 Date: 24/8/11
 Signed: [Signature]

NO. 265B-11
 DATE: 25-8-11
 BUILDING SURVEYOR

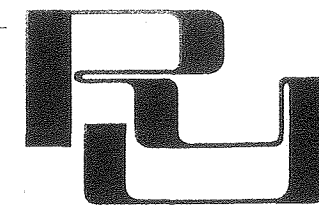
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DRAWING: GROUND FLOOR PLAN
 DATE: 6 July 2011
 FILE NAME: 1494 - PRELIMINARY
 DRAWN BY: KL

Scale 1 : 100

PROPOSED DWELLING FOR CAMBELL & CULLEN
AT LOT 3 ARTHUR HWY, COPPING

DWG No: 02



RONALD YOUNG

A.B.N. 52 009 494 446

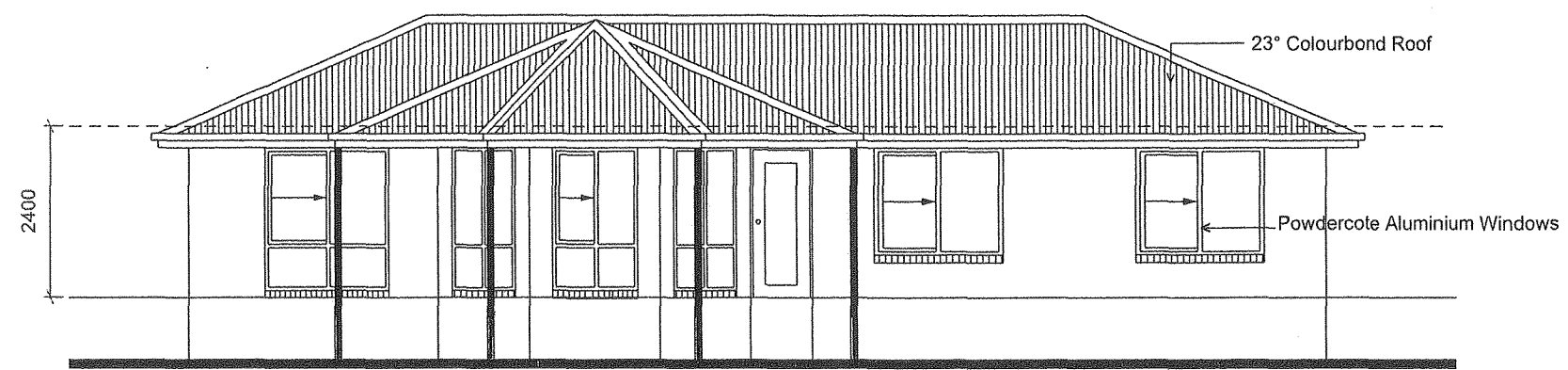
CNR COLLINS & HARRINGTON STS, HOBART 7000

PHONE: 6234 7633 FAX: 6234 6445

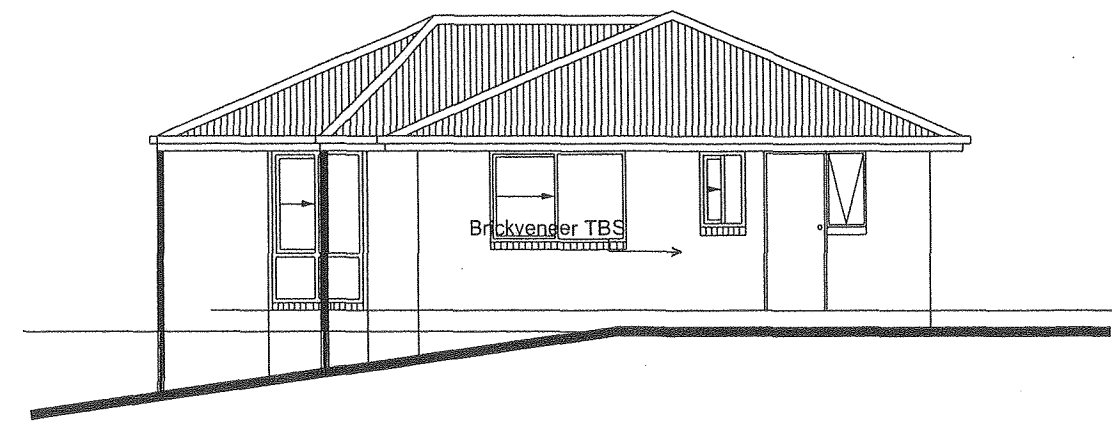
BUILDING - DESIGN - DEVELOPMENT

CO BUILDERS PTY

Sorell Council
 Development Application: 5.2024.136.1 -
 Response to Request For Information - 4
 Marshton Lane, Copping - P7.pdf
 Plans Reference: P7
 Date Received: 06/03/2026



NORTH EAST ELEVATION



NORTH WEST ELEVATION

BUILDING PERMIT DOCUMENT
 This document is one of the documents relevant to the permit issued for building work as identified by permit No. **aa 2011-216-1**
 Date permit issued: **10/11/2011**
 Permit Authority: *[Signature]*

Another Perspective
5 Star Energy Certified
 Cert. No: **2011-08-026**
 Date: **24/8/11**
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NO. **265B-11**
 DATE: **25-8-11**
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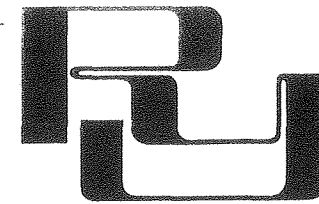
DRAWING: ELEVATIONS <SHEET 1 of 2>
 DATE: 6 July 2011
 FILE NAME: 1494 . PRELIMINARY
 DRAWN BY: KL

DWG No: **03**



Sorell Council

Development Application: 5.2024.136.1 -
Response to Request For Information - 4
Marshton Lane, Copping - P7.pdf
Plans Reference: P7
Date Received: 06/03/2026



RONALD YOUNG & CO BUILDERS PTY

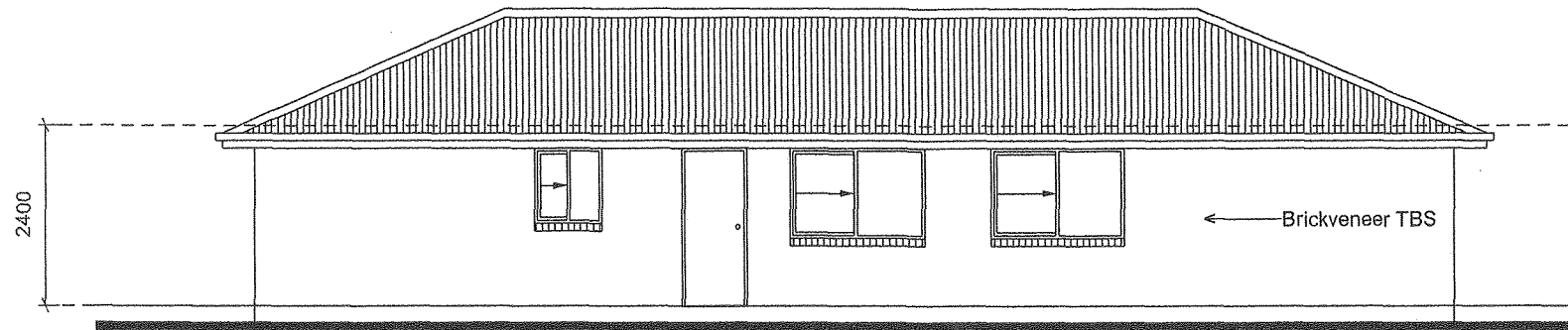
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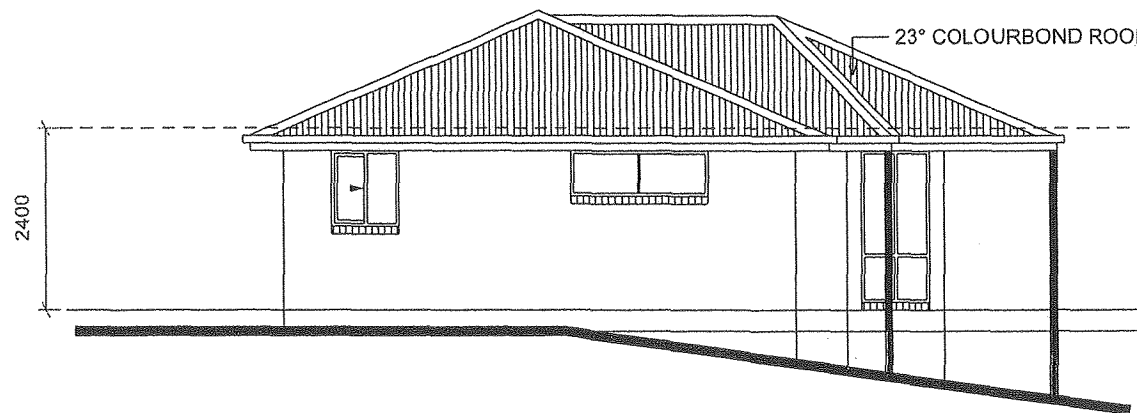
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BUILDING - DESIGN - DEVELOPMENT

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SOUTH WEST ELEVATION



SOUTH EAST ELEVATION

This document is a copy of the documents relevant to the permit issued for building work as identified by permit No. 2011-08-0210
Date permit issued: 10/11/2011
Permit Authority:

Another Perspective
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Cert. No: 2011-08-0210
Date: 24/8/11
Signed:

NO. 26513-11
DATE: 25-8-11

BUILDING SURVEYOR

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**PROPOSED DWELLING FOR CAMBELL & CULLEN
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DRAWING: ELEVATIONS SHEET 2 of 2
DATE: 6 July 2011
FILE NAME: 1494 . PRELIMINARY
DRAWN BY: KL

DWG No: 03a