

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:

18 DOWNWARD WAY, SORELL

PROPOSED DEVELOPMENT:

DWELLING

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 4th May 2026**.

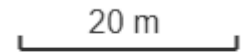
Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 4th May 2026**.

APPLICATION NO: 5.2026-93.1
DATE: 17 APRIL 2026



Disclaimer

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.



17-Apr-2026

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>

Design and construction cost of proposal:	\$
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Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address:
	Suburb: Postcode:
	Certificate of Title(s) Volume: Folio:

Current Use of Site
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Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form
<https://www.sorell.tas.gov.au/services/engineering/>



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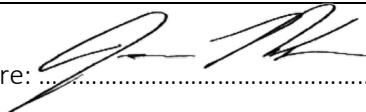
Part B continued: Please note that Part B of this form is publicly exhibited

Declarations and acknowledgements

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council’s representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the *Land Use Planning and Approvals Act 1993*, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.

Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council’s Privacy Policy available on the Council website.

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.
- Where the General Manager’s consent is also required under s.14 of the *Urban Drainage Act 2013*, by making this application I/we also apply for that consent.

Applicant Signature:	Signature:  Date:
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Crown or General Manager Land Owner Consent


If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the *Land Use Planning and Approvals Act 1993*).

Please note:

- If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

I _____ being responsible for the administration of land at _____

declare that I have given permission for the making of this application for _____



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Signature of General Manager, Minister or Delegate:	Signature: Date:
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SEARCH OF TORRENS TITLE

VOLUME 183294	FOLIO 195
EDITION 3	DATE OF ISSUE 19-Sept-2023

SEARCH DATE : 25-Feb-2026

SEARCH TIME : 10.58 am

DESCRIPTION OF LAND

Parish of SORELL Land District of PEMBROKE
 Town of SORELL
 Lot 195 on Sealed Plan [183294](#)
 Derivation : Part of 980 Acres Gtd. to Thomas Villeneuve Jean
 and Cornelius Driscoll
 Prior CT [146152/1](#)

SCHEDULE 1


[E248544](#) TRANSFER to LYDEN DEVELOPMENTS PTY LTD Registered
 12-Dec-2022 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP183294](#) COVENANTS in Schedule of Easements
[SP183294](#) FENCING PROVISION in Schedule of Easements
[SP146152](#) FENCING COVENANT in Schedule of Easements
[E359513](#) MORTGAGE to Commonwealth Bank of Australia
 Registered 19-Sept-2023 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



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SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP. 183294

PAGE 1 OF 9 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lots 175, 177, 178, 187 and 200 – 210 (inclusive) (“the Lots”) are subject to a PIPELINE AND SERVICES EASEMENT^(as defined herein) in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00m WIDE shown on the Plan (“the Easement Land”).

Lots 175, 177, 178, 187 and 200 – 210 (inclusive) on the Plan are subject to a Drainage Easement (as defined) in gross in favour of the Sorell Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00m WIDE on the Plan.

~~Lot 502 on the Plan is subject to the easements created by and described in E224895 and E224894 over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT VARIABLE WIDTH (created by E224895 & E224894) on the Plan.~~

EASEMENTS CONTINUED ON PAGE 9

COVENANTS

The owner of each lot on the Plan (excepting lot 502) covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantors’ lot and every part thereof and that the benefit


Director

Director

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: LYNMORE HOLDINGS PTY LTD	PLAN SEALED BY: Sorell Council
FOLIO REF: 180370/1 & 146152/1	DATE: 30.6.22
SOLICITOR	7.2020.17.2
& REFERENCE: Page Seager (DAS 201243 – Stages 2 & 3)	REF NO. Council Delegate

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.



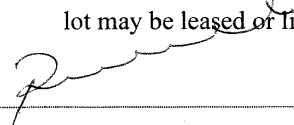
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thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, any kit home, relocatable dwelling or weatherboard dwelling on such lot.
2. Not without the prior written consent of the Vendor to construct on any such lot which has an area greater than 550 square metres, a dwelling with a liveable floor area of less than 130 square metres, (which area shall not include patios, verandas and carports), except if the dwelling is one of a greater number of multiple dwellings on that lot.
3. Not without the prior written consent of the Vendor to construct on any such lot, a dwelling which may be used other than as a single dwelling.
4. Not to construct any walls of any residential building on such lot from any material except brick, finished rendered surface or masonry without the prior written consent of the Vendor, PROVIDED THAT (subject to the other covenants contained in this Schedule of Easements) the use of timber, non-brick, and James Hardie products, or non-masonry materials not exceeding thirty percent (30%) of the total external wall area is permitted.
5. Not without the prior written consent of the Vendor:
 - (a) to use or allow such lot to be used for any public housing or public rental project or public assistance program;
 - (b) to use or allow such lot to be occupied on any basis which involves any state or federal government rental assistance, rental benefit or rental relief;
 - (c) to use or allow such lot to be occupied on any basis where the owner of such lot does not have the absolute right (subject to the rights of any mortgagee) to determine to whom such lot may be leased or licensed; and

Director 

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(d) to use or allow such lot to be used for the purposes of a public road.

6. Not without the prior written consent of the Vendor to construct any dwelling on such lot unless there is a lockable skip of at least 3m³ capacity placed on such lot during the construction of the dwelling for all rubbish and discarded materials.

7. Lots are not to be used as public roads without the prior written consent of the Vendor.

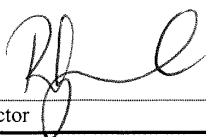
The owners of each lot on the plan (excepting Lot 502) each covenant in gross with the Sorell Council to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof shall be in favour of the said Sorell Council to observe the following stipulations:-

1. Not without the prior written consent of the Sorell Council to construct any building on a lot with a toilet included without at the same time installing one or more rainwater tanks with a combined minimum volume of 5000 litres which must:
 - (a) collect all roof water runoff and be connected to the internal plumbing to provide water for toilet flushing, laundry and on-site garden use; and
 - (b) have a minimum retention storage of 2000 litres and be plumbed into toilets so that re-use occurs, with top-up from the reticulated supply.
2. Domestic water pumps must be fitted with noise suppression measures to the satisfaction of Sorell Council's Manager Engineering & Regulatory Services.

The owner of lot 11 on the Plan covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-



Director



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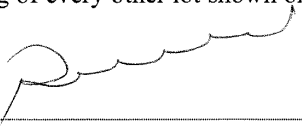
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1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, along the lot boundary marked 'A' to 'B' to 'C' on the Plan any boundary fence other than a fence constructed using the following:
 - (a) 1800mm x 50mm x 50mm steel posts, being 2mm thick, with a 'Red Rock' powder-coat finish; and
 - (b) adaptor 'U' channel aluminium with a 'Red Rock' powder-coat finish; and
 - (c) 2.7 metre lengths of horizontal 'Ekodeck' composite decking in the 'Red Rock' colour.

The owner of lot 10 on the Plan covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, along the lot boundary marked 'C' to 'D' on the Plan any boundary fence other than a fence constructed using the following:
 - (a) 1800mm x 50mm x 50mm steel posts, being 2mm thick, with a 'Red Rock' powder-coat finish; and
 - (b) adaptor 'U' channel aluminium with a 'Red Rock' powder-coat finish; and
 - (c) 2.7 metre lengths of horizontal 'Ekodeck' composite decking in the 'Red Rock' colour.

The owner of lot 9 on the Plan covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run




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with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, along the lot boundaries marked 'D' to 'E' to 'F' on the Plan any boundary fence other than a fence constructed using the following:
 - (a) 1800mm x 50mm x 50mm steel posts, being 2mm thick, with a 'Red Rock' powder-coat finish; and
 - (b) adaptor 'U' channel aluminium with a 'Red Rock' powder-coat finish; and
 - (c) 2.7 metre lengths of horizontal 'Ekodeck' composite decking in the 'Red Rock' colour.

The owner of lot 8 on the Plan covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, along the lot boundaries marked 'F' to 'G' on the Plan any boundary fence other than a fence constructed using the following:
 - (a) 1800mm x 50mm x 50mm steel posts, being 2mm thick, with a 'Red Rock' powder-coat finish; and
 - (b) adaptor 'U' channel aluminium with a 'Red Rock' powder-coat finish; and
 - (c) 2.7 metre lengths of horizontal 'Ekodeck' composite decking in the 'Red Rock' colour.




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The owner of lot 7 on the Plan covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, along the lot boundaries marked 'G' to 'H' on the Plan any boundary fence other than a fence constructed using the following:
 - (a) 1800mm x 50mm x 50mm steel posts, being 2mm thick, with a 'Red Rock' powder-coat finish; and
 - (b) adaptor 'U' channel aluminium with a 'Red Rock' powder-coat finish; and
 - (c) 2.7 metre lengths of horizontal 'Ekodeck' composite decking in the 'Red Rock' colour.

FENCING PROVISION

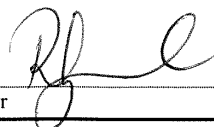
In respect of the Lots shown on the Plan, the Vendor (Lynmore Holdings Pty. Ltd.) shall not be required to fence.

DEFINITIONS

"**Drainage Easement**" means a right of drainage (including the right of construction of drains) for Sorell Council with which the right shall be capable of enjoyment for the purpose of carrying away stormwater and other surplus water from any land over or under the land herein indicated as the land over which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Sorell Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-




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mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

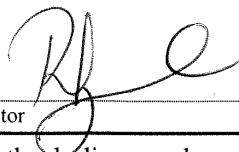
“**Pipeline and Services Easement**” is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (d) without doing unnecessary damage to the Easement Land; and
 - (e) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.




Director



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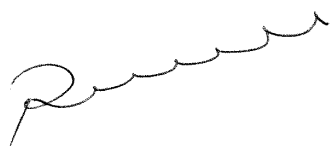
SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

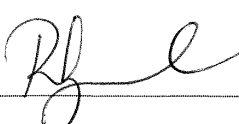
“**Infrastructure**” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

“**TasWater**” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.




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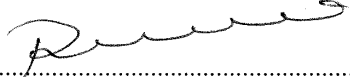
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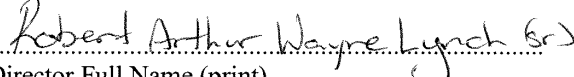
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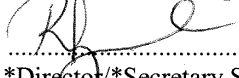
ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 9 OF 9 PAGES	Registered Number SP 183294
SUBDIVIDER: LYNMORE HOLDINGS PTY. LTD. FOLIO REFERENCE: 180370/1 & 146152/1	

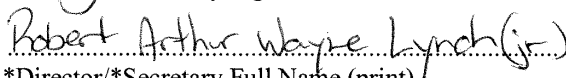
EXECUTED by LYNMORE HOLDINGS PTY. LTD.)
 (ACN 061 015 129), as registered proprietor of the land)
 comprised in Folio of the Register Volume 180370 Folio 1)
 and Folio of the Register Volume 146152 Folio 1 pursuant)
 to section 127 of the *Corporations Act 2001* by:)




X 
 Director Signature


 Director Full Name (print)


 *Director/*Secretary Signature


 *Director/*Secretary Full Name (print)

(*please strike out inapplicable *if Sole Director/Secretary write 'Sole')



Sorell Council

Development Application: 5.2026.93.1 -
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EASEMENTS CONTINUED

Lot 502 on the plan is subject to a Pipeline and Services Easement in favour of Tasmanian Water & Sewerage Corporation Limited over the land marked Pipeline and Services Easement & Drainage Easement variable width on the plan and as created by and more fully set forth in E224894.

Lot 502 on the plan is subject to a Drainage Easement in favour of Sorell Council over the land marked Pipeline and Services Easement & Drainage Easement variable width on the plan and as created by and more fully set forth in E224895.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

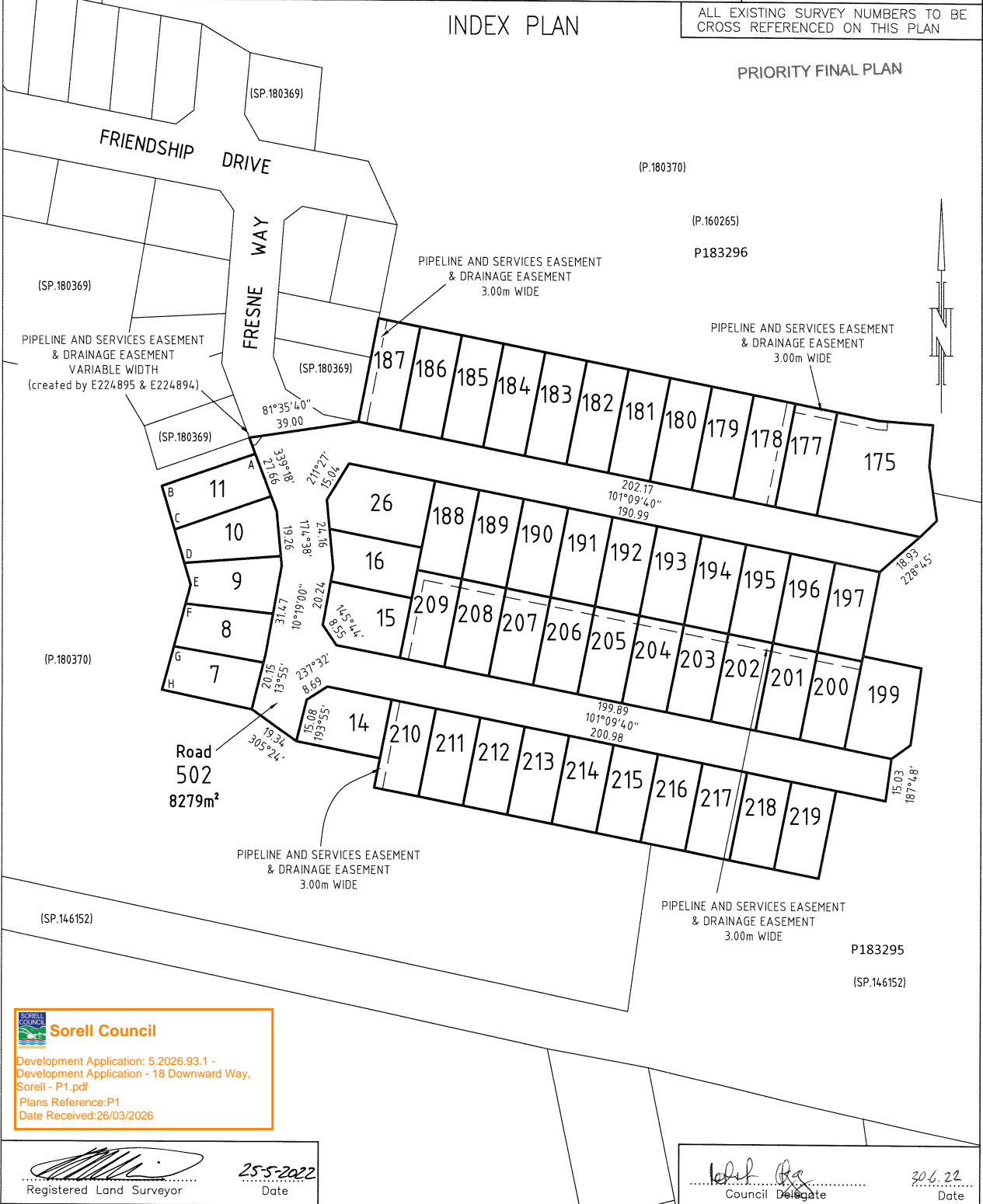
4 July 2022

OWNER LYNMORE HOLDINGS PTY LTD	<p align="center">PLAN OF SURVEY BY SURVEYOR ANDREW STEPHEN BIRCH ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0419-594-966</p>	REGISTERED NUMBER
FOLIO REFERENCE C.T.180370/1 & C.T.146152/1		<p align="center">SP183294</p>
GRANTEE PART OF 980 ACRES GTD TO THOMAS VILLENEUVE JEAN & CORNELIUS DRISCOLL	<p align="center">LAND DISTRICT OF PEMBROKE PARISH OF SORELL TOWN OF SORELL</p>	APPROVED EFFECTIVE FROM <u>14 JUL 2022</u>
SCALE 1: 1250 LENGTHS IN METRES		Recorder of Titles

INDEX PLAN

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

PRIORITY FINAL PLAN



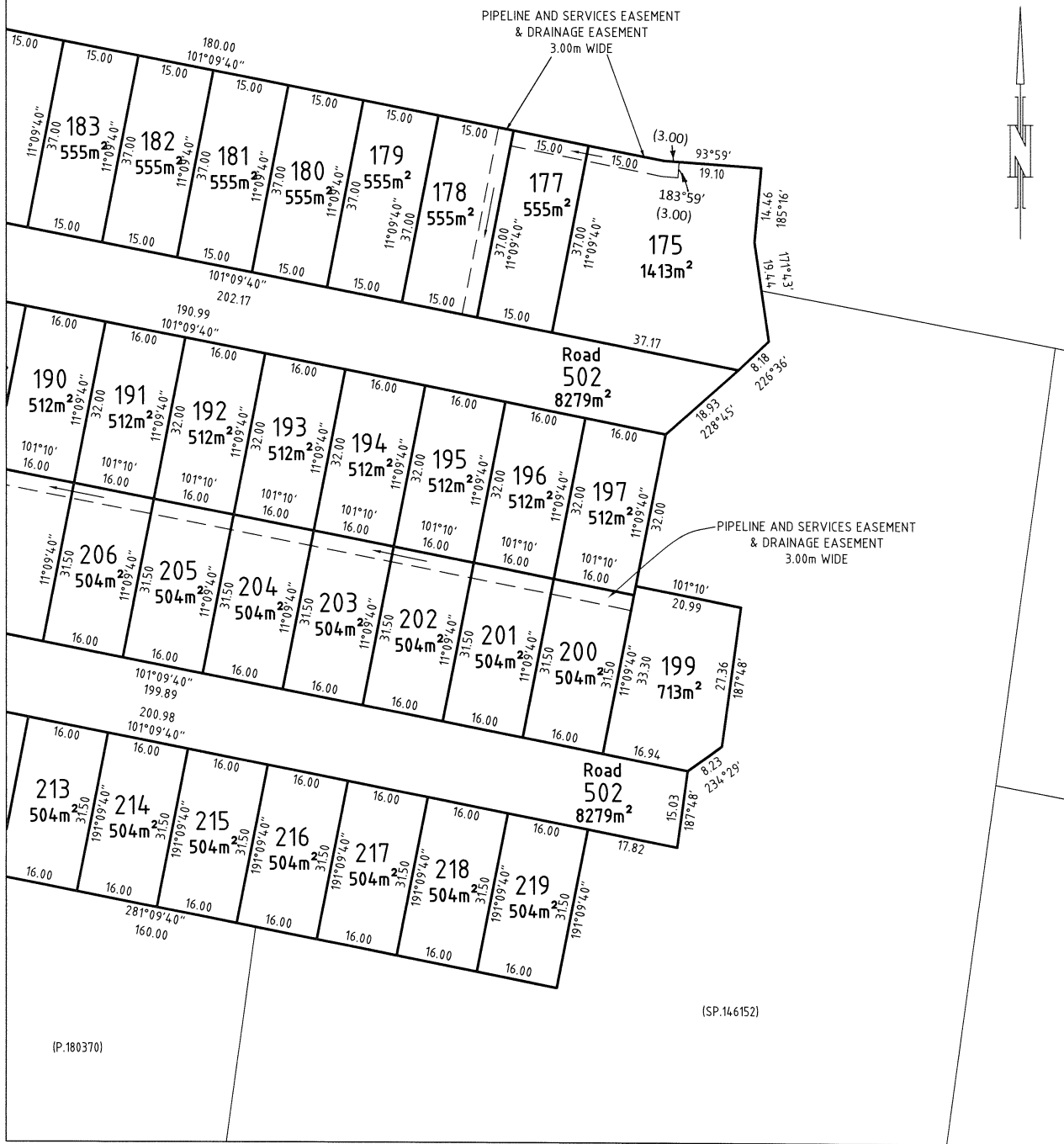
<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 2 OF 2 SHEETS</p>	<p>OWNER: LYNMORE HOLDINGS PTY LTD</p> <p>FOLIO REFERENCE: C.T.180370/1 & C.T.146152/1</p> <p>SCALE 1:750 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP183294</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 30.6.22 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 25.5.2022 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 14 JUL 2022</p> <p><i>[Signature]</i> Recorder of Titles</p>



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(P.180370)



PINNACLE

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Note: The images provided are artistic representations only and should not be used as references for final colours, finishes, or external/internal features.

18 Downward Way, Sorell 7172

Owner(s) or Clients	Lyden Developments	Title Reference	183294/195
Building Classification	1a	Zoning	General Residential
Designer	Jason Nickerson CC6073Y	Land Size	512m ²
Total Floor Area (Combined)	138.32m ² Deck 5.59m ²	Design Wind Speed	TBA
Alpine Area	N/A	Soil Classification	TBA
Other Hazards <small>(e.g., High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice, or other relevant factors)</small>	Airport noise exposure area, Bushfire-prone areas, Airport obstacle limitation area	Climate Zone	7
		Corrosion Environment	Low
		Bushfire Attack Level (BAL)	TBA

Changes List			
Issue	Description of change	Date	Designer

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ID	Sheet Name	Issue
A.01	Site Plan	DA - 01
A.02	Floor Plan	DA - 01
A.03	Elevations	DA - 01
A.04	Elevations	DA - 01
A.05	Roof Plan	DA - 01
A.06	Electrical Plan	DA - 01

Legend

- Electrical Connection
- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant
- Solar Bollard Light
- Spotlight with sensor

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a) Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than (i) 25mm over the first 1m from the building (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or clay paving); or (B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or (ii) 50 mm over the first 1 m from the building in any other case.
- (b) Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces must be not less than (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or (ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with (a); or (iii) 150 mm in any other case.
- (c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

- Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must- (a) be graded with a uniform fall of not less than 1:300; and (b) discharge into an external silt pit or sump with- (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

Note

All driveway pits and grate drains to be **Class B**.

Stormwater pits are indicative. Location may vary depending on site conditions.

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Survey Notes from Surveyor

This plan and associated digital model is prepared for Pinnacle Drafting & Design from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by plan dimensions only and not by field survey. No measurements or offsets are to be derived between the features on this plan and the boundary layer. The relationship between the features in this model and the boundary layers cannot be used for any set out purposes or to confirm the position of the title boundaries on site.

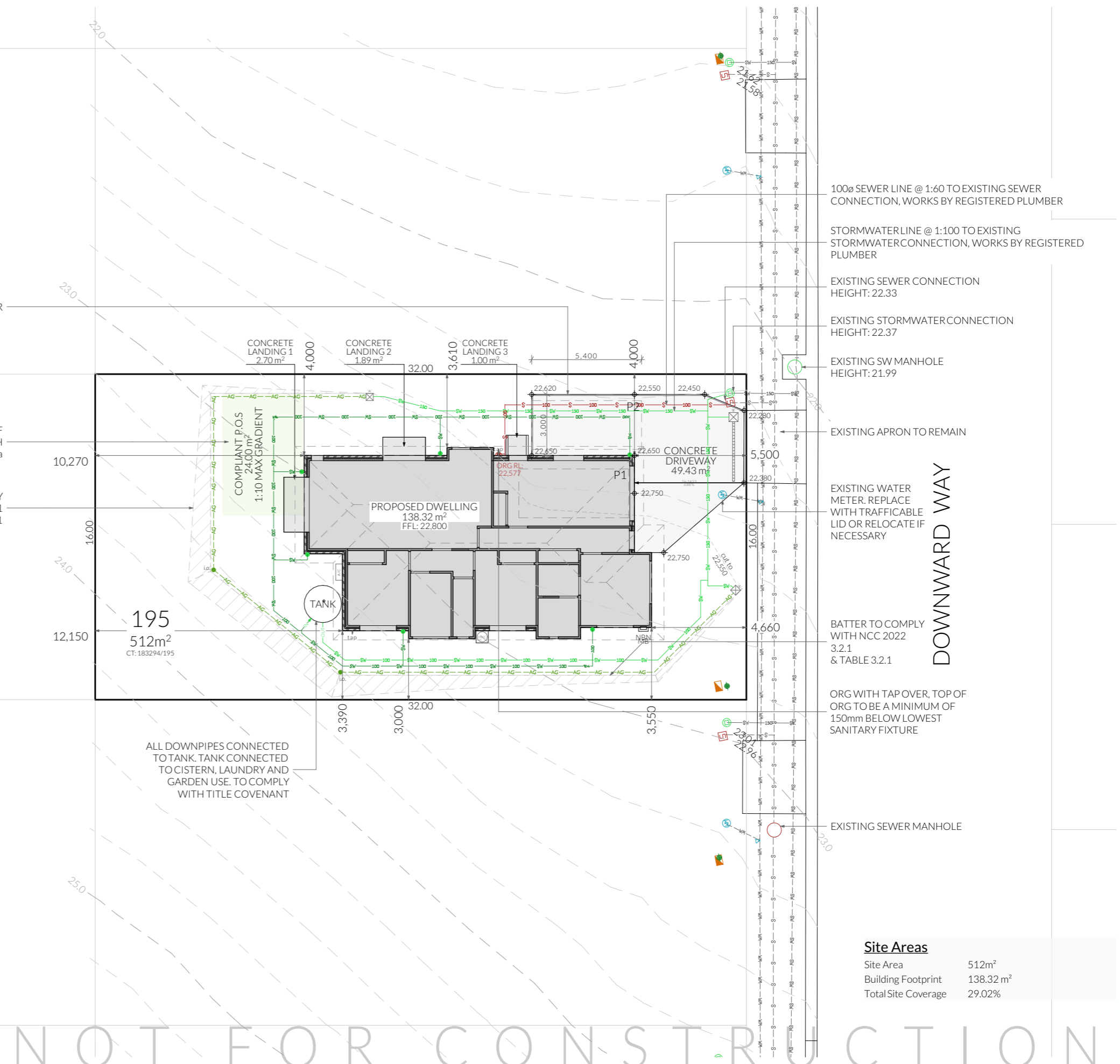
Services shown have been located where visible by field survey. Services denoted as being "Per DBYD only" are approximate and for illustrative purposes only. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

This note forms an integral part of the Plan/Data. Any reproduction of this plan/model without this note attached will render the information shown invalid.

FALL GROUND AWAY FROM HOUSE A MINIMUM OF 50mm OVER FIRST 1000mm IN ACCORDANCE WITH AS2870, NCC 2022 PART 3.3.3 & FIGURE 3.3.3a

BATTER TO COMPLY WITH NCC 2022 3.2.1 & TABLE 3.2.1

ALL DOWNPIPES CONNECTED TO TANK. TANK CONNECTED TO CISTERN, LAUNDRY AND GARDEN USE. TO COMPLY WITH TITLE COVENANT



- 100mm SEWER LINE @ 1:60 TO EXISTING SEWER CONNECTION, WORKS BY REGISTERED PLUMBER
- STORMWATER LINE @ 1:100 TO EXISTING STORMWATER CONNECTION, WORKS BY REGISTERED PLUMBER
- EXISTING SEWER CONNECTION HEIGHT: 22.33
- EXISTING STORMWATER CONNECTION HEIGHT: 22.37
- EXISTING SW MANHOLE HEIGHT: 21.99
- EXISTING APRON TO REMAIN
- EXISTING WATER METER. REPLACE WITH TRAFFICABLE LID OR RELOCATE IF NECESSARY
- BATTER TO COMPLY WITH NCC 2022 3.2.1 & TABLE 3.2.1
- ORG WITH TAP OVER, TOP OF ORG TO BE A MINIMUM OF 150mm BELOW LOWEST SANITARY FIXTURE
- EXISTING SEWER MANHOLE

DOWNWARD WAY

Site Areas	
Site Area	512m ²
Building Footprint	138.32 m ²
Total Site Coverage	29.02%

NOT FOR CONSTRUCTION

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Site Plan Revision: DA - 01 Approved by: TBA	Scale: 1:200 @ A3 Pg. No: A.01	Proposal: Proposed dwelling Client: Lyden Developments Address: 18 Downward Way, Sorell 7172	Date: 18.03.2026 Drawn by: MM & JRM Job No: 043/2022 Engineer: TBA Building Surveyor: TBA	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Issue</th> <th>Date</th> <th>Designer</th> </tr> </thead> <tbody> <tr> <td colspan="3" style="text-align: center;">NOTE: Refer to cover page for further details on changes.</td> </tr> </tbody> </table>	Issue	Date	Designer	NOTE: Refer to cover page for further details on changes.				These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2026. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.
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- Access Panel
- Articulation Joint
- Smoke Alarm

- BATTS TO WALL
- SOUND INSULATION

Important Note

Compliant bracing for livable housing standards - black dashed line represents location of reinforcement materials.

In accordance with the Livable Housing Provisions, acceptable options for reinforcement material include noggings with a minimum thickness of 25mm or structural grade plywood with a minimum thickness of 12mm.

Required reinforcement of bathroom and sanitary compartment in compliance with Livable Housing Design Standards 2022

Builder to refer to:
Shower - Figure 6.2c
Bath - n/a - freestanding is exempt under 6.1(1)(b)(ii) and the shower required under Part 5 is located in the Bathroom
Toilet - Figure 6.2f

Construction of sanitary compartments 10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the *sanitary compartment* and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:

Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms & other spaces 10.3.1 of NCC 2022

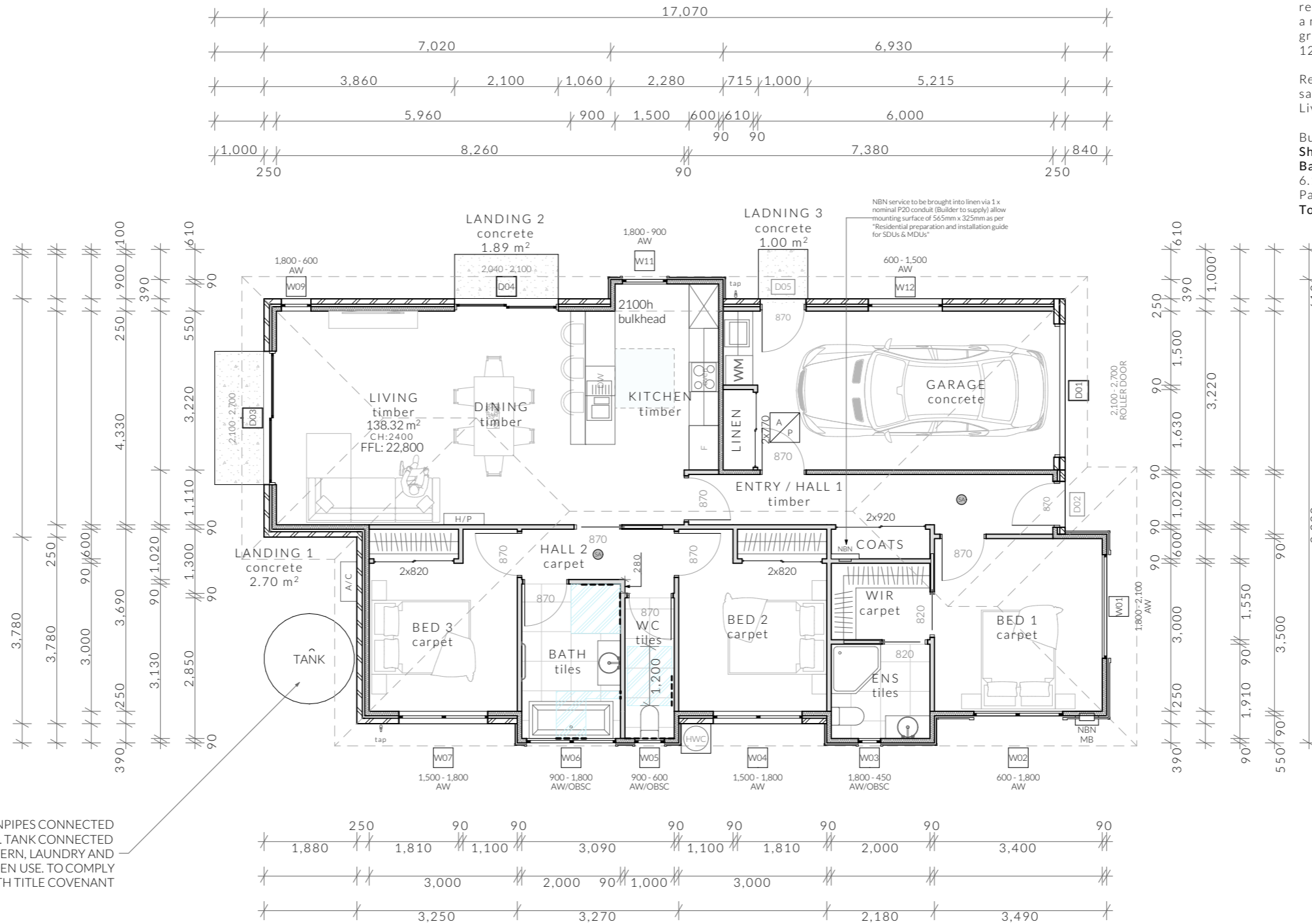
Heights of rooms and other spaces must not be less than;

- (a) in a *habitable room* excluding a kitchen - 2.4 m; and
- (b) in a kitchen - 2.1 m; and
- (c) in a corridor, passageway or the like - 2.1 m; and
- (d) in a bathroom, shower room, laundry, *sanitary compartment*, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and
- (e) in a room or space with a sloping ceiling or projections below the ceiling line within- See NCC directly for these items
- (f) in a stairway, ramp, *landing*, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, *landing* or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact *Pinnacle* before undertaking works.

Floor Areas

Floor Area	138.32m ²
Landing 1	2.70m ²
Landing 2	1.89m ²
Landing 3	1.00m ²

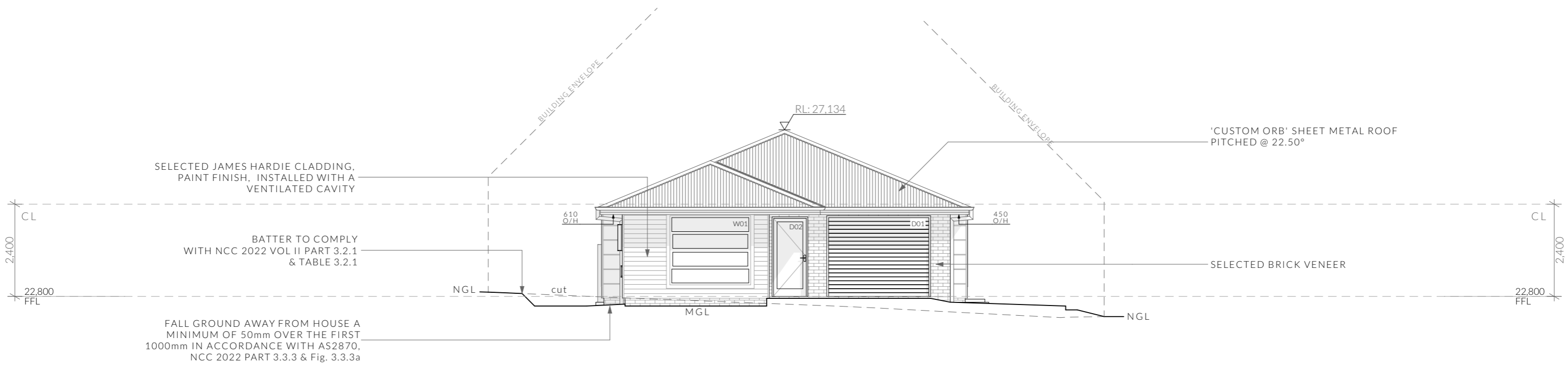


ALL DOWNPIPES CONNECTED TO TANK. TANK CONNECTED TO CISTERN, LAUNDRY AND GARDEN USE. TO COMPLY WITH TITLE COVENANT

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PINNACLE PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Floor Plan Revision: DA - 01 Approved by: TBA	Scale: 1:100 @ A3 Pg. No: A.02	Proposal: Proposed dwelling Client: Lyden Developments Address: 18 Downward Way, Sorell 7172	Date: 18.03.2026 Drawn by: MM & JRM Job No: 043/2022 Engineer: TBA Building Surveyor: TBA	<table border="1"> <thead> <tr> <th>Issue</th> <th>Date</th> <th>Designer</th> </tr> </thead> <tbody> <tr> <td colspan="3">NOTE: Refer to cover page for further details on changes.</td> </tr> </tbody> </table>	Issue	Date	Designer	NOTE: Refer to cover page for further details on changes.				These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2026. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.	Lydenbuilders bdoo BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA
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North Elevation

1:100



East Elevation

1:100

NOTE
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

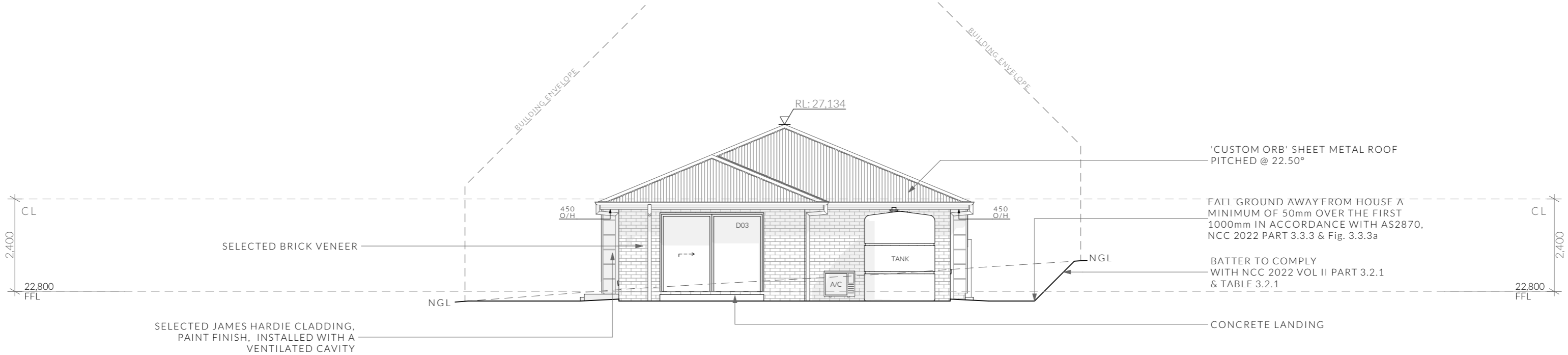
As per NCC parts 11.3.7 and 11.3.8, Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700

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South Elevation

1:100



West Elevation

1:100

NOTE
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:
100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

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Ventilation of roof spaces NCC 2022

Part 10.8.3

A roof must have a roof space that-

- (a) is located-
 - (i) immediately above the primary insulation layer; or
 - (ii) immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or
 - (iii) immediately above ceiling insulation; and
- (b) has a height of not less than 20 mm; and
- (c) is either-
 - (i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
 - (ii) located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

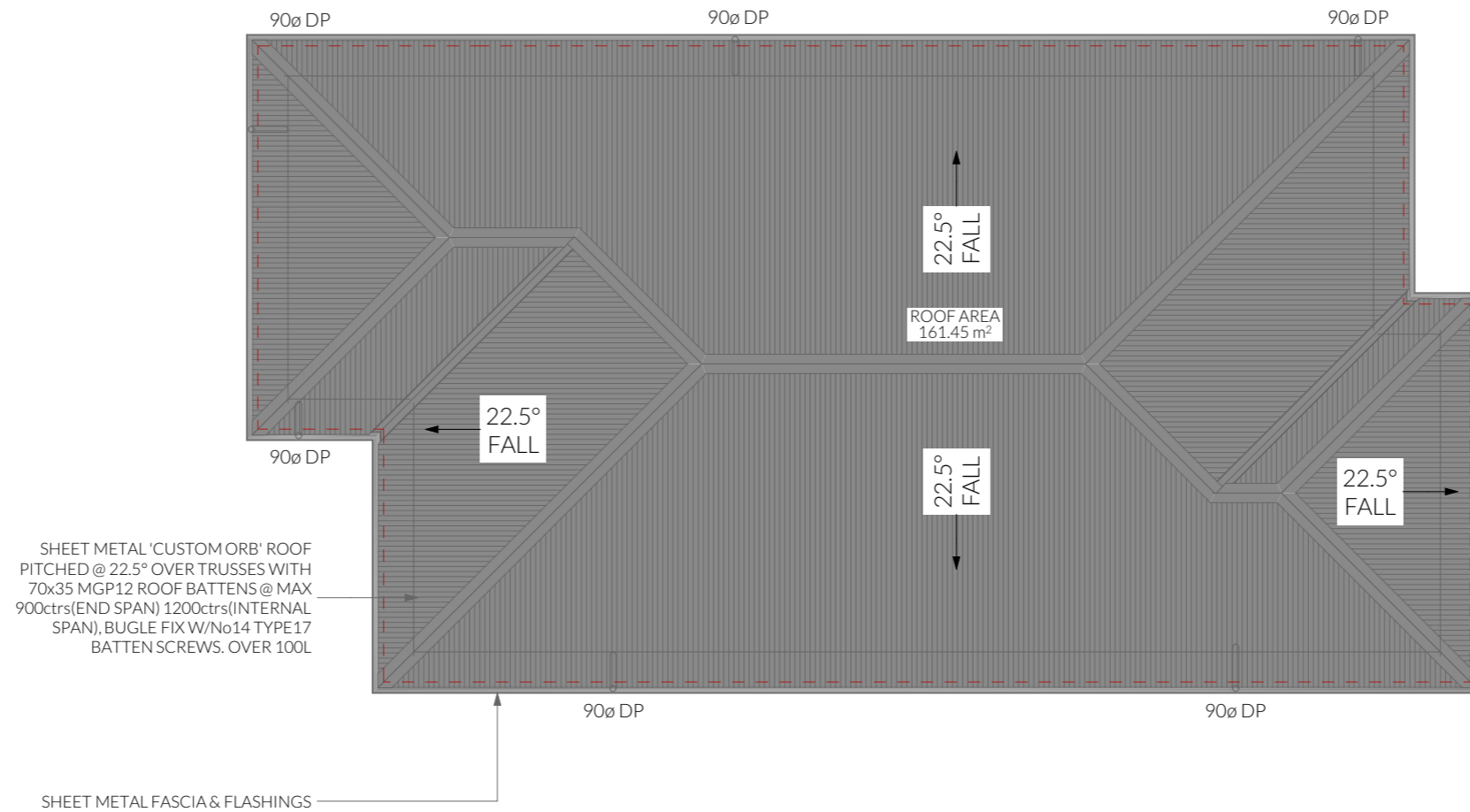
Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a) comply with AS/NZS 2908.2 or ISO 8336; and
- (b) be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
 - (i) 2.8 x 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

ROOF PITCH	VENTILATION OF OPENINGS (TABLE 10.8.3)
>15° AND <75°	7,000 mm ² /m provided at the eaves and 5,000 mm ² /m at high level, plus an additional 18,000 mm ² /m at the eaves if the roof has a cathedral ceiling
(1) Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof. (2) For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically.	



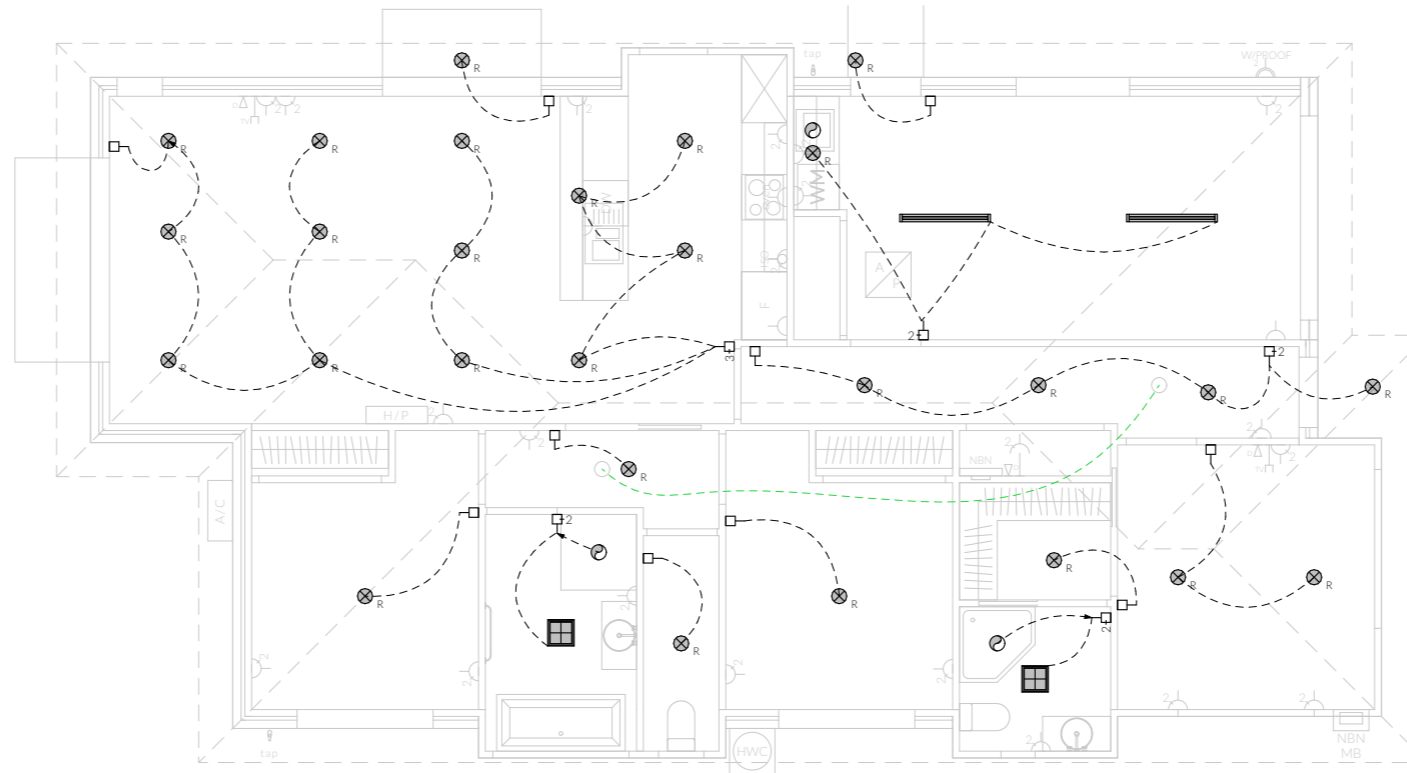
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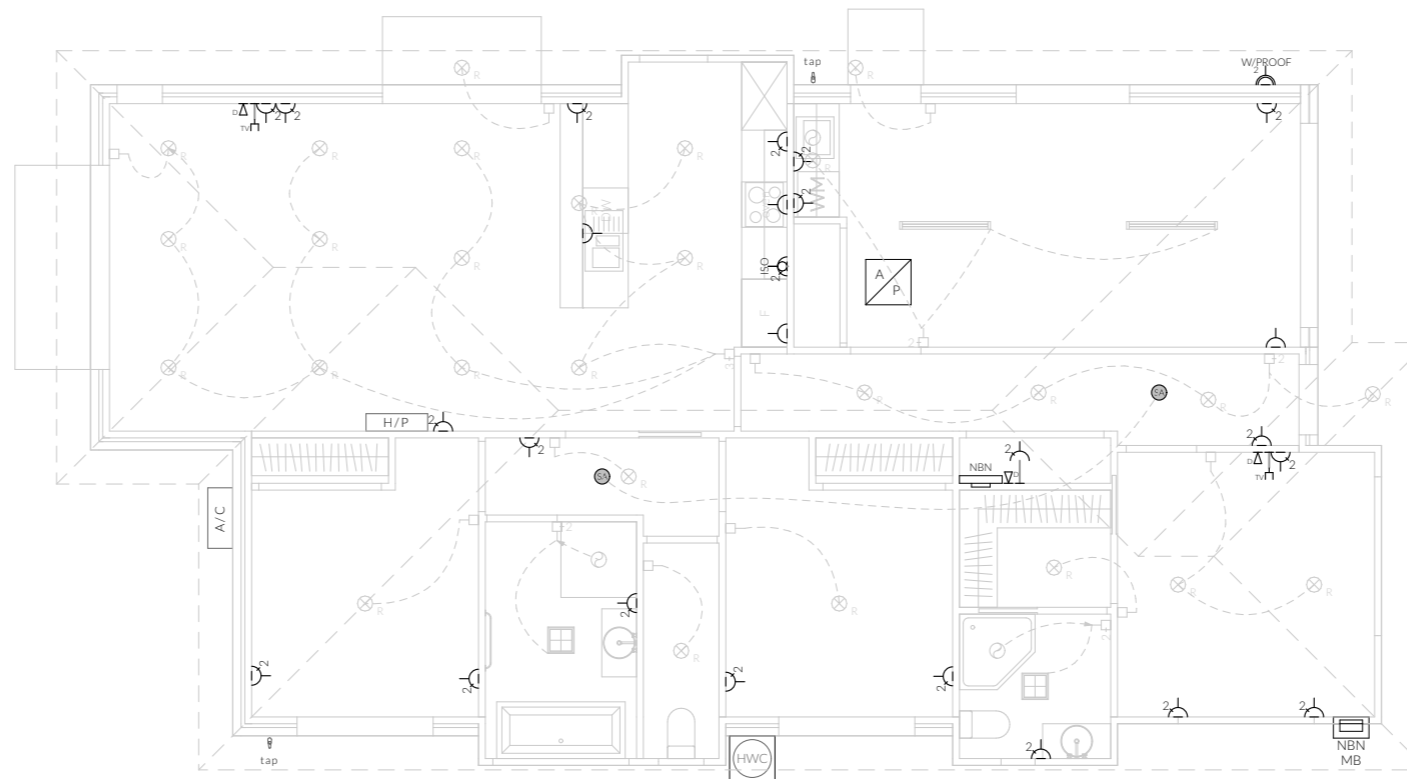
PINNACLE PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Roof Plan	Scale: 1:100 @ A3 Pg. No: A.05	Proposal: Proposed dwelling Client: Lyden Developments Address: 18 Downward Way, Sorell 7172	Date: 18.03.2026 Drawn by: MM & JRM Job No: 043/2022 Engineer: TBA Building Surveyor: TBA	<table border="1"> <thead> <tr> <th>Issue</th> <th>Date</th> <th>Designer</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Issue	Date	Designer					These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2026. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.	
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Approved by: DA - 01 TBA					NOTE: Refer to cover page for further details on changes.									

ELECTRICAL LEGEND - Lower Floor

Symbol	Description	Allowance	Quantity
▽ ^P	DATA- CAT 6 (RJ45) - 1 GANG		3
▽ ^{TV}	DATA- TV CONNECTION		2
■	FAN - 3 IN 1 (4 LAMP)	10W (LIGHT)	2
⊙	FAN - CEILING - EXHAUST		3
⌒	GPO - (1) SINGLE		4
⌒	GPO - (2) DOUBLE		20
⌒	GPO - (2) DOUBLE (WITH COOKTOP ISOLATOR SWITCH)		1
⌒	GPO - WEATHER PROOF DOUBLE		1
⊗ _R	LIGHT - CEILING - DOWNLIGHT RECESSED	10W	27
▬	LIGHT - CEILING - LED BATTEN	20W	2
⊙	SERVICE - SMOKE ALARM		2
⌒	SWITCH - LIGHT 1 GANG		10
⌒	SWITCH - LIGHT 2 GANG		4
⌒	SWITCH - LIGHT 3 GANG		1



Electrical Plan - Light/Reflected Ceiling



Electrical Plan - Power

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Note: Exhaust Fans

Exhaust fans to comply with NCC 2022 Vol 2 Part 10.8.2 and have:

- An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of-
 - (a)25 L/s for a bathroom or sanitary compartment; and
 - (b)40 L/s for a kitchen or laundry.
- Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.
- Where a venting clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air.
- An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must-
 - (a)be interlocked with the room's light switch; and
 - (b)include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light switch is turned off.

Note: Lighting

Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:

- 5W/m² in class 1a dwellings
- 4W/m² to veranda, balcony or the like
- 3W/m² in a class 10a dwelling associated with the class 1a dwelling

U.N.O - All downlights are to be Insulation Contact (IC) rated.

Preparation for future Solar Installation:

Should the solar design be required for future installation, 2/25mm solarflex (or similar) conduits marked "solar" are to be installed from the meter box to the roof space - See electrical plan.

Sorell Council
 Development Application: 5.2026.93.1 -
 Development Application - 18 Downward Way,
 Sorell - P1.pdf
 Plans Reference:P1
 Date Received:26/03/2026

Smoke Alarms Part 9.5 of NCC 2022

Smoke alarms must-

- (a)be located in-
 - (i)a Class 1a building in accordance with 9.5.2 and 9.5.4; and
 - (ii)a Class 1b building in accordance with 9.5.3 and 9.5.4; and
- (b)comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and
- (c)be powered from the consumer mains source where a consumer mains source is supplied to the building; and be interconnected where there is more than one alarm.

In a Class 1a building, smoke alarms must be located in-

- (a)any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building; and
- (b) each other storey not containing bedrooms.

Smoke alarms required by 9.5.2 and 9.5.3 must be installed on or near the ceiling, in accordance with the following:

- (a)Where a smoke alarm is located on the ceiling it must be-
 - (i)a minimum of 300 mm away from the corner junction of the wall and ceiling; and
 - (ii)between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling.
- (b)Where (a) is not possible, the smoke alarm may be installed on the wall, and located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.

Notes

- U.N.O ceilings are to be plasterboard.
- ◇---◇ Dimmable Circuit
- τ---τ Timer Circuit(as fan note)
- PB - Plasterboard
- CS - Cement Sheet Eaves
- PW - Plywood Ceiling
- TB - Timber Batten Ceiling

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Electrical Plan
 Scale: @A3
 Pg. No: A.06
 Revision: DA - 01
 Approved by: TBA

Proposal: Proposed dwelling
 Client: Lyden Developments
 Address: 18 Downward Way, Sorell 7172

Date: 18.03.2026
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