

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:

4 FRIENDSHIP DRIVE, SORELL

PROPOSED DEVELOPMENT:

TWO MULTIPLE DWELLINGS

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 4th May 2026**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 4th May 2026**.

APPLICATION NO: 5.2026-42.1
DATE: 17 APRIL 2026



Roads

- DSG Roads
- Council Roads

Property

- property
- Titles



Disclaimer

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

20 m

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>

Design and construction cost of proposal:	\$
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Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address:
	Suburb: Postcode:
	Certificate of Title(s) Volume: Folio:

Current Use of Site
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Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form
<https://www.sorell.tas.gov.au/services/engineering/>



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Part B continued: Please note that Part B of this form is publicly exhibited

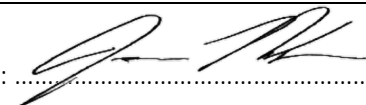
Declarations and acknowledgements

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council’s representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the *Land Use Planning and Approvals Act 1993*, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.

Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council’s Privacy Policy available on the Council website.

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

- Where the General Manager’s consent is also required under s.14 of the *Urban Drainage Act 2013*, by making this application I/we also apply for that consent.

Applicant Signature:	Signature:  Date:
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Crown or General Manager Land Owner Consent

If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the *Land Use Planning and Approvals Act 1993*).

Please note:

- If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

I _____ being responsible for the administration of land at _____

declare that I have given permission for the making of this application for _____



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Signature of General Manager, Minister or Delegate:	Signature: Date:
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SEARCH OF TORRENS TITLE

VOLUME 180369	FOLIO 28
EDITION 2	DATE OF ISSUE 15-Apr-2021

SEARCH DATE : 17-Feb-2026

SEARCH TIME : 01.33 pm

DESCRIPTION OF LAND

Parish of SORELL Land District of PEMBROKE
 Lot 28 on Sealed Plan [180369](#)
 Derivation : Part of 980 Acres Gtd. to Thomas Villeneuve Jean
 and Cornelius Driscoll.
 Prior CT [147762/1](#)

SCHEDULE 1

[M877799](#) TRANSFER to BARRY WILLIAM CURTAIN and PATRICIA OLIVE
 EMILY CURTAIN Registered 15-Apr-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP180369](#) COVENANTS in Schedule of Easements
[SP180369](#) FENCING PROVISION in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

[N115121](#) TRANSFER to TODD CHRISTOPHER JONES and AMBER CAROLYN
 JONES Lodged by ABETZ CURTIS on 23-Jan-2026 BP:
[N115121](#)



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SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP180369

PAGE 1 OF 9 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lots 18, 22, 23, 24, 25, 39, 40, and 41 (“the Lots”) are subject to a PIPELINE AND SERVICES EASEMENT in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00m WIDE shown on the Plan (“the Easement Land”).

Lots 18, 22, 23, 24, 25, 39, 40, and 41 on the plan are subject to a Drainage Easement (as defined) in gross in favour of the Sorell Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00m WIDE on the Plan.

Lot 501 on the plan is subject to an Electricity Infrastructure Easement in gross in favour of Tasmanian Networks Pty Ltd over the land marked ELECTRICITY INFRASTRUCTURE EASEMENT (CREATED BY C.982541) on the Plan and as described in dealing number C.982541.

COVENANTS

The owner of each lot on the Plan (excepting lot 501) covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantors’ lot and every part thereof and that the benefit

Director

Director

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: LYNMORE HOLDINGS PTY LTD FOLIO REF: 147762/1 SOLICITOR & REFERENCE: Page Seager (DAS 201243 – Stage 1)	PLAN SEALED BY: Sorell Council DATE: 14.12.20 7.2014.20.1 REF NO. _____ Council Delegate
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	



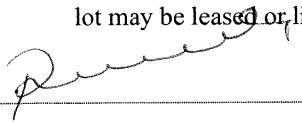
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thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, any kit home, relocatable dwelling or weatherboard dwelling on such lot.
2. Not without the prior written consent of the Vendor to construct on any such lot which has an area greater than 550 square metres, a dwelling with a liveable floor area of less than 130 square metres, (which area shall not include patios, verandas and carports), except if the dwelling is one of a greater number of multiple dwellings on that lot.
3. Not without the prior written consent of the Vendor to construct on any such lot, a dwelling which may be used other than as a single dwelling.
4. Not to construct any walls of any residential building on such lot from any material except brick, finished rendered surface or masonry without the prior written consent of the Vendor, PROVIDED THAT (subject to the other covenants contained in this Schedule of Easements) the use of timber, non-brick, and James Hardie products, or non-masonry materials not exceeding thirty percent (30%) of the total external wall area is permitted.
5. Not without the prior written consent of the Vendor:
 - (a) to use or allow such lot to be used for any public housing or public rental project or public assistance program;
 - (b) to use or allow such lot to be occupied on any basis which involves any state or federal government rental assistance, rental benefit or rental relief;
 - (c) to use or allow such lot to be occupied on any basis where the owner of such lot does not have the absolute right (subject to the rights of any mortgagee) to determine to whom such lot may be leased or licensed; and

Director 

Director 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



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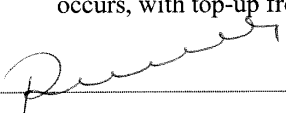
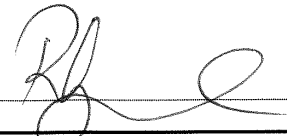
- (d) to use or allow such lot to be used for the purposes of a public road.
- 6. Not without the prior written consent of the Vendor to construct any dwelling on such lot unless there is a lockable skip of at least 3m³ capacity placed on such lot during the construction of the dwelling for all rubbish and discarded materials.
- 7. Lots are not to be used as public roads without the prior written consent of the Vendor.

The owners of lots 30 and 39 on the plan each covenant in gross with the Sorell Council to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof shall be in favour of the said Sorell Council to observe the following stipulations:-

- 1. Not to provide the covenantor's lot with direct vehicular access to or from Pawleena Road.

The owners of each lot on the plan (excepting Lot 501) each covenant in gross with the Sorell Council to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof shall be in favour of the said Sorell Council to observe the following stipulations:-

- 1. Not without the prior written consent of the Sorell Council to construct any building on a lot with a toilet included without at the same time installing one or more rainwater tanks with a combined minimum volume of 5000 litres which must:
 - (a) collect all roof water runoff and be connected to the internal plumbing to provide water for toilet flushing, laundry and on-site garden use; and
 - (b) have a minimum retention storage of 2000 litres and be plumbed into toilets so that re-use occurs, with top-up from the reticulated supply.

Director  Director 

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- Not to install or allow to be installed on the Lot any Domestic water pumps unless
- ~~Domestic water pumps must be~~ fitted with noise suppression measures to the satisfaction of Sorell Council's Manager Engineering & Regulatory Services.

The owner of lot 29 on the Plan covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

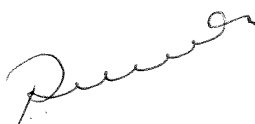
- Not without the prior written consent of the Vendor to construct, or allow to be constructed, along the lot boundary marked 'A' to 'B' on the Plan any boundary fence other than a fence constructed using the following:
 - 1800mm x 50mm x 50mm steel posts, being 2mm thick, with a 'Red Rock' powder-coat finish; and
 - adaptor 'U' channel aluminium with a 'Red Rock' powder-coat finish; and
 - 2.7 metre lengths of horizontal 'Ekodeck' composite decking in the 'Red Rock' colour.

The owner of lot 22 on the Plan covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-




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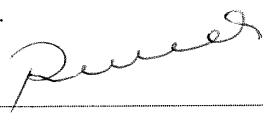
1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, along the lot boundary marked 'B' to 'C' on the Plan any boundary fence other than a fence constructed using the following:
 - (a) 1800mm x 50mm x 50mm steel posts, being 2mm thick, with a 'Red Rock' powder-coat finish; and
 - (b) adaptor 'U' channel aluminium with a 'Red Rock' powder-coat finish; and
 - (c) 2.7 metre lengths of horizontal 'Ekodeck' composite decking in the 'Red Rock' colour.

The owner of lot 21 on the Plan covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-


1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, along the lot boundaries marked 'C' to 'D' and 'D' to 'E' on the Plan any boundary fence other than a fence constructed using the following:
 - (a) 1800mm x 50mm x 50mm steel posts, being 2mm thick, with a 'Red Rock' powder-coat finish; and
 - (b) adaptor 'U' channel aluminium with a 'Red Rock' powder-coat finish; and
 - (c) 2.7 metre lengths of horizontal 'Ekodeck' composite decking in the 'Red Rock' colour.

FENCING PROVISION

In respect of the Lots shown on the Plan, the Vendor (Lynmore Holdings Pty. Ltd.) shall not be required to fence.



 Director



 Director

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DEFINITIONS

“**Drainage Easement**” means a right of drainage (including the right of construction of drains) for Sorell Council with which the right shall be capable of enjoyment for the purpose of carrying away stormwater and other surplus water from any land over or under the land herein indicated as the land over which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Sorell Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

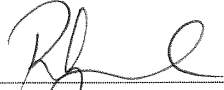
“**Pipeline and Services Easement**” is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (d) without doing unnecessary damage to the Easement Land; and
 - (e) leaving the Easement Land in a clean and tidy condition;



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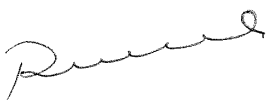
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.


Interpretation:

“**Infrastructure**” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;



 Director



 Director

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- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

“**TasWater**” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.




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EXECUTED by LYNMORE HOLDINGS PTY. LTD.)
 (ACN 061 015 129), as registered proprietor of the land)
 comprised in Folio of the Register Volume 147762 Folio 1)
 pursuant to section 127 of the *Corporations Act 2001* by:)



[Handwritten Signature]

 Director Signature

Robert Arthur Wayne Lynch (sr)

 Director Full Name (print)

[Handwritten Signature]

 Director/Secretary Signature

Robert Arthur Wayne Lynch (sr)

 Director/Secretary Full Name (print)

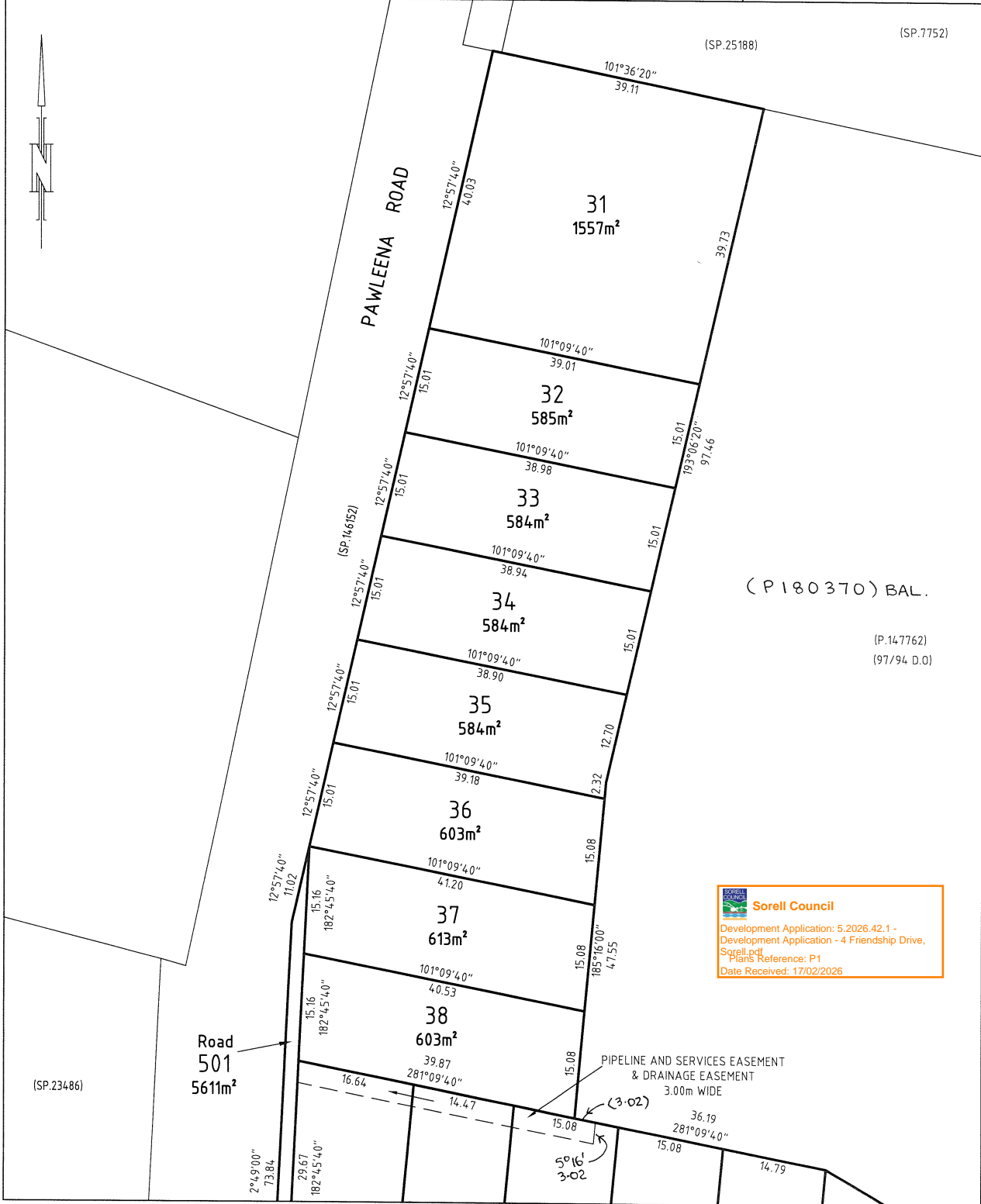
(*please strike out inapplicable *if Sole Director/Secretary write 'Sole')



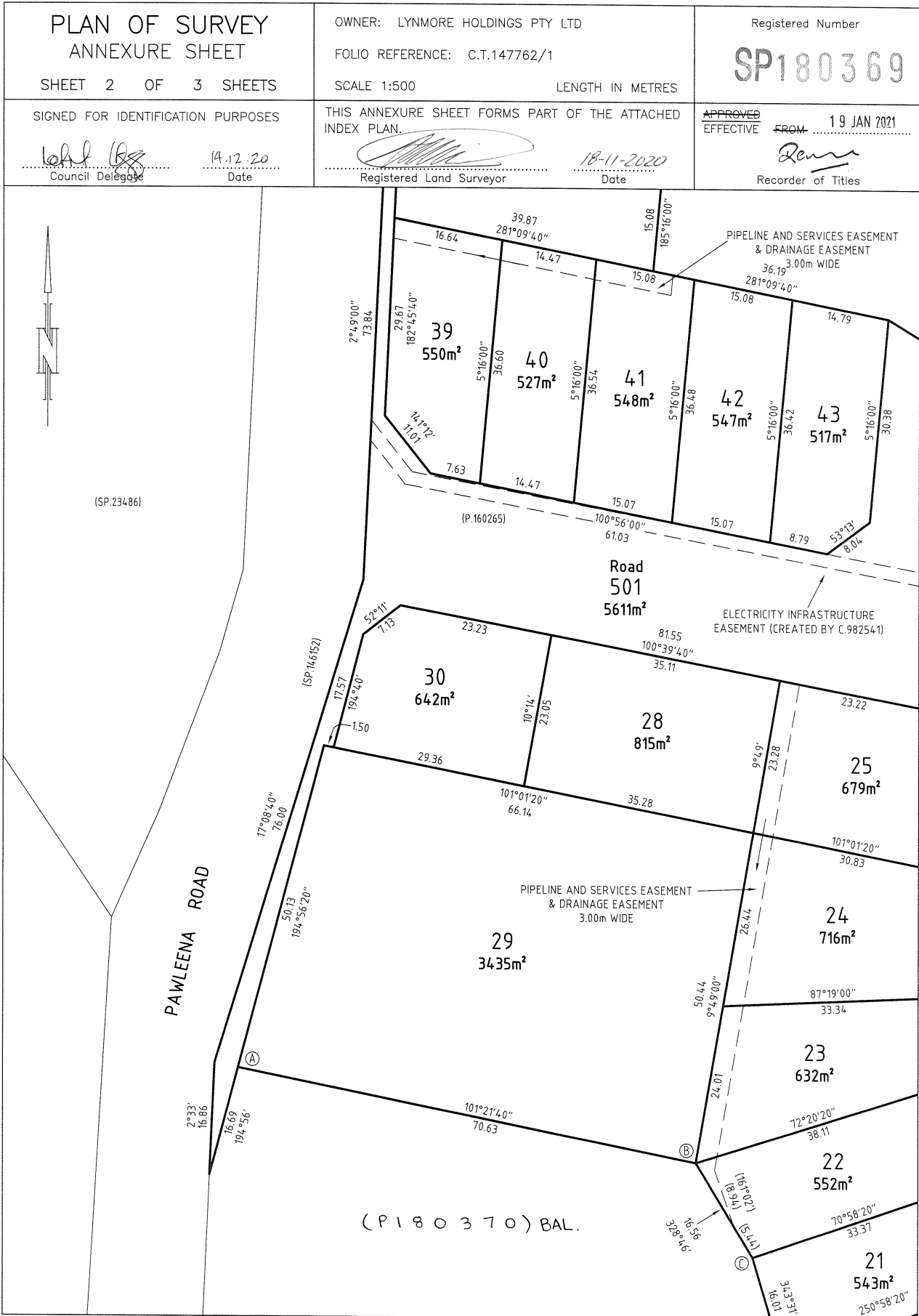
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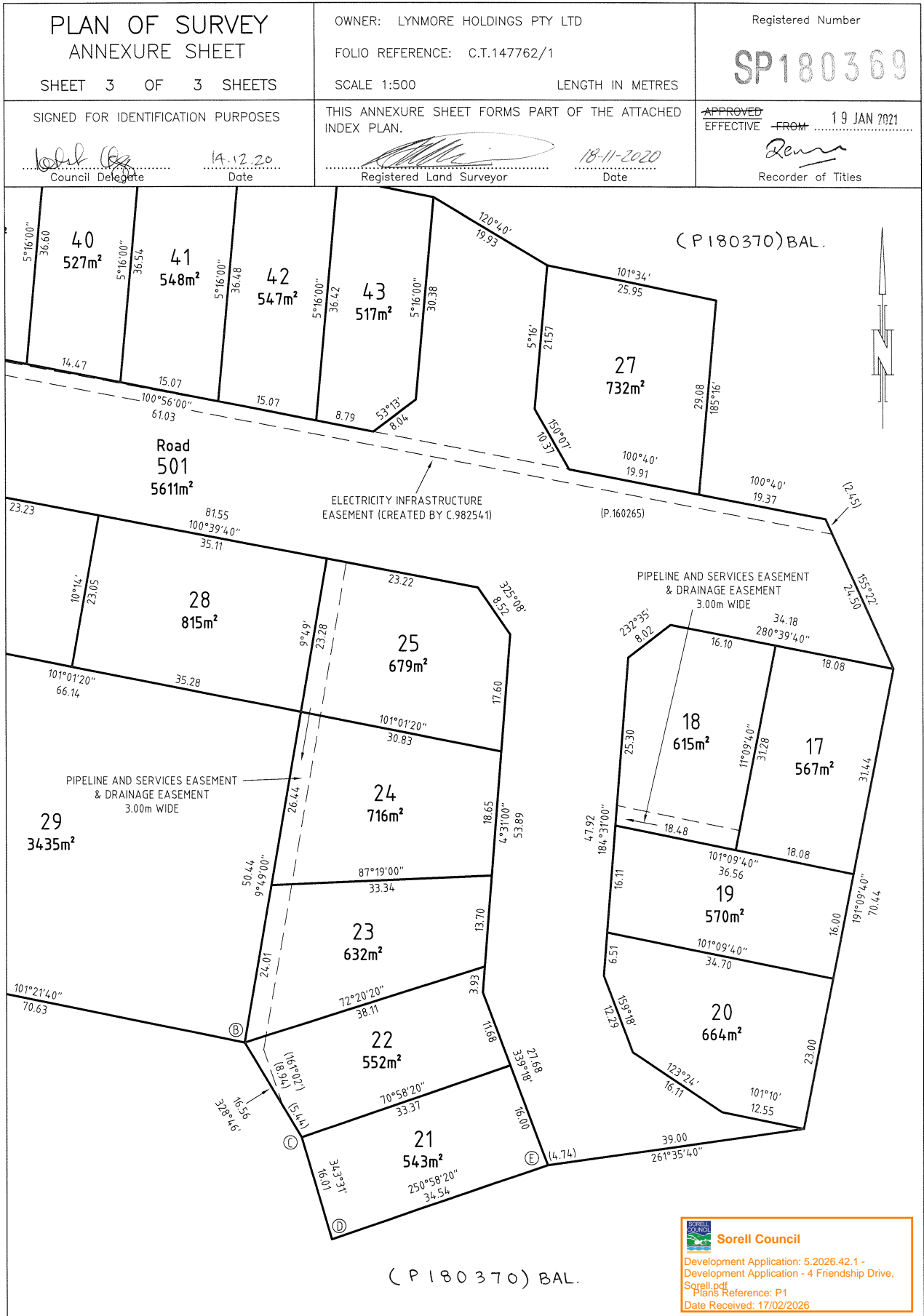
NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 1 OF 3 SHEETS</p>	<p>OWNER: LYNMORE HOLDINGS PTY LTD</p> <p>FOLIO REFERENCE: C.T.147762/1</p> <p>SCALE 1:500 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP180369</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 14.12.20 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 25-11-2020 Registered Land Surveyor Date</p>	<p>APPROVED FROM 19 JAN 2021</p> <p><i>[Signature]</i> Recorder of Titles</p>



Sorell Council
Development Application: 5.2026.42.1 -
Development Application - 4 Friendship Drive,
Sorell.qld
Plans Reference: P1
Date Received: 17/02/2026





 **Sorell Council**

Development Application: 5.2026.42.1 -
Development Application - 4 Friendship Drive,
Sorell.pdf
Plans Reference: P1
Date Received: 17/02/2026



ABETZ CURTIS
LAWYERS & ADVISERS

Commonwealth Bank of Australia
Hobart, 109 Liverpool Street, Tas.

Commonwealth Bank



SECURITY FEATURE INCLUDED IN THIS CHEQUE IS A MICROPRINTED SIGNATURE LINE; THE ABSENCE OF WHICH COULD INDICATE A FRAUDULENT CHEQUE

003681

DATE 22/01/2026

PAY TO THE ORDER OF Recorder of Titles

THE SUM OF Two hundred and fifty Dollars and twenty one Cents

NOT NEGOTIABLE

FOR AND ON BEHALF OF
Abetz Curtis
FIRM ACCOUNT
ABN 27 009 576 149


\$250.21

⑈003681⑈ 067⑈002⑈ 2802⑈9632⑈



Sorell Council

Development Application: 5.2026.42.1 -
Development Application - 4 Friendship Drive,
Sorell.pdf
Plans Reference: P1
Date Received: 17/02/2026

Land Titles Office

GPO Box 541
Hobart
Tasmania 7001

LODGEMENT FORM

134 Macquarie
Street
Hobart
Tasmania 7000

Lodge a SEPARATE FORM with each set of documents carrying out one entire transaction.

To the Recorder of Titles. Please register the undermentioned instruments in the order set out below and return such of them as are returnable to the lodging firm shown in Panel A or as indicated in Panel B.

Insert name of lodging firm (in block letters). If private person, insert name and full postal address (in block letters).

PANEL A

ABETZ CURTIS
GPO BOX 405
HOBART TAS 7001

Client Ref: 250803 Per ABBY SINGLES date 20/01/2026

If one or more of the instruments are to be returned to a person who is not the lodging firm, insert the nature of the instrument and name and address (in block letters) of person to whom instrument is to be sent.

PANEL B

No.	Particulars * (to include title reference/s)	Fees		Particulars of remittance herewith	
		\$	c		\$ c
1	TRANSFER N 115121 + NOS	\$250.21		CHEQUE (ABETZ CURTIS)	\$250.21
2	LODGEMENT FORM				
3	CT 180369/28 & 180369/30				

Total Fees \$250.21

TOTAL \$250.21

*Particulars to include the title reference/s of the Certificate/s affected and to make reference to supporting documents indicating whether they are lodged herewith or already lodged by some other firm, e.g.

'C.T. Vol. Fol. produced herewith'

'Probate produced by A.B. & Co.'

CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

TORRENS TITLE

VOLUME		FOLIO
180369		28
EDITION	DATE OF ISSUE	
2	15-Apr-2021	
Page 1		of 1

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

Recorder of Titles



DESCRIPTION OF LAND

Parish of SORELL Land District of PEMBROKE
Lot 28 on Sealed Plan 180369
Derivation : Part of 980 Acres Gtd. to Thomas Villeneuve Jean
and Cornelius Driscoll.
Prior CT 147762/1

SCHEDULE 1

M877799 TRANSFER to BARRY WILLIAM CURTAIN and PATRICIA OLIVE
EMILY CURTAIN Registered 15-Apr-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP180369 COVENANTS in Schedule of Easements
SP180369 FENCING PROVISION in Schedule of Easements



Sorell Council

Development Application: 5.2026.42.1 -
Development Application - 4 Friendship Drive,
Sorell.pdf
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CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

TORRENS TITLE

VOLUME		FOLIO
180369		30
EDITION	DATE OF ISSUE	
2	15-Apr-2021	
Page 1		of 1

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

Recorder of Titles



DESCRIPTION OF LAND

Parish of SORELL Land District of PEMBROKE
Lot 30 on Sealed Plan 180369
Derivation : Part of 980 Acres Gtd. to Thomas Villeneuve Jean
and Cornelius Driscoll.
Prior CT 147762/1

SCHEDULE 1

M877799 TRANSFER to BARRY WILLIAM CURTAIN and PATRICIA OLIVE
EMILY CURTAIN Registered 15-Apr-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP180369 COVENANTS in Schedule of Easements
SP180369 FENCING PROVISION in Schedule of Easements



TASMANIAN LAND TITLES OFFICE

Transfer

Section 58 Land Titles Act 1980.



N115121

THE TRANSFEROR for the consideration specified below (receipt of which from the transferee is hereby acknowledged) HEREBY TRANSFERS to the TRANSFEREE the estate and interest specified in the land described hereunder subject to the mortgages and encumbrances registered thereon including any created by dealings lodged for registration before the lodging of this transfer.

DESCRIPTION OF LAND		
Folio of the Register		If subject to existing mortgages - list here. If part of land - describe part. If easement created - describe easement.
Volume	Folio	
180369	28	
180369	30	

Estate and Interest: **in fee simple**

Transferor(s): **BARRY WILLIAM CURTAIN** and **PATRICIA OLIVE EMILY CURTAIN** of "PINE CREST" 36 PAWLEENA RD SORELL TAS 7172

Transferee(s): **TODD CHRISTOPHER JONES** as Trustee for JONES FAMILY TRUST and **AMBER CAROLYN JONES** as Trustee for JONES FAMILY TRUST of 150 ACTON RD ACTON PARK TAS 7170

Consideration:
\$575,000.00



Sorell Council
 Development Application: 5.2026.42.1 -
 Development Application - 4 Friendship Drive,
 Sorell.pdf
 Plans Reference: P1
 Date Received: 17/02/2026

Land Titles Office Use Only

Dealing Security Code: 656838

DUTIES ACT 2001 - TAS LICENCE 21537	
Document Number	6725480-233
Document Code	20/09/2026
Indemnity Date	575,000.00
Stamp Section	21,435.00
By	oo
Stamp	-

Duty

T


Version 1 (TOLD)

THE BACK OF THIS FORM MUST NOT BE USED

Created 22-Dec-2025 03:52PM

Certifications:

1. The Certifier has taken reasonable steps to verify the identity of the transferee or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	TODD CHRISTOPHER JONES AMBER CAROLYN JONES
Signer Name	ABIGAYLE JANICE SINGLES
Signer Organisation	ABETZ CURTIS LAWYERS
Signer Role	Australian Legal Practitioner
Signature	
Execution Date	19/01/2026



NOTE:-

1. Except for when an annexure (additional) page is required solely for execution(s) every annexed page must be signed by the parties to the dealing, or where the party is a corporate body, be signed by the persons who have attested the affixing of the seal of that body to the dealing;
2. All pages comprising this dealing must be pinned or stapled together.

THE BACK OF THIS FORM MUST NOT BE USED

Certifications:

1. The Certifier has taken reasonable steps to verify the identity of the transferor or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of

BARRY WILLIAM CURTAIN
PATRICIA OLIVE EMILY CURTAIN

Signer Name

PHOEBE EMMA McCULLOCH

Signer Organisation

McCulloch & Associates

Signer Role

AUSTRALIAN LEGAL PRACTITIONER

Signature



Execution Date

09/01/2026



NOTE:-

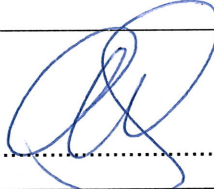
1. Except for when an annexure (additional) page is required solely for execution(s) every annexed page must be signed by the parties to the dealing, or where the party is a corporate body, be signed by the persons who have attested the affixing of the seal of that body to the dealing;
2. All pages comprising this dealing must be pinned or stapled together.

THE BACK OF THIS FORM MUST NOT BE USED



TASMANIAN LAND TITLES OFFICE
NOTICE of CHANGE to OWNERSHIP

This form must be completed and lodged with any dealing that changes ownership details. This enables the Land Titles Office to advise Land Tax, Valuation and the relevant Council of that change. This form should also be lodged with any dealing where the occupier is to be the ratepayer.

<i>Local Government Act 1993</i> <i>Land Titles Act 1980</i>	Accompanying Dealing No. (if known): N115121 Title Reference: Vol. 180369 Fol. 30
Transferee*/Applicant Address for Service of Notices 150 ACTON RD ACTON PARK TAS 7170	Contract Date (if applicable): 29/10/2025 Settlement Date (if applicable): <i>19/01/2026</i> Chattels: Goodwill:
Person giving Notice: ABETZ CURTIS <div style="text-align: right;">  (SIGNATURE) </div>	

*A transferee is a purchaser for a valuable consideration in money or otherwise of an interest in land, or a person who is entitled to an interest in land.

USE THE SECTION BELOW FOR CHANGING THE ADDRESS FOR SERVICE OF NOTICES OF CURRENT REGISTERED PROPRIETORS ONLY

CHANGE OF ADDRESS FOR SERVICE OF NOTICES	Title Reference: Vol. Fol.
NEW ADDRESS FOR SERVICE OF NOTICES	NAME/S of REGISTERED PROPRIETOR/S
Person giving Notice: <div style="display: flex; justify-content: space-between;"> (PRINT NAME) (SIGNATURE) </div>	

Department of Natural Resources and Environment Tasmania

Land Titles Office

GPO Box 541
Hobart Tasmania 7001

LODGEMENT FORM – CONTACT DETAILS

134 Macquarie Street
Hobart Tasmania 7000

Section 160A Land Titles Act 1980

Clause 12 of the Directions issued by the Recorder of Titles

Directions issued by the Recorder require each Party to a Conveyancing Transaction to be represented by a Representative, except where the Party is a Subscriber; or where the Party is a mortgagor and the Registry Instrument is a mortgage.

The Directions issued by the Recorder do not apply where the Registry Instrument or other Document is excluded for the purposes of the Directions. The list of excluded Registry Instruments and other Documents is available on the Land Titles Office website on the Recorder’s Directions webpage. Where the Registry Instrument or other Document is excluded, the below information is not required to be provided.

Please provide the prescribed Contact Details below (as required by Clause 12 of the Directions) of ALL Subscribers for ALL Registry Instruments and other Documents being lodged. Please use the *Contact Details Annexure page(s)* provided by the Land Titles Office for further Contact Details, if required.

Registry Instrument or other Document:	Transfer
Party Represented e.g., Transferee:	Transferor
Name of Subscriber:	McCulloch & Associates
Name of Client(s):	Barry William Curtain & Patricia Olive Emily Curtain as trustees for Bellevue Superannuation Fund
Subscriber Contact Details:	
Email Address:	info@qmcculloch.com
Phone No.:	(03) 62349022
Subscriber Reference (Optional):	252202
Registry Instrument or other Document:	
Party Represented e.g., Transferee:	
Name of Subscriber:	
Name of Client(s):	
Subscriber Contact Details:	
Email Address:	
Phone No.:	
Subscriber Reference (Optional):	

Department of Natural Resources and Environment Tasmania
Land Titles Office

GPO Box 541
Hobart Tasmania 7001

LODGEMENT FORM –
CONTACT DETAILS

134 Macquarie Street
 Hobart Tasmania 7000

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Please provide the prescribed Contact Details below (as required by Clause 12 of the Directions) of ALL Subscribers for ALL Registry Instruments and other Documents being lodged. Please use the *Contact Details Annexure page(s)* provided by the Land Titles Office for further Contact Details, if required.

Registry Instrument or other Document:.....	Transfer N115121
Party Represented e.g., Transferee:.....	Transferee
Name of Subscriber:.....	Abetz Curtis
Name of Client(s):.....	JONES & JONES ATF JONES FAMILY TRUST
Subscriber Contact Details:	
Email Address:.....	asingles@abetzcurtis.com.au
Phone No.:.....	03 6223 8955
Subscriber Reference (Optional):.....	250803
Registry Instrument or other Document:.....	
Party Represented e.g., Transferee:.....	
Name of Subscriber:.....	
Name of Client(s):.....	
Subscriber Contact Details:	
Email Address:.....	
Phone No.:.....	
Subscriber Reference (Optional):.....	



20 January 2026

Todd Jones and Amber Jones as Trustees of Jones Family Trust
160 Acton Road
ACTON PARK TAS 7170
By Email: bsfconcretecreations@hotmail.com

Dear Todd & Amber,

PURCHASE FROM CURTAIN - 2 & 4 FRIENDSHIP DRIVE, SORELL

As advised by telephone, your matter settled on 19 January 2026.

We will now stamp and register the Certificate of Title with the Recorder of Titles, once your newly registered Certificate of Title is returned (approximately four to six weeks), we will hold it for safe keeping.

Please be advised that you will be responsible for contacting the power supplier to connect power to the property in your name (or link to a current account). The vendor's representation will notify TasWater of the change of ownership, and TasWater will attend to apportion water charges from the date of settlement.

Please note, due to new legislative changes, should you amend your Trust Deed to allow 'foreign natural person' or corporation, according to the *Duties Act 2001* (the 'Act'), to receive benefits under the Trust, within three (3) years from 6 February 2025, you will be liable for foreign investor duty at the rate of 8% of the purchase price.

In addition to the duty surcharge, penalties may apply for failure to notify the State Revenue Office in Tasmania in good time as to change of status.

Further, the *Land Tax Act 2000* requires the owner of land to advise the Commissioner of State Revenue if land ceases to be their principal residence land, primary production land or exempt land. Should you change the status of the land, please notify the State Revenue Office as to the same.

I take this opportunity to thank you for your instructions in this matter. If I can be of further assistance in any other legal matter please do not hesitate to contact me.

Yours faithfully

ABETZ CURTIS

Per:



ABBY SINGLES

Email: asingles@abetzcurtis.com.au
Our Ref: 250803

ABETZ CURTIS
ABN 27 009 576 149

83 Davey Street
Hobart Tasmania Australia 7000
GPO Box 405
Hobart Tasmania Australia 7001

Phone 03 6223 8955
Facsimile 03 6234 9640
Email info@abetzcurtis.com.au
Web www.abetzcurtis.com.au

PINNACLE



Sorell Council

Development Application: 5.2026.42.1 - Updated
Plans - 4 Friendship Drive, Sorell - P4.pdf

Plans Reference: P4
Date Received: 16/04/2026

PINNACLE



Note: The images provided are artistic representations only and should not be used as references for final colours, finishes, or external/internal features.

4 Friendship Drive, Sorell, 7172

Owner(s) or Clients	Todd Jones	Title Reference	180369/28
Building Classification	1a	Zoning	General Residential
Designer	Jason Nickerson CC6073Y	Land Size	815m ²
Total Floor Area (Combined)	266.90m ² Deck 33.22m ²	Design Wind Speed	TBA
Alpine Area	N/A	Soil Classification	TBA
Other Hazards <small>(e.g., High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice, or other relevant factors)</small>	Airport obstacle limitation area, Bushfire-prone areas	Climate Zone	7
		Corrosion Environment	Low
		Bushfire Attack Level (BAL)	TBA

Changes List

Issue	Description of change	Date	Designer
-------	-----------------------	------	----------



Sorell Council












Development Application: 5.2026.42.1 - Updated Plans - 4 Friendship Drive, Sorell - P4.pdf

Plans Reference: P4

Date Received: 16/04/2026

ID	Sheet Name	Issue
A0.01	Location Plan	DA - 02
A0.02	Site Plan	DA - 02
A0.03	Shadow Diagrams 21st June	DA - 02
A0.04	Frontage Site Elevation	DA - 02
A1.01	U1 - Floor Plan	DA - 02
A1.02	U1 - Elevations	DA - 02
A1.03	U1 - Elevations	DA - 02
A1.04	U1 - Roof Plan	DA - 02
A1.05	U1 - Electrical Plan	DA - 02
A1.06	U1 - Door & Window Schedule	DA - 02
A2.01	U2 - Floor Plan	DA - 02
A2.02	U2 - Elevations	DA - 02
A2.03	U2 - Elevations	DA - 02
A2.04	U2 - Roof Plan	DA - 02
A2.05	U2 - Electrical Plan	DA - 02
A2.06	U2 - Door & Window Schedule	DA - 02
C.01	Civil Plan	DA - 02
C.02	Parking	DA - 02
C.03	Parking	DA - 02
L.01	Landscaping Plan	DA - 02
P.01	Sewer & Water Plan	DA - 02


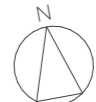
Legend

-  - Electrical Connection
-  - Electrical Turret
-  - Sewer Connection
-  - Stormwater Connection
-  - Telstra Connection
-  - Telstra Pit
-  - Water Meter
-  - Water Stop Valve
-  - Fire Hydrant
-  - Solar Bollard Light
-  - Spotlight with sensor



 **Sorell Council**
 Development Application: 5.2026.42.1 - Updated Plans - 4 Friendship Drive, Sorell - P4.pdf
 Plans Reference: P4
 Date Received: 16/04/2026

Site Areas
 Site Area 815 m²
 Building Footprint 366.34 m²
 Total Site Coverage 44.94%

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Location Plan Revision: DA - 02 Approved by: JN	Scale: 1:250 @ A3 Pg. No: A0.01	Proposal: New Dwelling Client: Todd Jones Address: 4 Friendship Drive, Sorell, 7172	Date: 27/01/2026 Drawn by: CJ Job No: 084-2025 Engineer: TBA Building Surveyor: TBA	<table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th style="width: 30%;">Issue</th> <th style="width: 30%;">Date</th> <th style="width: 40%;">Designer</th> </tr> </thead> <tbody> <tr> <td colspan="3" style="text-align: center;">NOTE: Refer to cover page for further details on changes.</td> </tr> </tbody> </table>	Issue	Date	Designer	NOTE: Refer to cover page for further details on changes.				These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2026. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.
	Issue	Date	Designer											
NOTE: Refer to cover page for further details on changes.														



Legend

- Electrical Connection
- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant
- Solar-Bollard Light
- Spotlight with sensor

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a) Slab-on-ground - finished ground level adjacent to a building; the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than
 - (i) 25mm over the first 1m from the building
 - (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claypaving); or
 - (B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or
 - (ii) 50 mm over the first 1 m from the building in any other case.
- (b) Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces must be not less than
 - (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or
 - (ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with (a); or
 - (iii) 150 mm in any other case.
- (c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

30
642m²
CT:180369/30

Subsoil Drainage

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

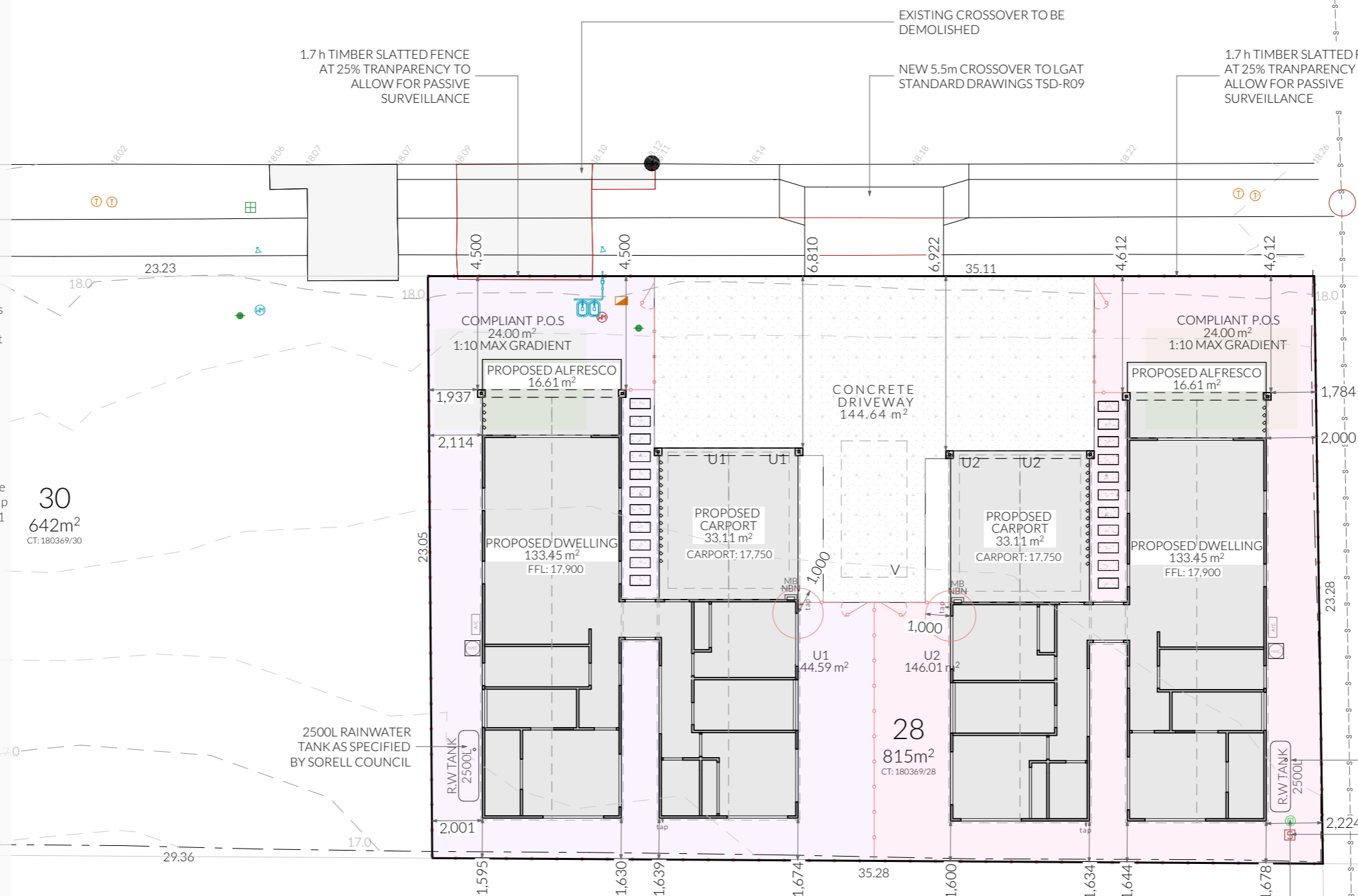
- Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-
 - (a) be graded with a uniform fall of not less than 1:300; and
 - (b) discharge into an external silt pit or sump with-
 - (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

Note

All driveway pits and grate drains to be **Class B**.

Stormwater pits are indicative. Location may vary depending on site conditions.

FRIENDSHIP DRIVE



Survey Notes from Surveyor

This plan and associated digital model is prepared for Pinnacle Drafting from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by plan dimensions only and not by field survey. No measurements or offsets are to be derived between the features on this plan and the boundary layer. The relationship between the features in this model and the boundary layers cannot be used for any set out purposes or to confirm the position of the title boundaries on site.

Services shown have been located where visible by field survey. Services denoted as being "Per As- Constructed" have been imported from the existing as-constructed drawings from this subdivision. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

This note forms an integral part of the Plan/Data. Any reproduction of this plan/model without this note attached will render the information shown invalid.

2500L RAINWATER TANK AS SPECIFIED BY SORELL COUNCIL

EXISTING SEWER CONNECTION
RL (lid): 17.41
RL (inv): 16.78

EXISTING STORMWATER CONNECTION
RL (lid): 17.57
RL (inv): 16.77

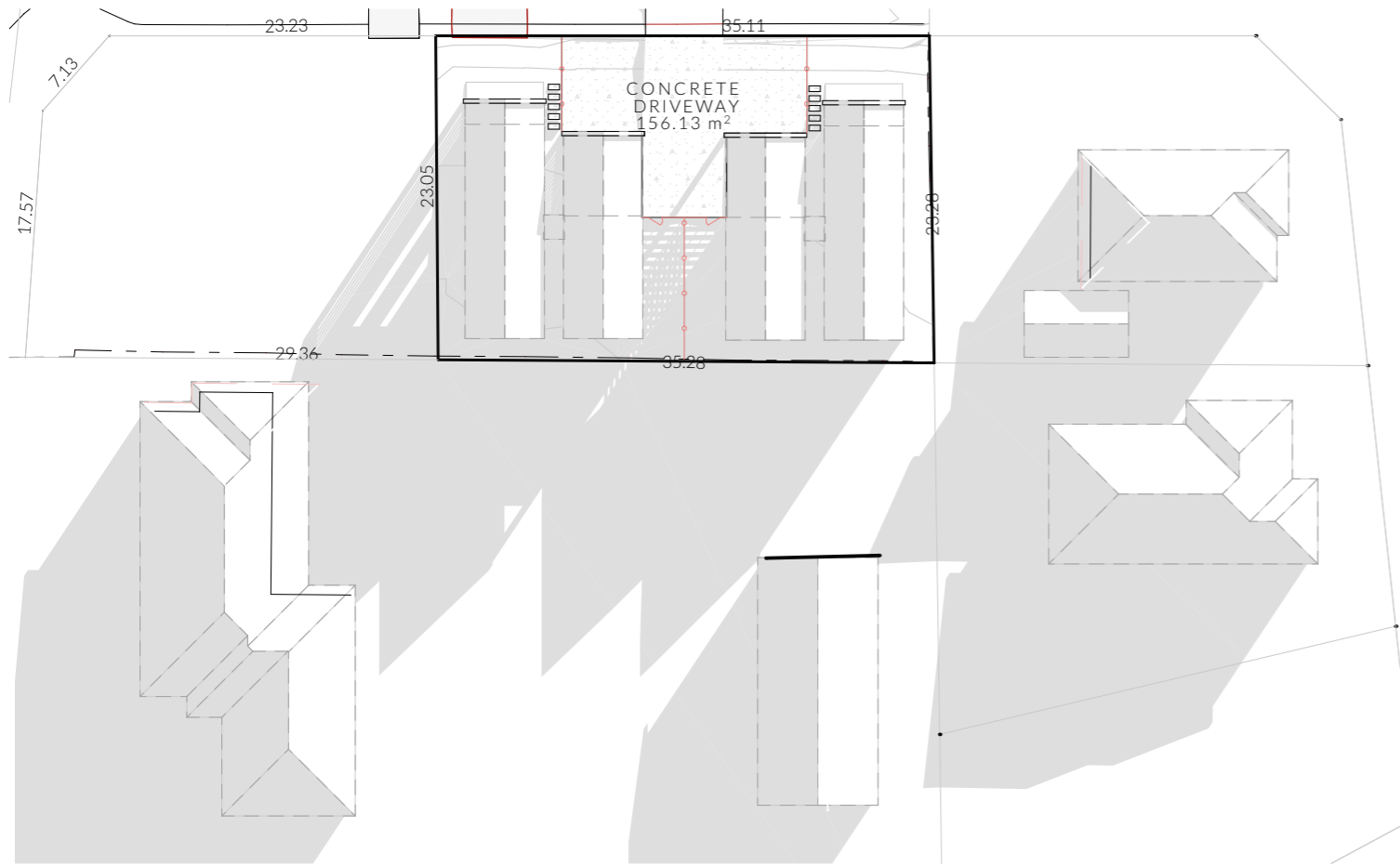
Sorell Council
Development Application: 5.2026.42.1 - Updated Plans - 4 Friendship Drive, Sorell - P4.pdf
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Site Areas

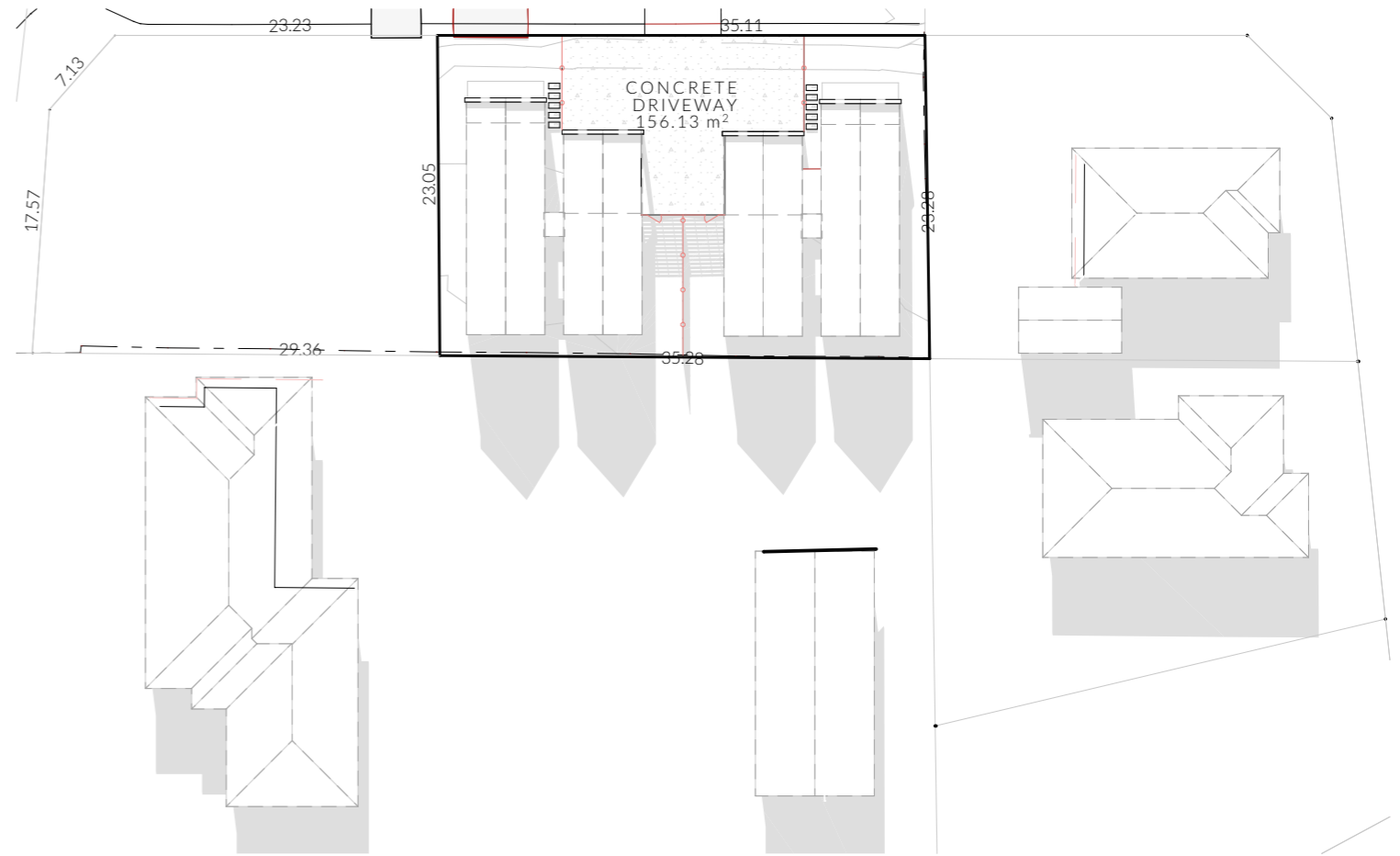
Site Area	815 m ²
U1 Building Footprint	183.17m ²
U2 Building Footprint	183.17m ²
Total Building Footprint	366.34m ²
Total Site Coverage	44.94%

NOT FOR CONSTRUCTION

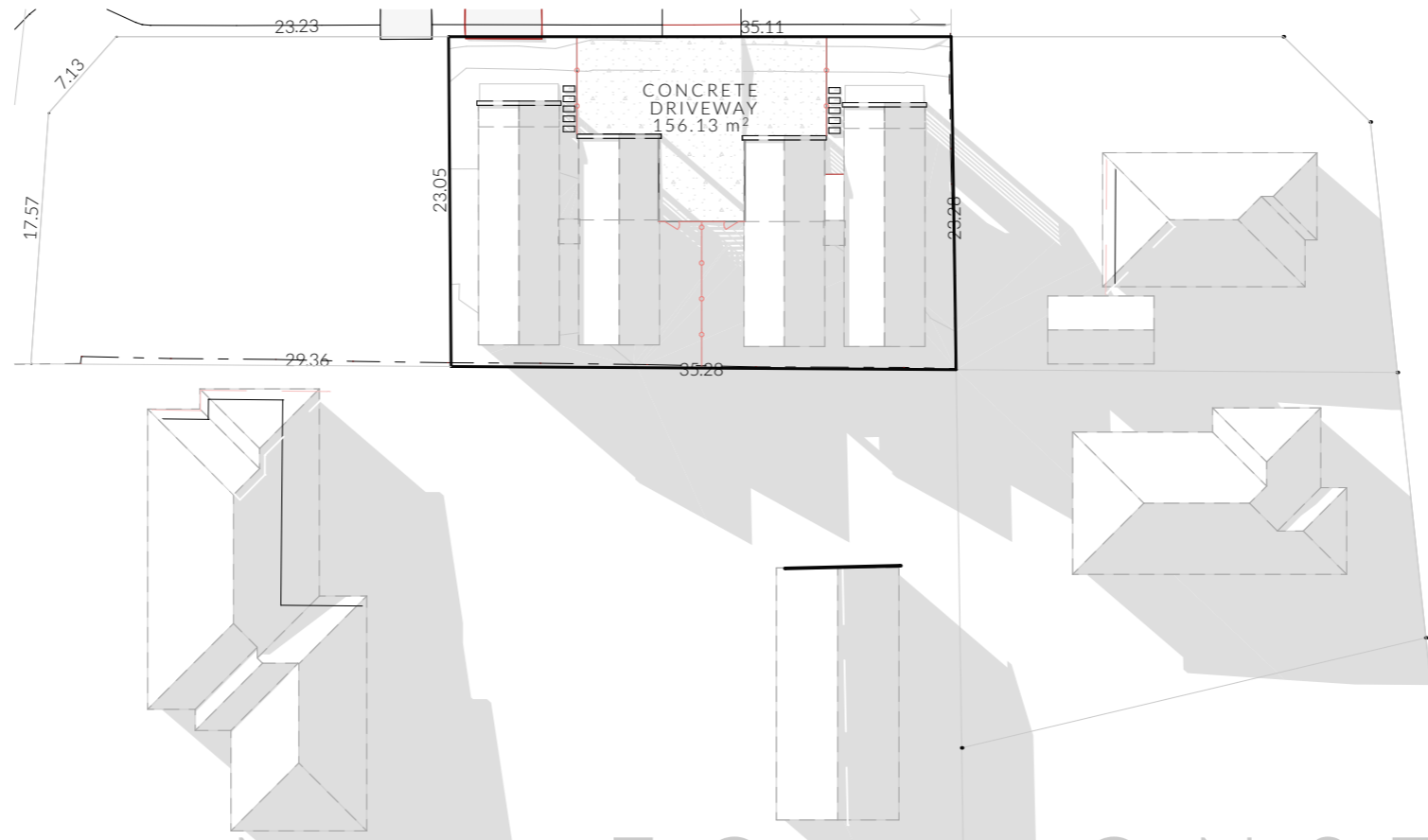
	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Site Plan Revision: DA - 02 Approved by: JN	Scale: 1:200 @ A3 Pg. No: A0.02	Proposal: New Dwelling Client: Todd Jones Address: 4 Friendship Drive, Sorell, 7172	Date: 27/01/2026 Drawn by: CJ Job No: 084-2025 Engineer: TBA Building Surveyor: TBA	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 30%;">Issue</th> <th style="width: 30%;">Date</th> <th style="width: 40%;">Designer</th> </tr> </thead> <tbody> <tr> <td colspan="3" style="text-align: center;">NOTE: Refer to cover page for further details on changes.</td> </tr> </tbody> </table>	Issue	Date	Designer	NOTE: Refer to cover page for further details on changes.				These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2026. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.
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SD 0900



SD 1200

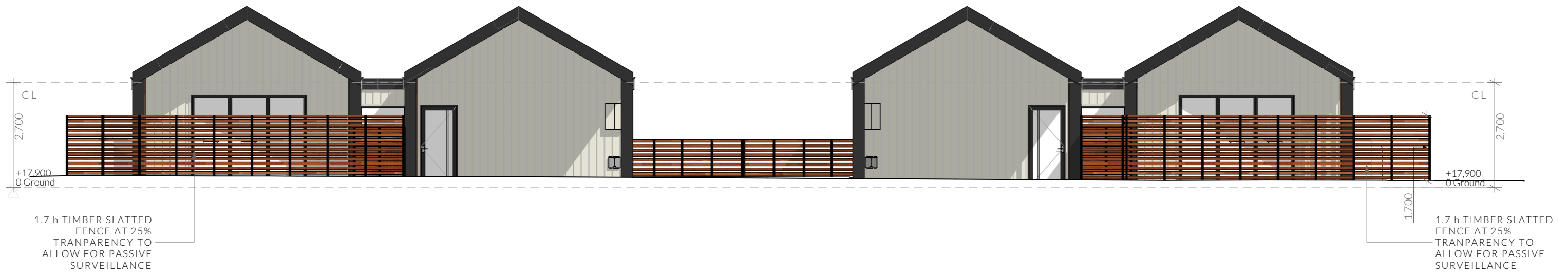


SD 1500

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1.7 h TIMBER SLATTED FENCE AT 25% TRANPARENCY TO ALLOW FOR PASSIVE SURVEILLANCE

1.7 h TIMBER SLATTED FENCE AT 25% TRANPARENCY TO ALLOW FOR PASSIVE SURVEILLANCE

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AP Access Panel

AJ Articulation Joint

SA Smoke Alarm

Construction of sanitary compartments 10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -
· open outwards; or
· slide; or
· be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the sanitary compartment and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:
Riser: Min 115mm - Max 190mm
Going: Min 240mm - Max 355mm
Slope (2R+G): Max 550 - Min 700
For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms & other spaces 10.3.1 of NCC 2022

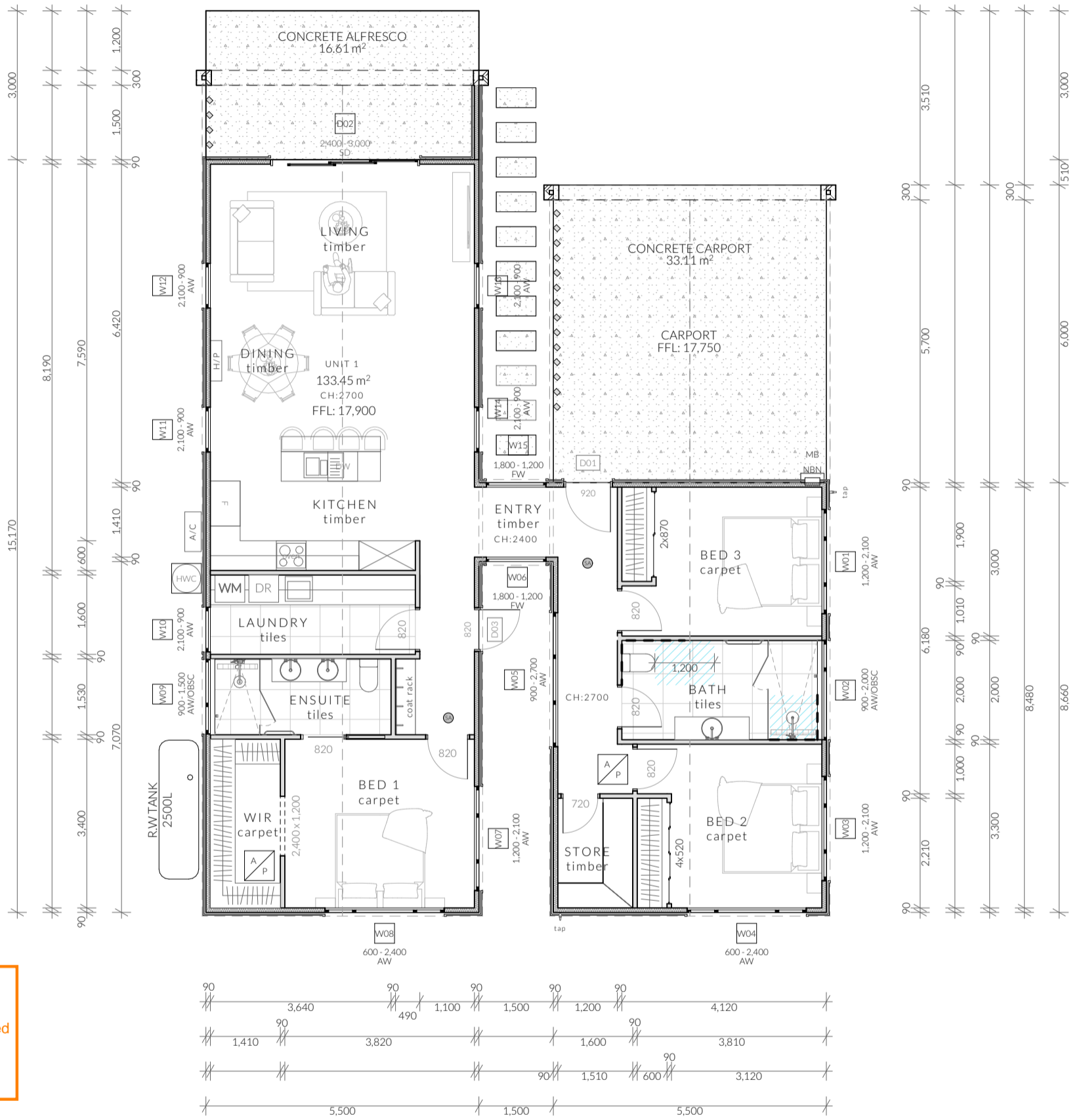
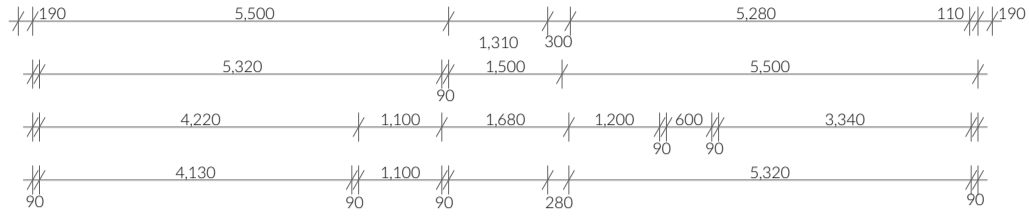
Heights of rooms and other spaces must not be less than:
(a) in a habitable room excluding a kitchen - 2.4 m; and
(b) in a kitchen - 2.1 m; and
(c) in a corridor, passageway or the like - 2.1 m; and
(d) in a bathroom, shower room, laundry, sanitary compartment, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and
(e) in a room or space with a sloping ceiling or projections below the ceiling line within - See NCC directly for these items
(f) in a stairway, ramp, landing, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, landing or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact Pinnacle before undertaking works.

Floor Areas

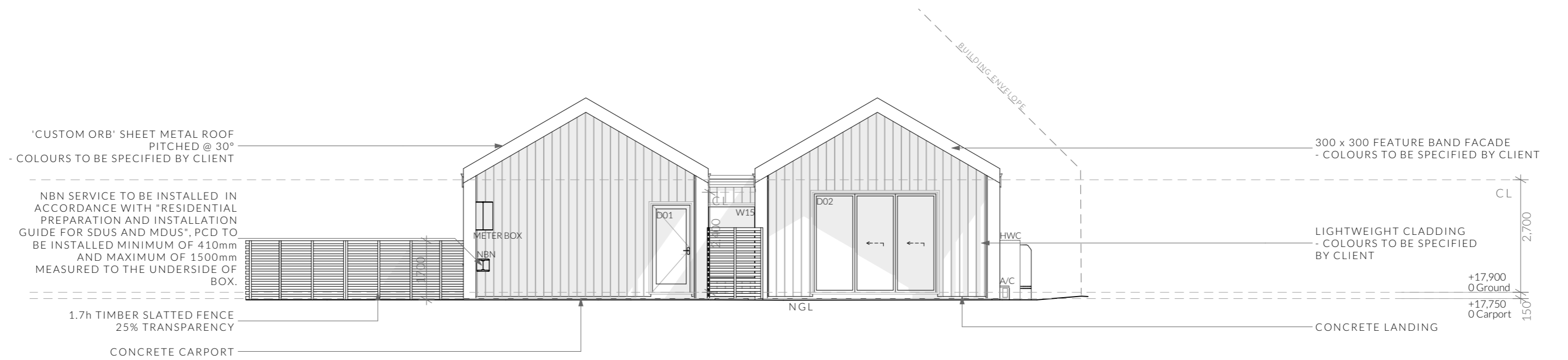
Total Floor Area	134.45m ²
Total Carport	33.11m ²
Total Alfresco	16.61m ²

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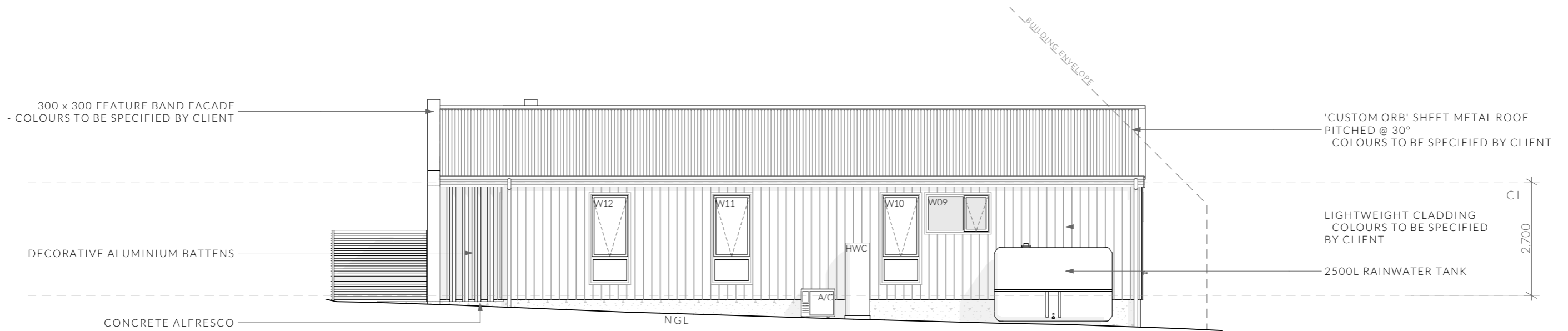
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U1 - North Elevation

1:100



U1 - West Elevation

1:100

NOTE

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,

Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

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U1 - South Elevation

1:100



U1 - East Elevation

1:100

NOTE

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,

Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

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Ventilation of roof spaces NCC 2022

Part 10.8.3

A roof must have a roof space that-

- (a) is located-
 - (i) immediately above the primary insulation layer; or
 - (ii) immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or
 - (iii) immediately above ceiling insulation; and
- (b) has a height of not less than 20 mm; and
- (c) is either-
 - (i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
 - (ii) located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

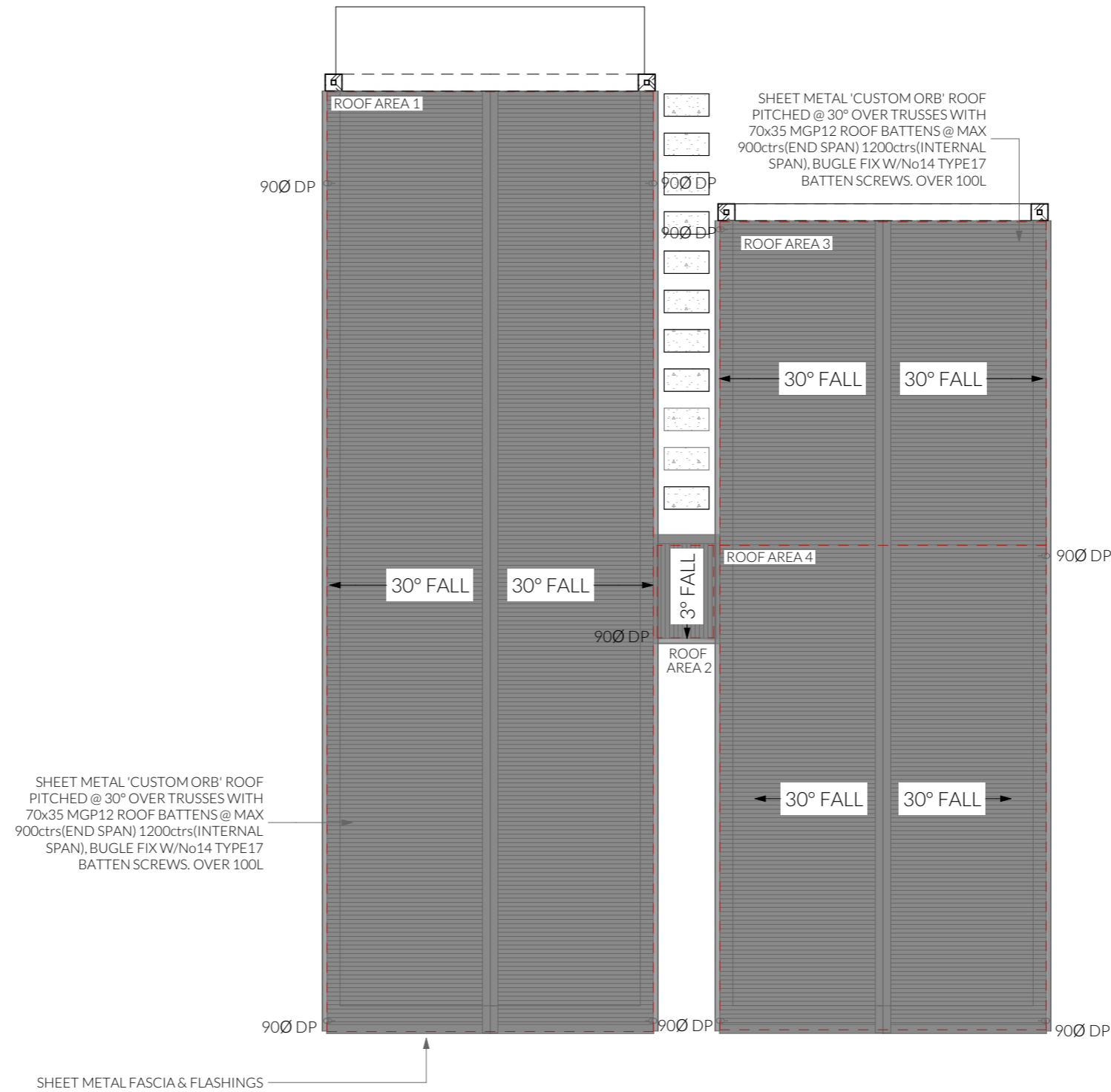
Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a) comply with AS/NZS 2908.2 or ISO 8336; and
- (b) be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
 - (i) 2.8 x 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

ROOF PITCH	VENTILATION OF OPENINGS (TABLE 10.8.3)
>15° AND <75°	7,000 mm2/m provided at the eaves and 5,000 mm2/m at high level, plus an additional 18,000 mm2/m at the eaves if the roof has a cathedral ceiling
(1) Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof. (2) For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically.	



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ELECTRICAL LEGEND - UNIT 1 - Lower Floor

Symbol	Description	Allowance	Quantity
▽ ^P	DATA- CAT 6 (RJ45) - 1 GANG		1
⌋ ^{TV}	DATA- TV CONNECTION		1
■	FAN - 3 IN 1 (4 LAMP)	10W (LIGHT)	2
⊙	FAN - CEILING - EX-HAUST		2
⌋	GPO - (1) SINGLE		3
⌋ ²	GPO - (2) DOUBLE		19
⌋ ² ISD	GPO - (2) DOUBLE (WITH COOKTOP ISOLATOR SWITCH)		1
⌋ ² USB	GPO - (2) DOUBLE (WITH USB CHARGER)		3
⌋ ² W/P	GPO - WEATHER PROOF DOUBLE		1
⊗ _R	LIGHT - CEILING - DOWNLIGHT RECESSED	10W	26
—	LIGHT - CEILING - PENDANT - LED STRIP 1200L	20W (LM)	1
⊗ _{W1}	LIGHT - WALL MOUNTED - TYPE 1	10W	1
⊙	SERVICE - SMOKE ALARM		2
⌋	SWITCH - LIGHT 1 GANG		7
⌋ ²	SWITCH - LIGHT 2 GANG		3
⌋ ³	SWITCH - LIGHT 3 GANG		2

Smoke Alarms Part 9.5 of NCC 2022

- Smoke alarms must-
- (a) be located in-
 - (i) a Class 1a building in accordance with 9.5.2 and 9.5.4; and
 - (ii) a Class 1b building in accordance with 9.5.3 and 9.5.4; and
 - (b) comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and
 - (c) be powered from the consumer mains source where a consumer mains source is supplied to the building; and be interconnected where there is more than one alarm.

- In a Class 1a building, smoke alarms must be located in-
- (a) any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building; and
 - (b) each other storey not containing bedrooms.

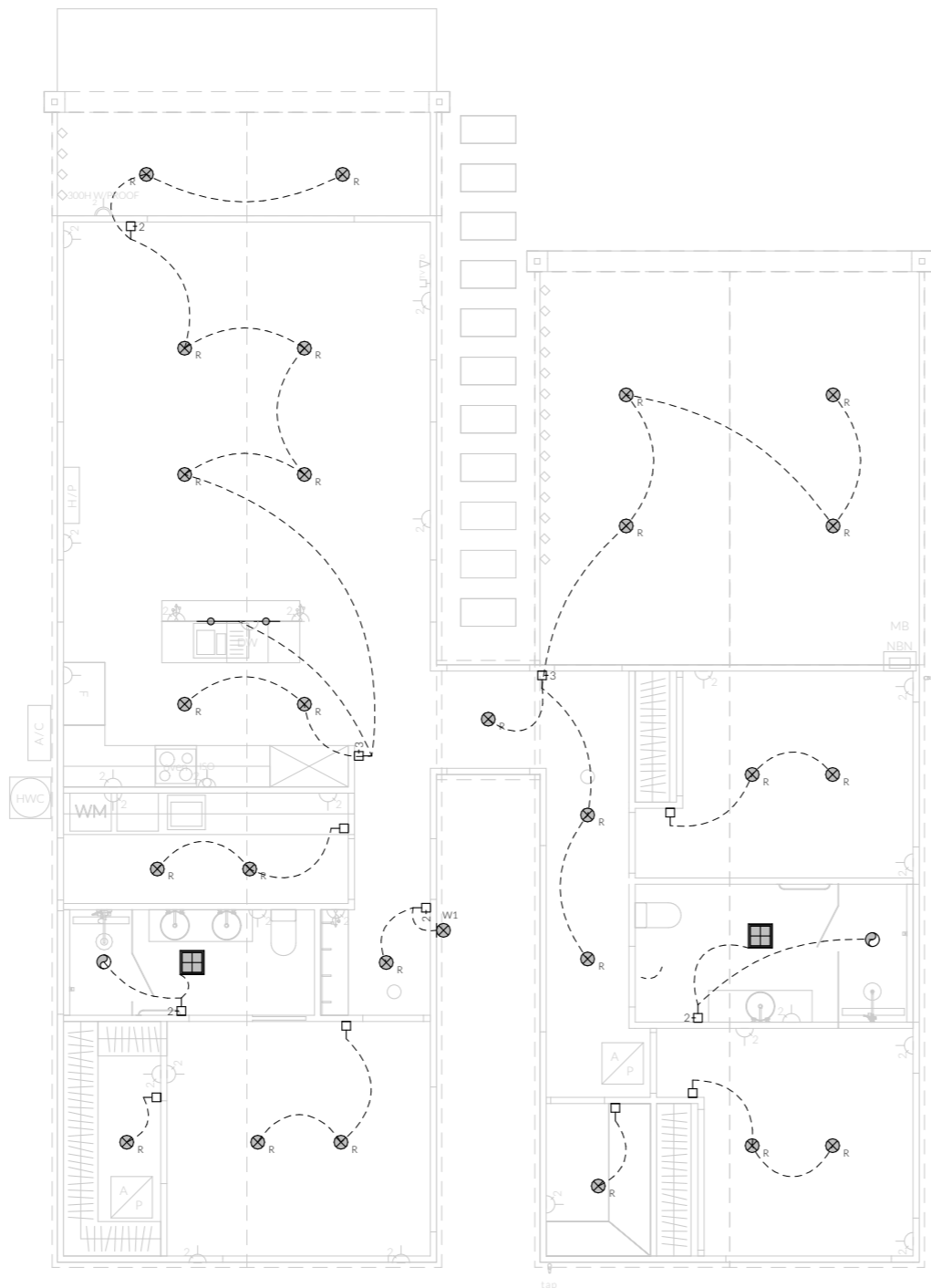
- Smoke alarms required by 9.5.2 and 9.5.3 must be installed on or near the ceiling, in accordance with the following:
- (a) Where a smoke alarm is located on the ceiling it must be-
 - (i) a minimum of 300 mm away from the corner junction of the wall and ceiling; and
 - (ii) between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling.
 - (b) Where (a) is not possible, the smoke alarm may be installed on the wall, and located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.

Note: Exhaust Fans

- Exhaust fans to comply with NCC 2022 Vol 2 Part 10.8.2 and have;
- An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of-
 - (a) 25 L/s for a bathroom or sanitary compartment; and
 - (b) 40 L/s for a kitchen or laundry.
 - Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.
 - Where a venting clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air.
 - An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must-
 - (a) be interlocked with the room's light switch; and
 - (b) include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light switch is turned off.

Preparation for future Solar Installation:

Should the solar design be required for future installation, 2/25mm solarflex (or similar) conduits marked "solar" are to be installed from the meter box to the roof space.



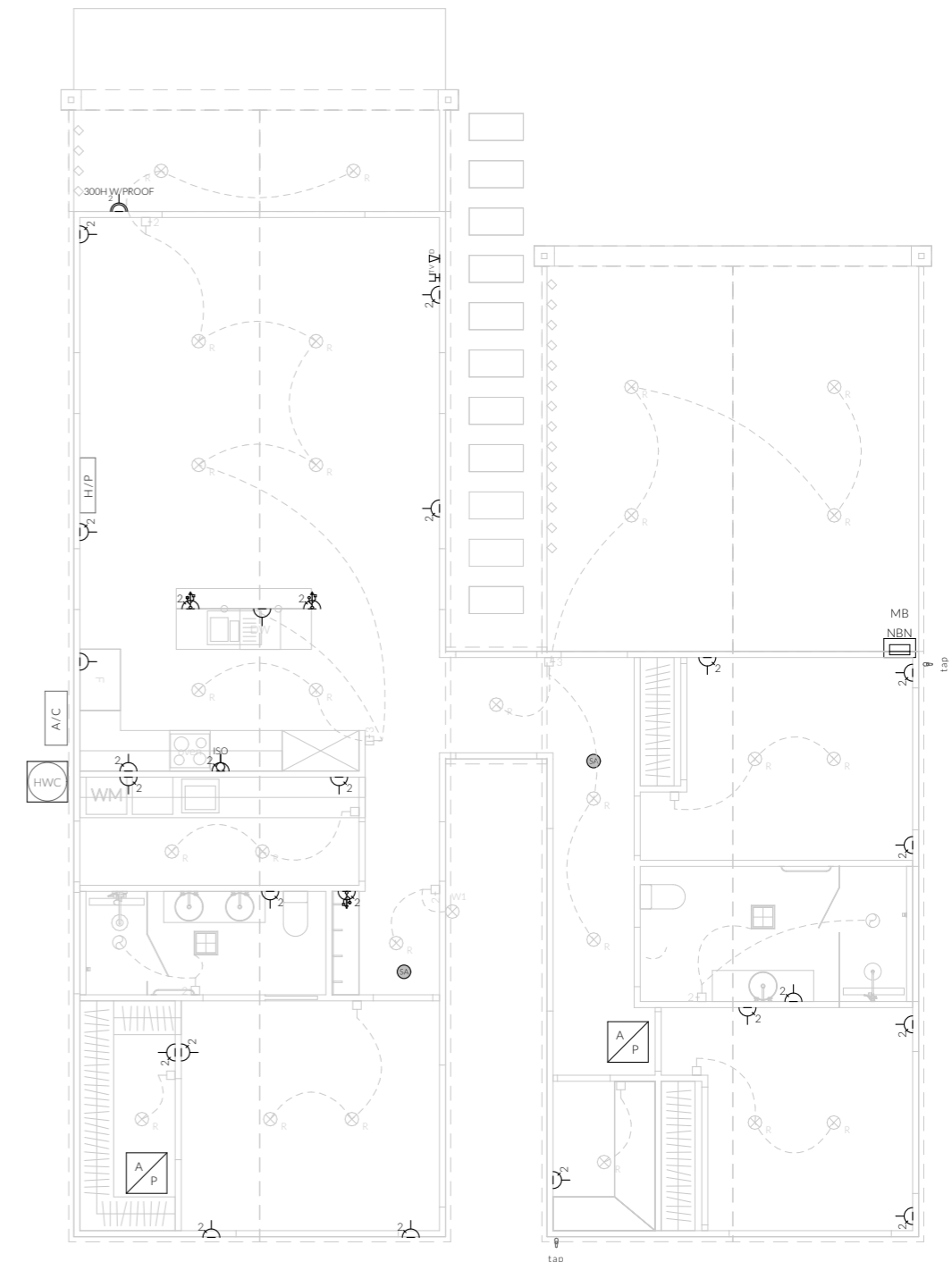
U1 - Electrical Plan - Light/Reflected Ceiling

Note: Lighting

Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:

- 5W/m² in class 1a dwellings
- 4W/m² to veranda, balcony or the like
- 3W/m² in a class 10a dwelling associated with the class 1a dwelling

U.N.O - All downlights are to be Insulation Contact (IC) rated.



U1 - Electrical - Power

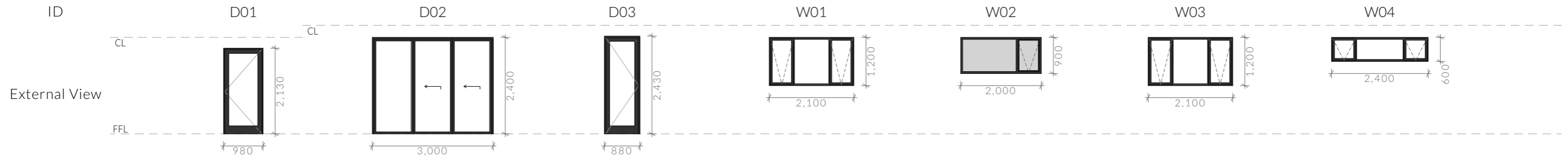
Notes

- U.N.O ceilings are to be plasterboard.
- ◁---▷ Dimmable Circuit
- ┌---┐ Timer Circuit(as fan note)
- PB - Plasterboard
- CS - Cement Sheet Eaves
- PW - Plywood Ceiling
- TB - Timber Batten Ceiling

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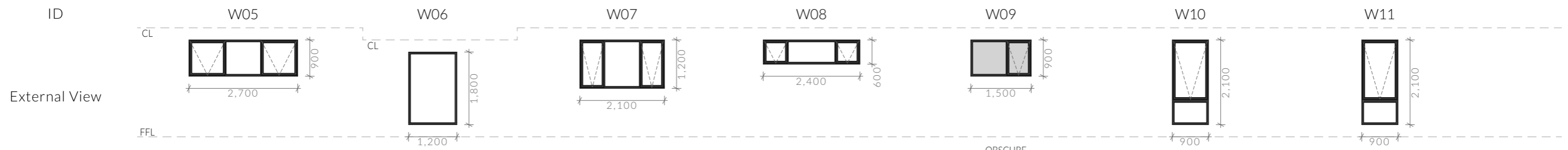
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<p style="font-size: 24px; margin: 0;">PINNACLE</p>	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	U1 - Electrical Plan Revision: DA - 02 Approved by: JN	Scale: 1:100 @A3 Pg. No: A1.05	Proposal: New Dwelling Client: Todd Jones Address: 4 Friendship Drive, Sorell, 7172	Date: 27/01/2026 Drawn by: CJ Job No: 084-2025 Engineer: TBA Building Surveyor: TBA	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 30%;">Issue</th> <th style="width: 30%;">Date</th> <th style="width: 40%;">Designer</th> </tr> </thead> <tbody> <tr> <td colspan="3" style="text-align: center; font-size: 8px;">NOTE: Refer to cover page for further details on changes.</td> </tr> </tbody> </table>	Issue	Date	Designer	NOTE: Refer to cover page for further details on changes.				These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2026. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.	
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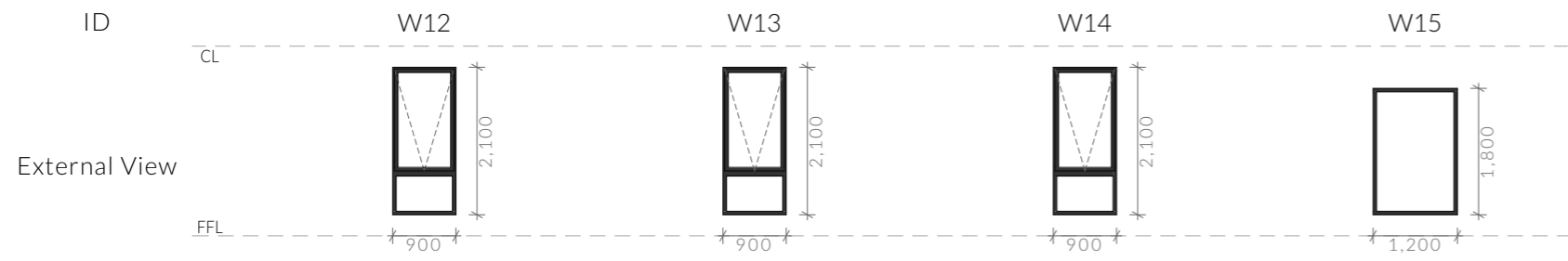
OBSCURE

Notes



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Notes



Notes

Glazing - 52mm Double Glazed (clear)



All windows & doors to be glazed with the minimum following values:

Window Type	U-Value	SHGC
Awning	4.1	0.57
Fixed	3.2	0.67

Values based on products from Clark Windows. Where Argon Gas is specified the U-Value is reduced by 0.1 across all products.

 **Sorell Council**
 Development Application: 5.2026.42.1 - Updated Plans - 4 Friendship Drive, Sorell - P4.pdf
 Plans Reference: P4
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AP Access Panel

AJ Articulation Joint

SA Smoke Alarm

Construction of sanitary compartments 10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the sanitary compartment and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:

- Riser: Min 115mm - Max 190mm
- Going: Min 240mm - Max 355mm
- Slope (2R+G): Max 550 - Min 700

For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms & other spaces 10.3.1 of NCC 2022

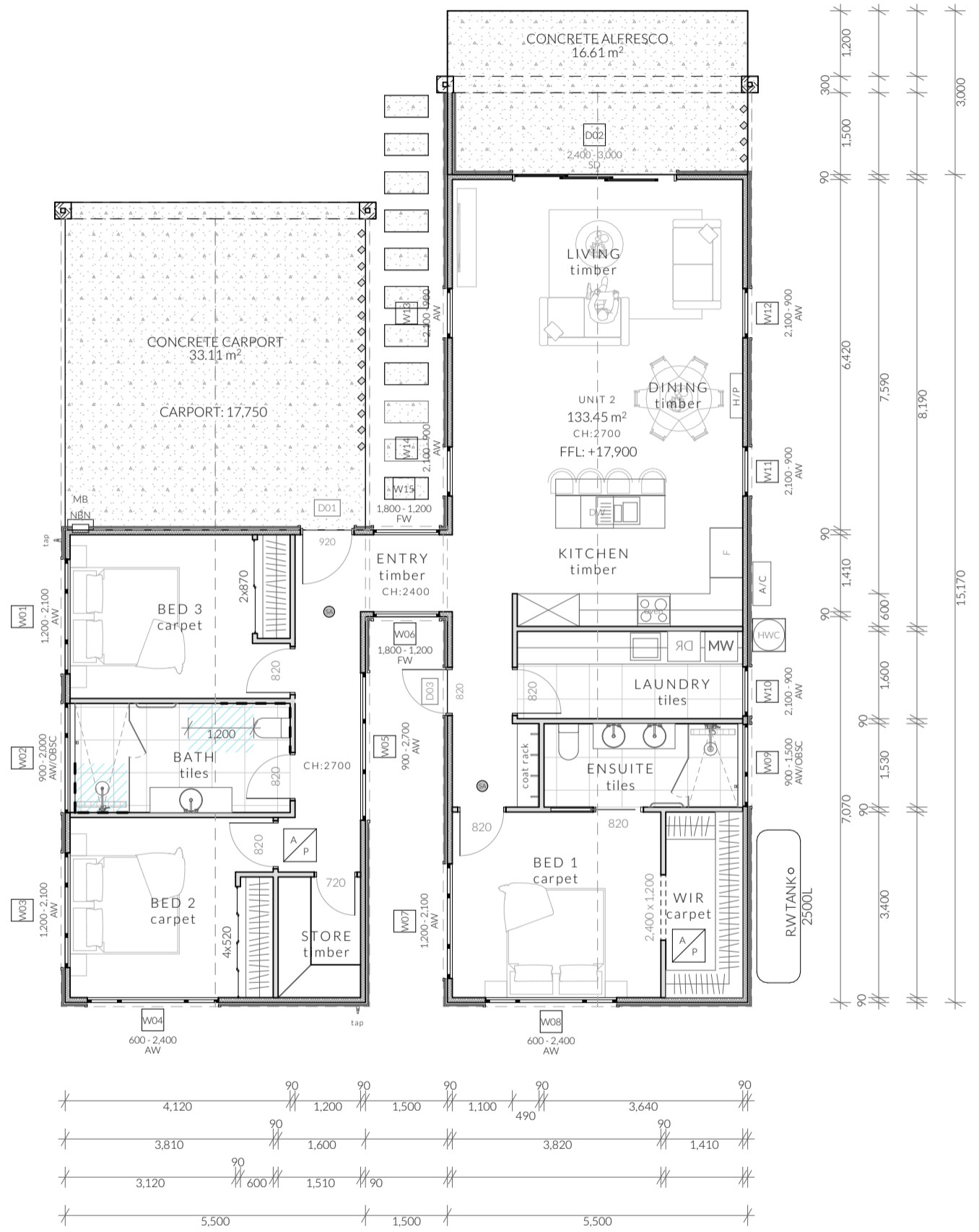
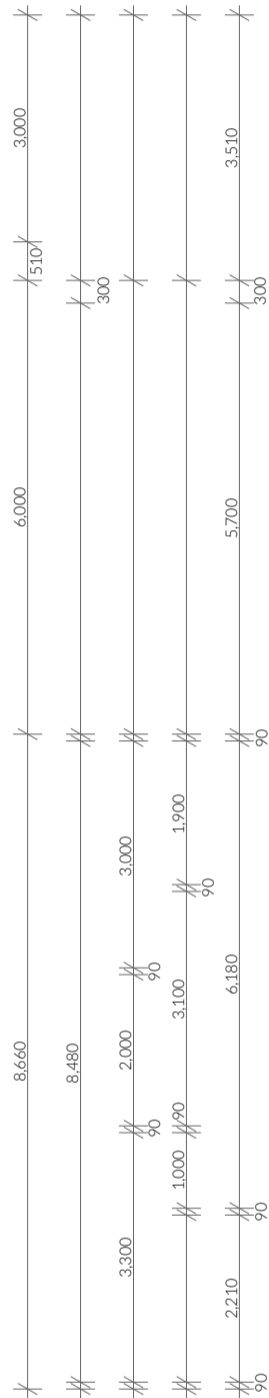
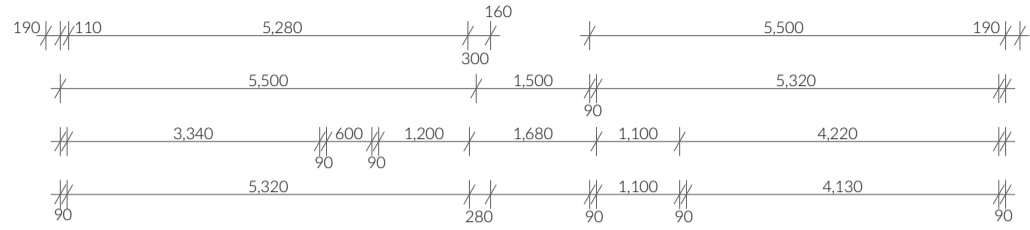
Heights of rooms and other spaces must not be less than:

- (a) in a habitable room excluding a kitchen - 2.4 m; and
- (b) in a kitchen - 2.1 m; and
- (c) in a corridor, passageway or the like - 2.1 m; and
- (d) in a bathroom, shower room, laundry, sanitary compartment, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and
- (e) in a room or space with a sloping ceiling or projections below the ceiling line within - See NCC directly for these items
- (f) in a stairway, ramp, landing, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, landing or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact Pinnacle before undertaking works.

Floor Areas

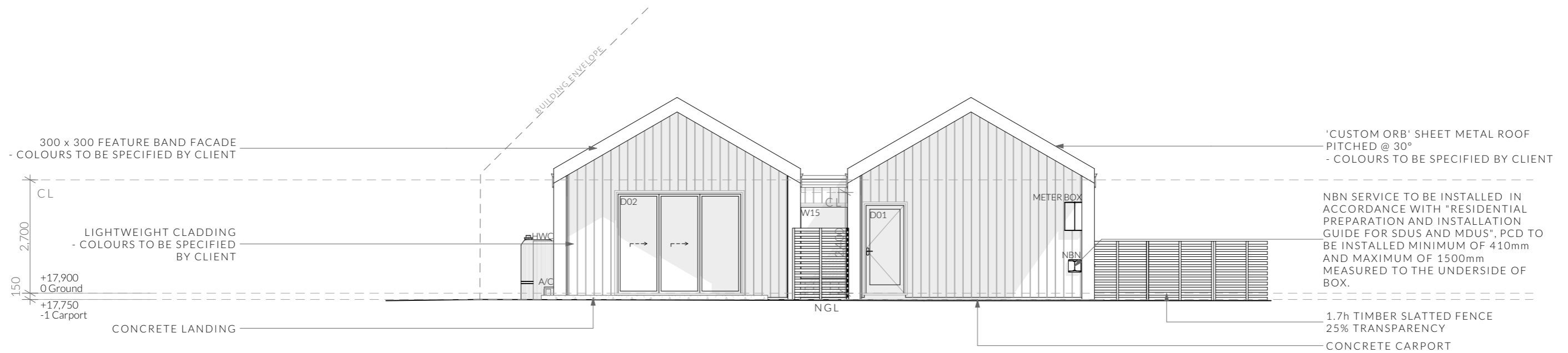
Total Floor Area	134.45m ²
Total Carport	33.11m ²
Total Alfresco	16.61m ²



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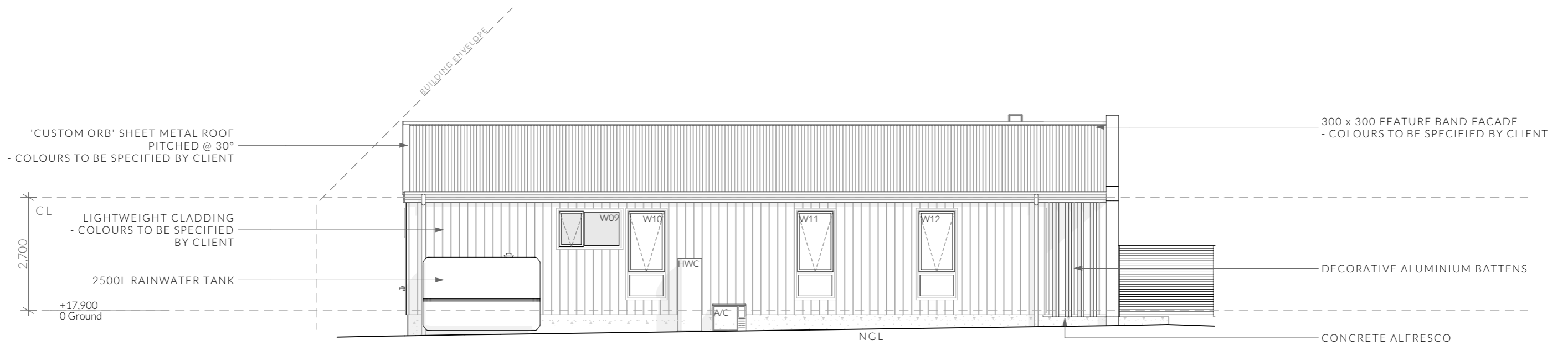
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U2 - Floor Plan Scale: 1:100 @ A3 Revision: DA-02 Approved by: JN	Proposal: New Dwelling Client: Todd Jones Address: 4 Friendship Drive, Sorell, 7172	Date: 27/01/2026 Drawn by: CJ Job No: 084-2025 Engineer: TBA Building Surveyor: TBA
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U2 - North Elevation

1:100



U2 - East Elevation

1:100

NOTE

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,

Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.



All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2

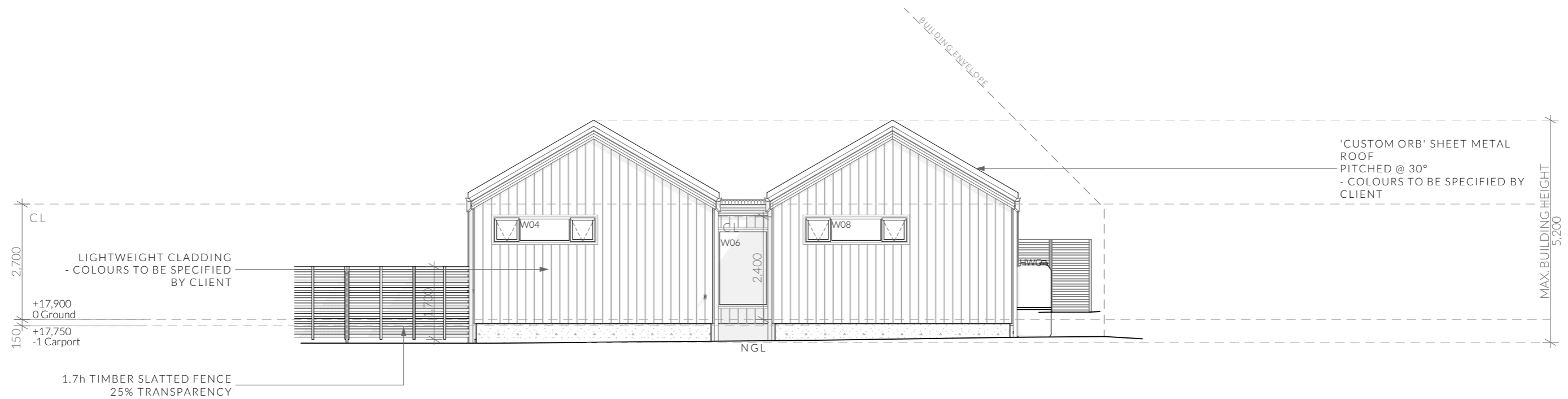
Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

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U2 - South Elevation

1:100



U2 - West Elevation

1:100

NOTE

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,

Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2

Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

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Ventilation of roof spaces NCC 2022

Part 10.8.3

A roof must have a roof space that-

- (a) is located-
 - (i) immediately above the primary insulation layer; or
 - (ii) immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or
 - (iii) immediately above ceiling insulation; and
- (b) has a height of not less than 20 mm; and
- (c) is either-
 - (i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
 - (ii) located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

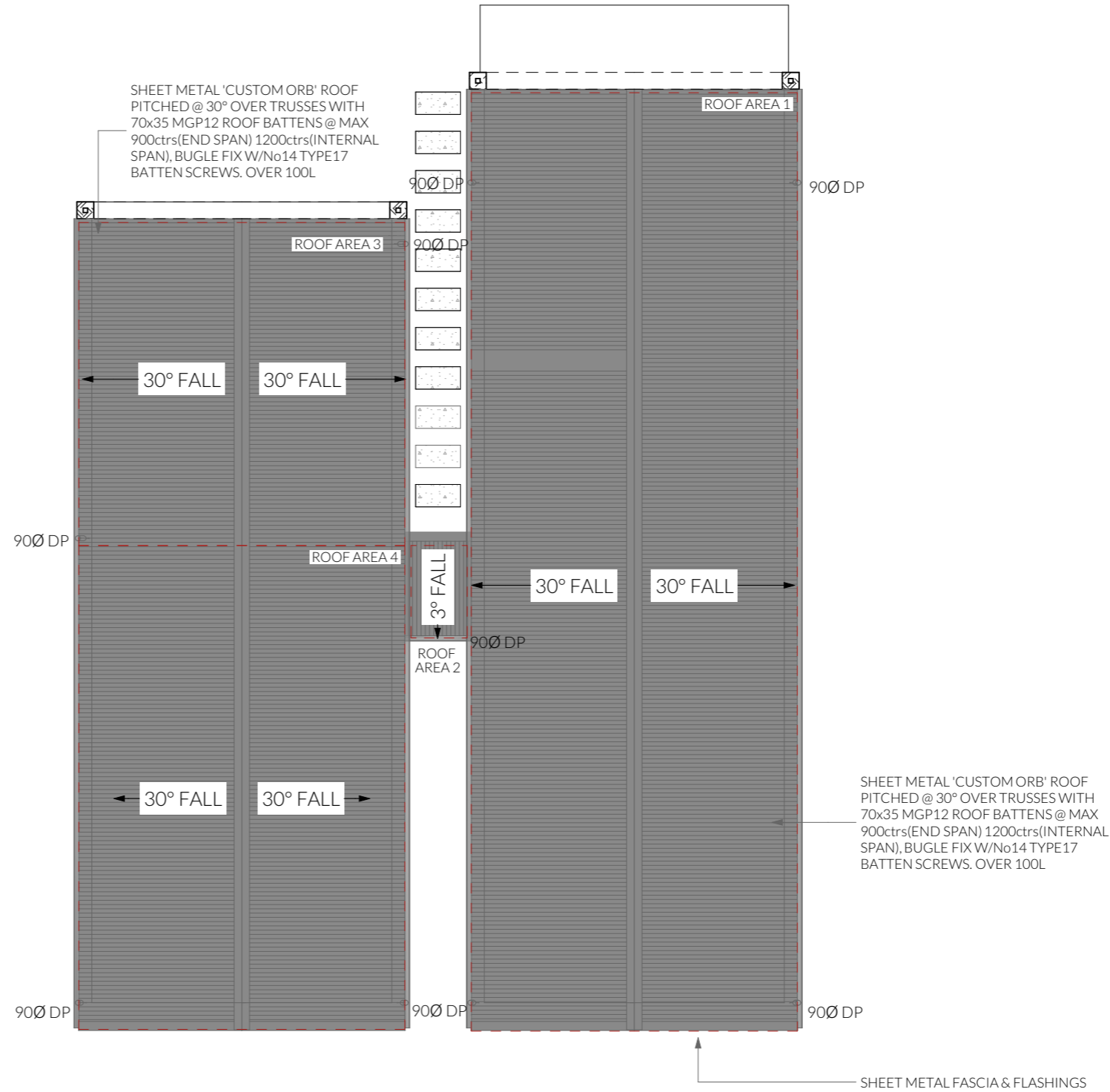
Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a) comply with AS/NZS 2908.2 or ISO 8336; and
- (b) be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
 - (i) 2.8 x 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

ROOF PITCH	VENTILATION OF OPENINGS (TABLE 10.8.3)
>15° AND <75°	7,000 mm ² /m provided at the eaves and 5,000 mm ² /m at high level, plus an additional 18,000 mm ² /m at the eaves if the roof has a cathedral ceiling
(1) Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof. (2) For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically.	



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ELECTRICAL LEGEND - UNIT 2 - Lower Floor

Symbol	Description	Allowance	Quantity
▽	DATA- CAT 6 (RJ45) - 1 GANG		1
▽	DATA- TV CONNECTION		1
■	FAN - 3 IN 1 (4 LAMP)	10W (LIGHT)	2
⊙	FAN - CEILING - EX-HAUST		2
⊙	GPO - (1) SINGLE		3
⊙	GPO - (2) DOUBLE		19
⊙	GPO - (2) DOUBLE (WITH COOKTOP ISOLATOR SWITCH)		1
⊙	GPO - (2) DOUBLE (WITH USB CHARGER)		3
⊙	GPO - WEATHER PROOF DOUBLE		1
⊙	LIGHT - CEILING - DOWNLIGHT RECESSED	10W	26
—	LIGHT - CEILING - PENDANT - LED STRIP 1200L	20W (LM)	1
⊙	LIGHT - WALL MOUNTED - TYPE 1	10W	1
○	SERVICE - SMOKE ALARM		2
⊞	SWITCH - LIGHT 1 GANG		7
⊞	SWITCH - LIGHT 2 GANG		3
⊞	SWITCH - LIGHT 3 GANG		2

Smoke Alarms Part 9.5 of NCC 2022

Smoke alarms must-
 (a) be located in-
 (i) a Class 1a building in accordance with 9.5.2 and 9.5.4; and
 (ii) a Class 1b building in accordance with 9.5.3 and 9.5.4;
 and

(b) comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and
 (c) be powered from the consumer mains source where a consumer mains source is supplied to the building; and be interconnected where there is more than one alarm.

In a Class 1a building, smoke alarms must be located in-
 (a) any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building; and
 (b) each other storey not containing bedrooms.

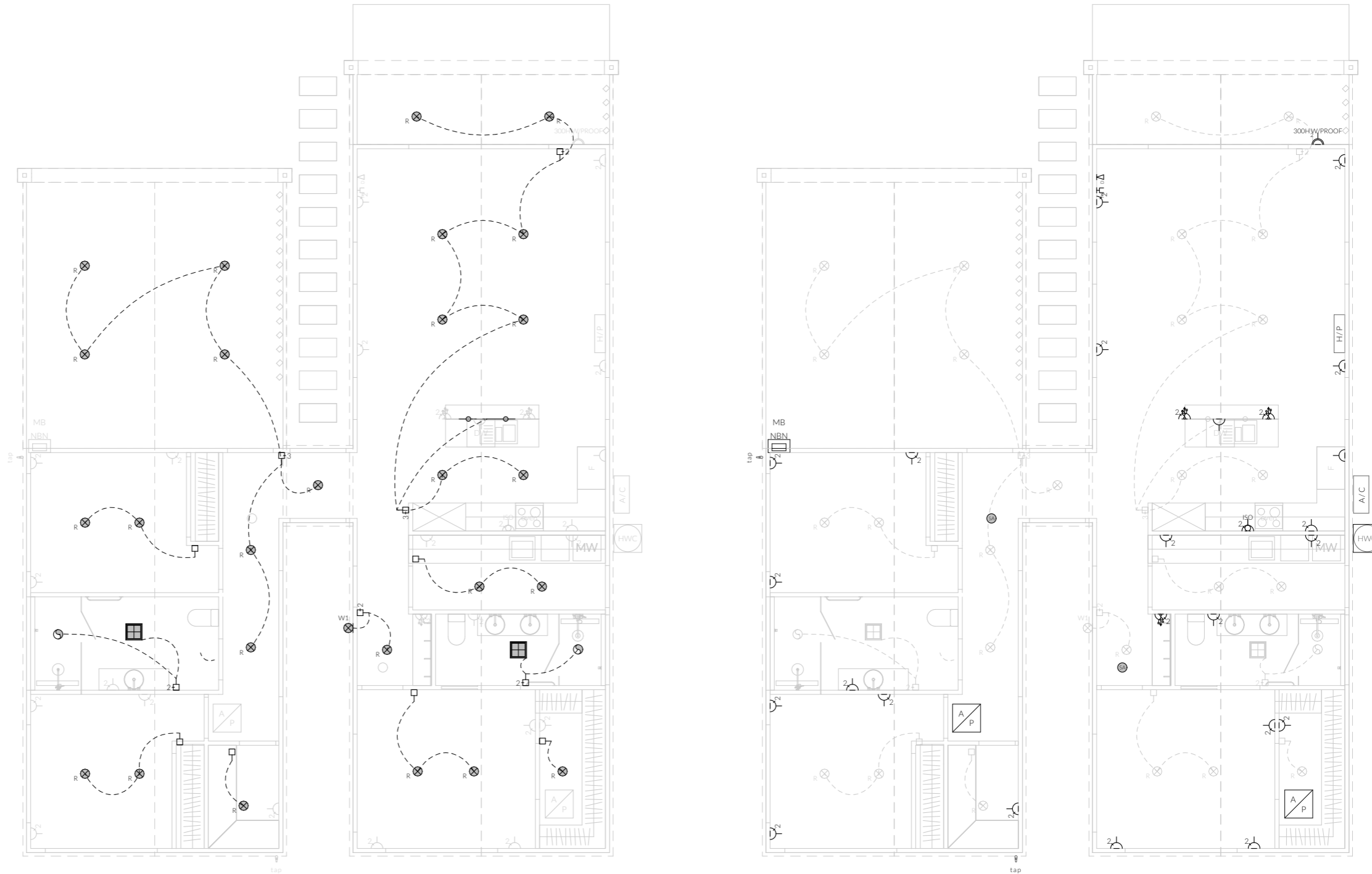
Smoke alarms required by 9.5.2 and 9.5.3 must be installed on or near the ceiling, in accordance with the following:
 (a) Where a smoke alarm is located on the ceiling it must be-
 (i) a minimum of 300 mm away from the corner junction of the wall and ceiling; and
 (ii) between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling.
 (b) Where (a) is not possible, the smoke alarm may be installed on the wall, and located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.

Note: Exhaust Fans

Exhaust fans to comply with NCC 2022 Vol 2 Part 10.8.2 and have:
 -An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of-
 (a) 25 L/s for a bathroom or sanitary compartment; and
 (b) 40 L/s for a kitchen or laundry.
 -Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.
 -Where a venting clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air.
 -An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must-
 (a) be interlocked with the room's light switch; and
 (b) include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light switch is turned off.

Preparation for future Solar Installation:

Should the solar design be required for future installation, 2/25mm solarflex (or similar) conduits marked "solar" are to be installed from the meter box to the roof space.



U2 - Electrical Plan - Light/Reflected Ceiling

U2 - Electrical - Power

Note: Lighting

Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:
 5W/m² in class 1a dwellings
 4W/m² to veranda, balcony or the like
 3W/m² in a class 10a dwelling associated with the class 1a dwelling

U.N.O - All downlights are to be Insulation Contact (IC) rated.

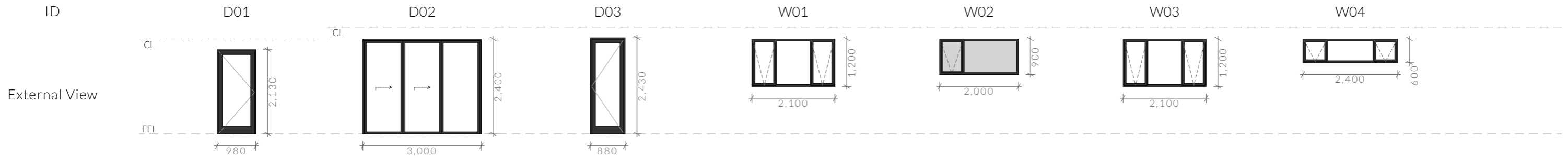
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 Development Application: 5.2026.42.1 - Updated Plans - 4 Friendship Drive, Sorell - P4.pdf
 Plans Reference: P4
 Date Received: 16/04/2026

Notes

- U.N.O ceilings are to be plasterboard.
- ◁---▷ Dimmable Circuit
- ┌---┐ Timer Circuit(as fan note)
- PB - Plasterboard
- CS - Cement Sheet Eaves
- PW - Plywood Ceiling
- TB - Timber Batten Ceiling

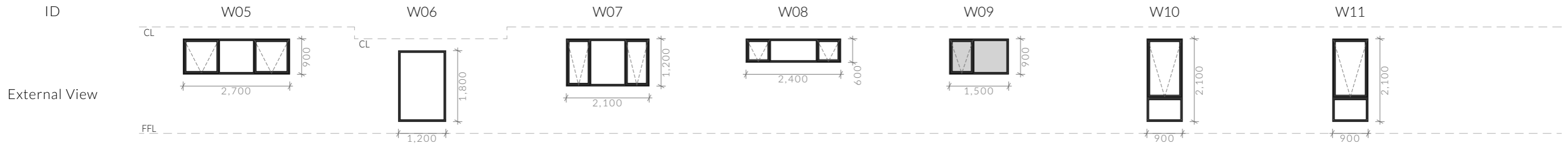
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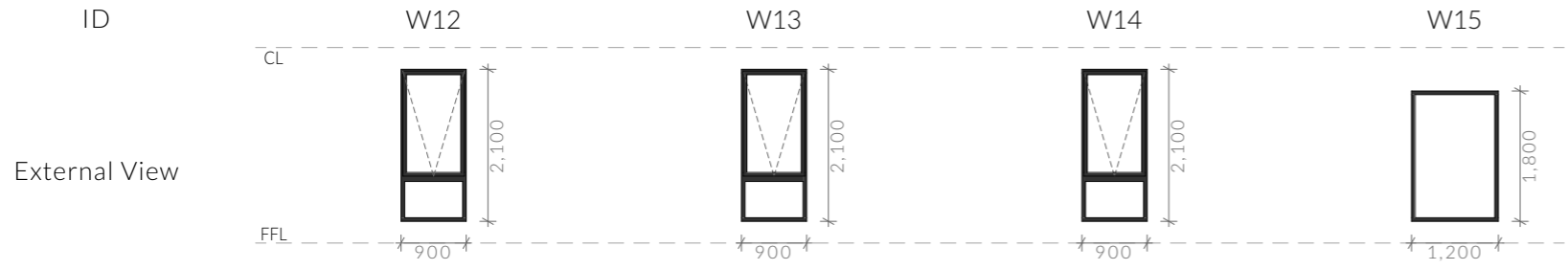
Notes

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Notes

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 Date Received: 16/04/2026

Glazing - 52mm Double Glazed (clear)
 All windows & doors to be glazed with the minimum following values:

Window Type	U-Value	SHGC
Awning	4.1	0.57
Fixed	3.2	0.67

Values based on products from Clark Windows. Where Argon Gas is specified the U-Value is reduced by 0.1 across all products.

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Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a) Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than (i) 25mm over the first 1m from the building (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claypaving); or (B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1(2) or (4)(c) of the ABCB Standard for Livable Housing Design; or (ii) 50 mm over the first 1 m from the building in any other case.
- (b) Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces must be not less than (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or (ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with (a); or (iii) 150 mm in any other case.
- (c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-

- (a) be graded with a uniform fall of not less than 1:300; and
- (b) discharge into an external silt pit or sump with- (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

Note

All driveway pits and grate drains to be **Class B**.

Stormwater pits are indicative. Location may vary depending on site conditions.

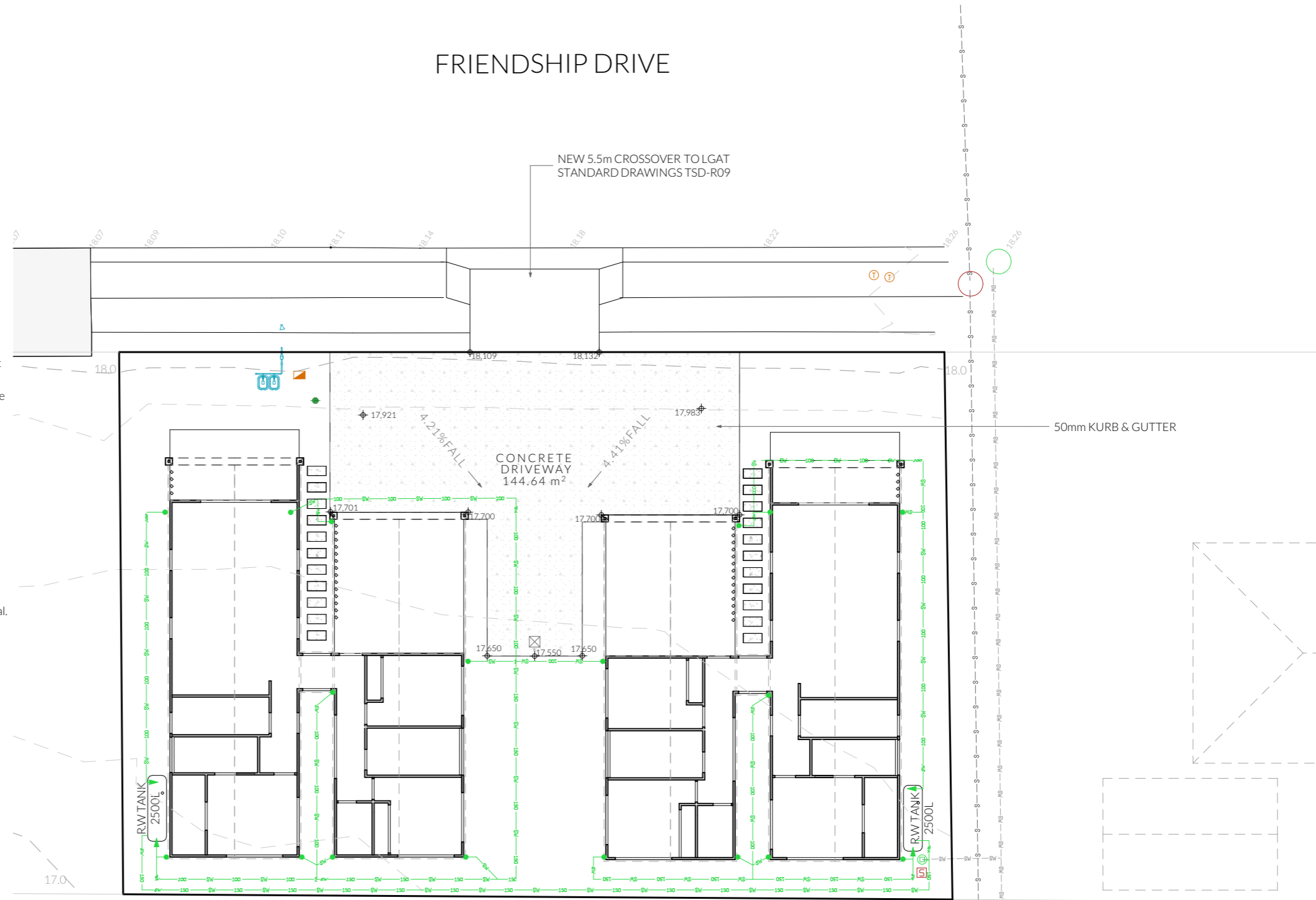
Legend

- SW — Stormwater Line
- AG — Ag Drain
- ⊕ - Stormwater Connection
- ⊗ - Class A 300mm Stormwater Pit
- ⊗ - Class B 450mm Stormwater Pit
- ▬ - 100mm wide trafficable grate drain

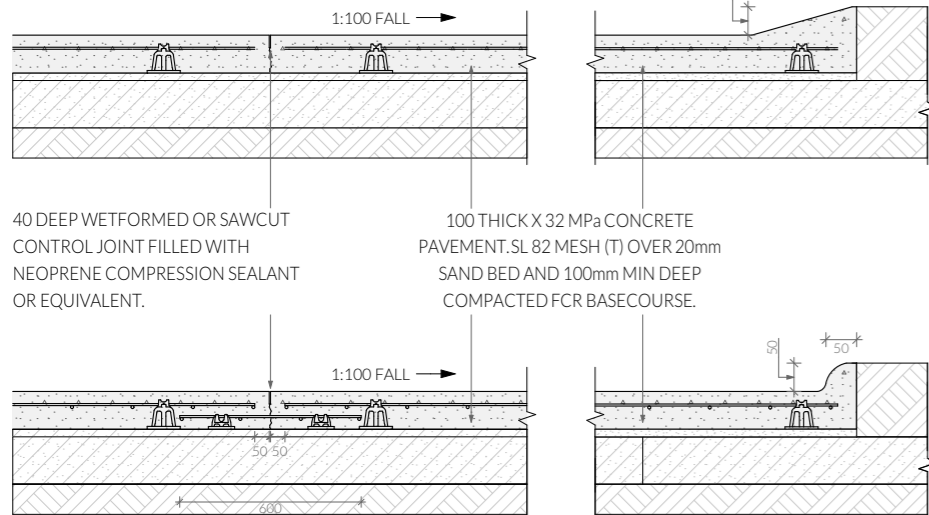
General Notes

1. Remove all topsoil and organic matter from beneath concrete driveway areas and provide 100mm deep compacted FCR basecourse layer.
2. Concrete strength shall be 32 mpa min.
3. Provide control joints at 6.0 m centres- refer detail.
4. Compact concrete using mechanical vibrators.
5. Cure all exposed concrete surfaces by keeping moist for 7 days. i.e cover with plastic sheets.
6. Connect new service connections into existing. Liaise with council's plumbing surveyor for location of existing connections.
7. All new and/or altered service connections shall be undertaken by council at the developer's expense.
8. Provide 100Ø agricultural drains at base of cut and connect to stormwater at lowest point
9. Driveway to be min 100mm thick 32mpa concrete with s82 @ 40mm cover over 100mm compacted FCR. Provide deep tooled joints or sawcut joints @ max. 4m crs.
10. Driveway to be sloped to integrated kerb and gutter system on low side of driveway
11. Rainwater pipes to be PVC or Colorbond finish metal.
12. Driveway sawcuts to be installed at approx. 4m centres with expansion joints at 8-12m centres.

FRIENDSHIP DRIVE



TYPICAL PAVEMENT DETAIL



Sorell Council
 Development Application: 5.2026.42.1 - Updated Plans - 4 Friendship Drive, Sorell - P4.pdf
 Plans Reference: P4
 Date Received: 16/04/2026

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PINNACLE PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Civil Plan Revision: DA - 02 Approved by: JN	Scale: 1:200 @ A3 Pg. No: C.01	Proposal: New Dwelling Client: Todd Jones Address: 4 Friendship Drive, Sorell, 7172	Date: 27/01/2026 Drawn by: CJ Job No: 084-2025 Engineer: TBA Building Surveyor: TBA	<table border="1"> <thead> <tr> <th>Issue</th> <th>Date</th> <th>Designer</th> </tr> </thead> <tbody> <tr> <td colspan="3">NOTE: Refer to cover page for further details on changes.</td> </tr> </tbody> </table>	Issue	Date	Designer	NOTE: Refer to cover page for further details on changes.				These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2026. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.	
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Vehicle Movement Notes

- Movement templates demonstrate the ability of vehicles to enter intersection in a forwards direction and leave in a forwards direction.

- The base dimensions of the vehicle template represent the B85 (85th Percentile) Vehicle

- The swept path of the vehicle represent the outer extents of the vehicle.

Parking Space requirements
As defined by the Parking and Sustainable Transport Code - Table C2.3

Parking Dimensions - 90°

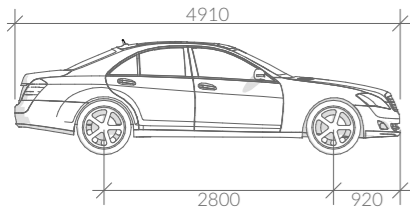
Width: 2600 2800 3000 3200
Length: 5400 5400 5400 5400
Aisle Width: 6400 5800 5200 4800

Parking Dimensions - 45°

Width: 2600
Length: 5400
Aisle Width: 3500

Parking Dimensions - Parallel

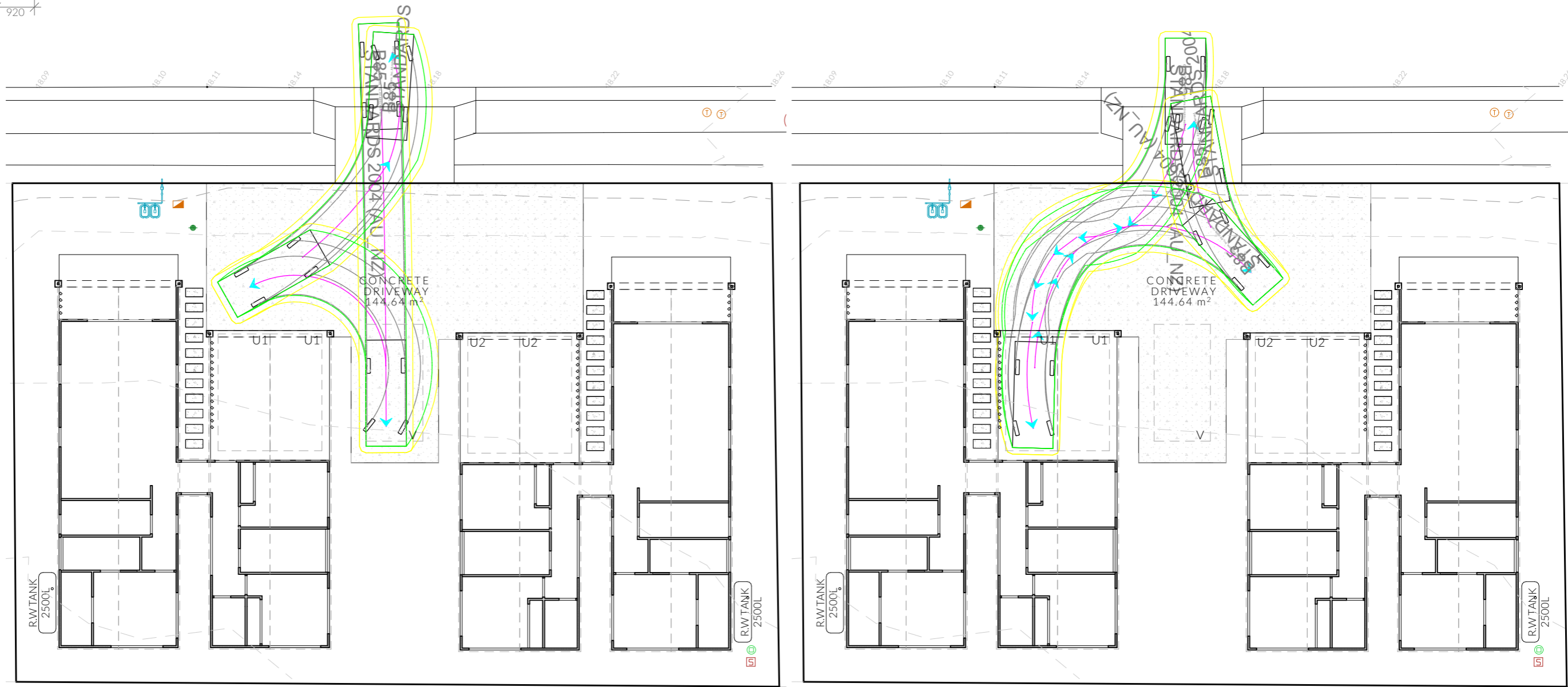
Width: 2300
Length: 6700
Aisle Width: 3600



B85 Vehicle Dimensions

Width: 1870
Track: 1770
L-L Time: 6.0
Turning Radius: 5800

Sorell Council
Development Application: 5.2026.42.1 - Updated Plans - 4 Friendship Drive, Sorell - P4.pdf
Plans Reference: P4
Date Received: 16/04/2026



Legend

- - Solar Bollard Lighting
- ▼ - Spotlight with Sensor

Turning Path Legend

- LINE OF BODY
- 300mm BODY CLEARANCE
- ← DIRECTION OF TRAVEL

NOT FOR CONSTRUCTION

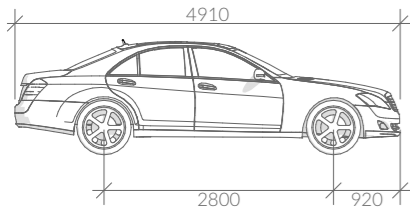
	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Parking Revision: DA - 02 Approved by: JN	Scale: 1:200 @ A3 Pg. No: C.02	Proposal: New Dwelling Client: Todd Jones Address: 4 Friendship Drive, Sorell, 7172	Date: 27/01/2026 Drawn by: CJ Job No: 084-2025 Engineer: TBA Building Surveyor: TBA	<table border="1"> <thead> <tr> <th>Issue</th> <th>Date</th> <th>Designer</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Issue	Date	Designer					These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2026. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.	
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B85 Vehicle Dimensions

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Length: 6700
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Sorell Council

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Legend

- - Solar Bollard Lighting
- ▽ - Spotlight with Sensor



















Turning Path Legend

- LINE OF BODY
- 300mm BODY CLEARANCE
- ← DIRECTION OF TRAVEL

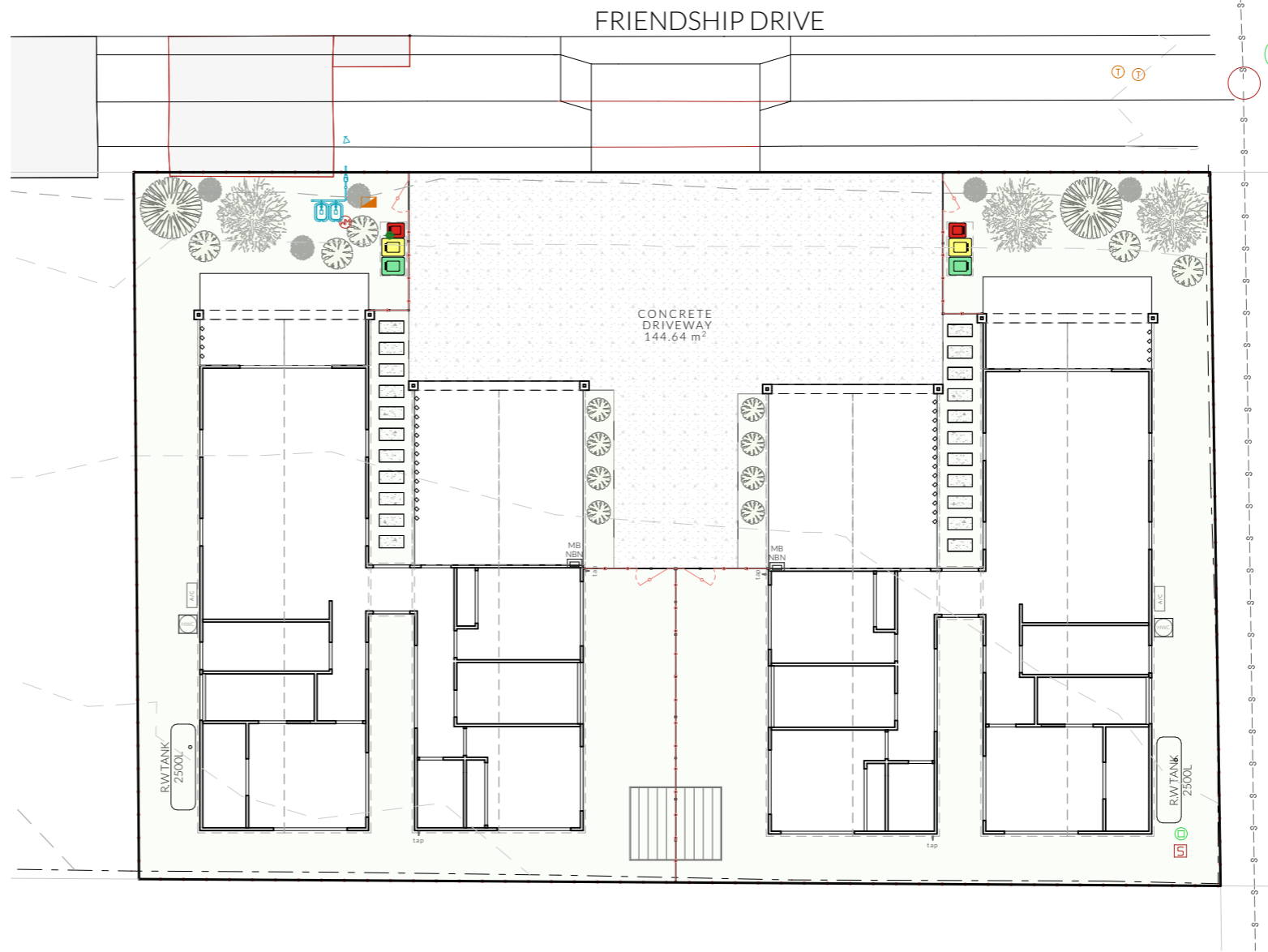
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Legend

-  - General Waste Bin
-  - Recycling Bin
-  - Green Waste Bin
-  - Clothesline
-  - Air Conditioner unit
-  - Meter Box
-  - Hot Water Cylinder
-  - 1.8m to 2.1m Paling Fence
-  - 1.7m high Timber Screen
-  - 1.2m Timber Fence
-  - Solar Bollard Lighting
-  - Spotlight with Sensor
-  - Seeded Lawn
-  - Mulched Garden Bed
-  - Gravel Area - Fine
-  - Decorative Pebble
-  - Water
-  - Paving

 **Sorell Council**
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Planting Schedule

Symbol	Name	Qty	Pot Size	Height	Spread
	Abelia sp. or similar	2	tubestock	2,000	2,000
	Eremophila sp. or similar	3	140mm	2,500	2,500
	Hebe sp. or similar	5	tubestock	1,000	1,000
	Hebe sp. or similar	8	tubestock	1,000	750
	Lavandula sp. or similar	5	140mm	700	800

Note

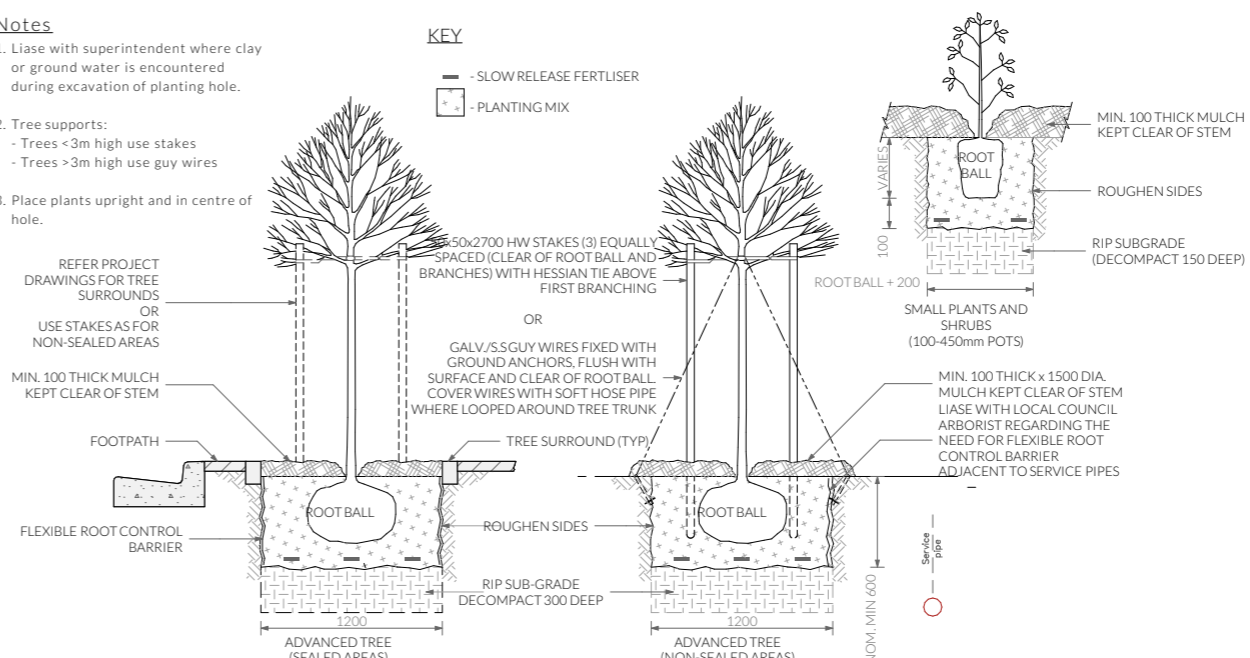
Plants have been selected to be drought tolerant and low maintenance once established, it is recommended that a dripper system or similar be put into place until established. Plant locations are indicative and may be altered where suitable growing conditions cannot be met. Garden areas to be mulched with 75mm cover of selected mulch and plants are to be fertilised 6 monthly or where required until established. Garden edges are to be timber, steel, or brick. Plantings that are unsuccessful will be replaced where required.

Notes

1. Liaise with superintendent where clay or ground water is encountered during excavation of planting hole.
2. Tree supports:
 - Trees < 3m high use stakes
 - Trees > 3m high use guy wires
3. Place plants upright and in centre of hole.

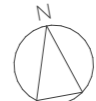

KEY

-  - SLOW RELEASE FERTILISER
-  - PLANTING MIX



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Tree and Shrub Planting

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Plumbing Notes

All plumbing to be in accordance with AS3500, NCC Vol III, Tas Plumbing Code and local authority regulations.

Sewer and stormwater to mains connections, plumber to verify location on site.
(refer to site plan.)

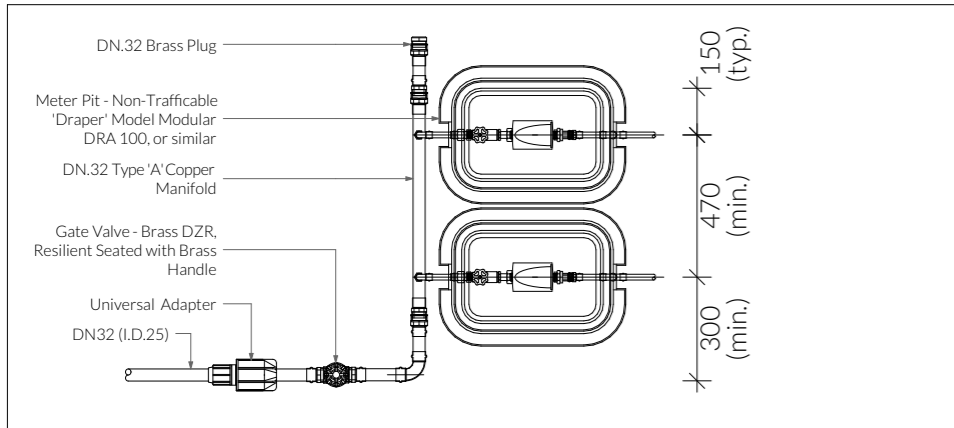
All works are to be in accordance with the water supply code of Australia WSA 03-2011-3.1 version 3.1 MRWA edition v2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA version 2 and TasWater's supplements to these codes.

Minimum gradient on sewer pipes as per AS3500.2.2

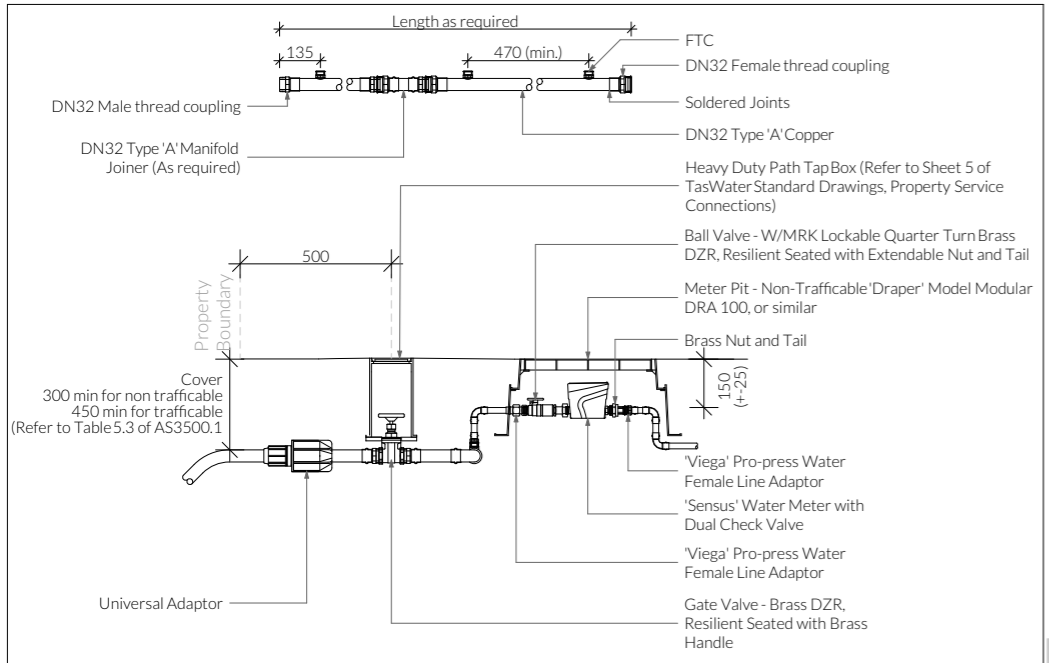
- 65Ø = 1:40 (2.5%)
- 80Ø, 100Ø = 1:60 (1.65%)
- 125Ø = 1:80 (1.25%)
- 150Ø = 1:100 (1.00%)

Note

All driveway pits and grate drains to be **Class B**.
Stormwater pits are indicative. Location may vary depending on site conditions.

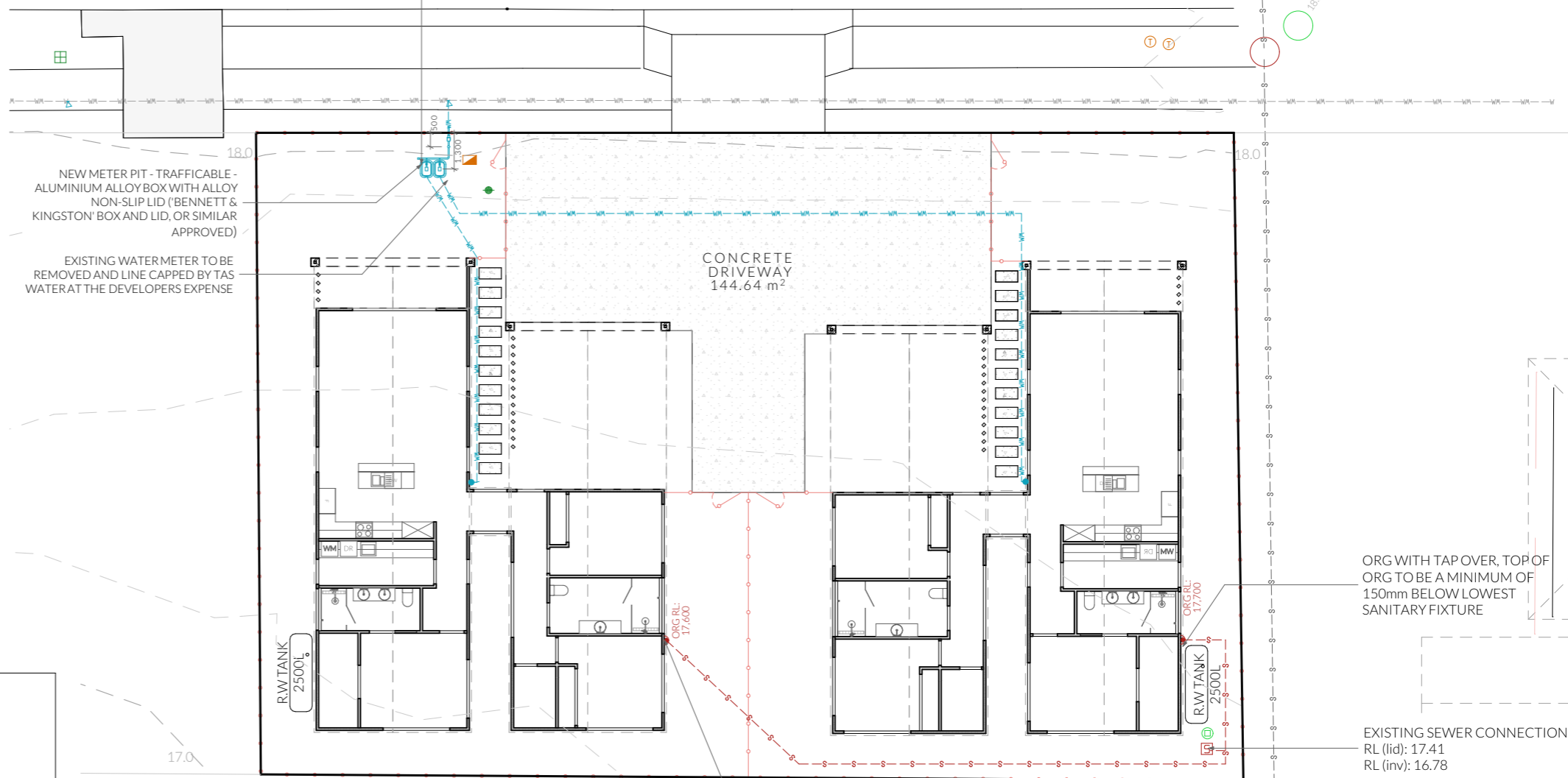


Meter Assembly - Below Ground Plan View



Meter Assembly - Profile View

TRAFFICABLE BOX TO BE SUPPLIED AND INSTALLED BY TASWATER'S CONTRACTOR AT THE DEVELOPER'S COST. BOX AND METER TO BE ADJUSTED TO SUIT FINISHED SURFACE LEVEL BY THE DEVELOPER AT THEIR COST.



NEW METER PIT - TRAFFICABLE - ALUMINIUM ALLOY BOX WITH ALLOY NON-SLIP LID ('BENNETT & KINGSTON' BOX AND LID, OR SIMILAR APPROVED)

EXISTING WATER METER TO BE REMOVED AND LINE CAPPED BY TAS WATER AT THE DEVELOPER'S EXPENSE

CONCRETE DRIVEWAY
144.64 m²

ORG WITH TAP OVER, TOP OF ORG TO BE A MINIMUM OF 150mm BELOW LOWEST SANITARY FIXTURE

EXISTING SEWER CONNECTION
RL (lid): 17.41
RL (inv): 16.78

ORG WITH TAP OVER, TOP OF ORG TO BE A MINIMUM OF 150mm BELOW LOWEST SANITARY FIXTURE

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Development Application: 5.2026.42.1 - Updated Plans - 4 Friendship Drive, Sorell - P4.pdf
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Legend

- WM - Water Line
- S - Sewer Line
- ⊕ - Water Connection
- △ - Water Stop Valve
- ⚡ - Fire Hydrant
- Ⓢ - Sewer Connection

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