

# NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

**SITE:****19 FISHBURN WAY, SORELL****PROPOSED DEVELOPMENT:****DWELLING**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au) until **Monday 27<sup>th</sup> April 2026**.

Any person may make representation in relation to the proposal by letter or electronic mail ([sorell.council@sorell.tas.gov.au](mailto:sorell.council@sorell.tas.gov.au)) addressed to the General Manager. Representations must be received no later than **Monday 27<sup>th</sup> April 2026**.

**APPLICATION NO:** 5.2026-103.1  
**DATE:** 10 APRIL 2026



**Annotations**

- Polygon2
- Polygon1

**Surrounding Properties for PID: 59512 35**

- Property

**Surrounding Properties for PID: 59515 77**

- Property

**Roads**

- DSG Roads
- Council Roads

**Property**

- property
- Titles



**Disclaimer**

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

50 m



**Part B: Please note that Part B of this form is publicly exhibited.**

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>

Design and construction cost of proposal:	\$ .....
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Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address: .....
	Suburb: ..... Postcode: .....
	Certificate of Title(s) Volume: ..... Folio: .....

Current Use of Site	.....
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Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

**If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form**  
<https://www.sorell.tas.gov.au/services/engineering/>



**Sorell Council**  
 Development Application: 5.2026.103.1 -  
 Development Application - 19 Fisburn Way, Sorell  
 - P1.pdf  
 Plans Reference:P1  
 Date Received:1/04/2026

**Part B continued: Please note that Part B of this form is publicly exhibited**


**Declarations and acknowledgements**

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council’s representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the *Land Use Planning and Approvals Act 1993*, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.

*Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council’s Privacy Policy available on the Council website.*

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

- Where the General Manager’s consent is also required under s.14 of the *Urban Drainage Act 2013*, by making this application I/we also apply for that consent.

<b>Applicant Signature:</b>	Signature: .....  ..... Date: .....
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**Crown or General Manager Land Owner Consent**

If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the *Land Use Planning and Approvals Act 1993*).

Please note:

- If General Manager consent is required, please first complete the General Manager consent application form available on our website [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au)
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

I \_\_\_\_\_ being responsible for the administration of land at \_\_\_\_\_

declare that I have given permission for the making of this application for \_\_\_\_\_



<b>Signature of General Manager, Minister or Delegate:</b>	Signature: ..... Date: .....
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SEARCH OF TORRENS TITLE

VOLUME 183294	FOLIO 201
EDITION 1	DATE OF ISSUE 14-July-2022

SEARCH DATE : 05-Jan-2026

SEARCH TIME : 02.47 pm

DESCRIPTION OF LAND

Parish of SORELL Land District of PEMBROKE  
 Town of SORELL  
 Lot 201 on Sealed Plan [183294](#)  
 Derivation : Part of 980 Acres Gtd. to Thomas Villeneuve Jean  
 and Cornelius Driscoll  
 Prior CT [146152/1](#)

SCHEDULE 1

[M807417](#) TRANSFER to LYNMORE HOLDINGS PTY LTD Registered  
 09-Apr-2020 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
[SP183294](#) EASEMENTS in Schedule of Easements  
[SP183294](#) COVENANTS in Schedule of Easements  
[SP183294](#) FENCING PROVISION in Schedule of Easements  
[SP146152](#) FENCING COVENANT in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



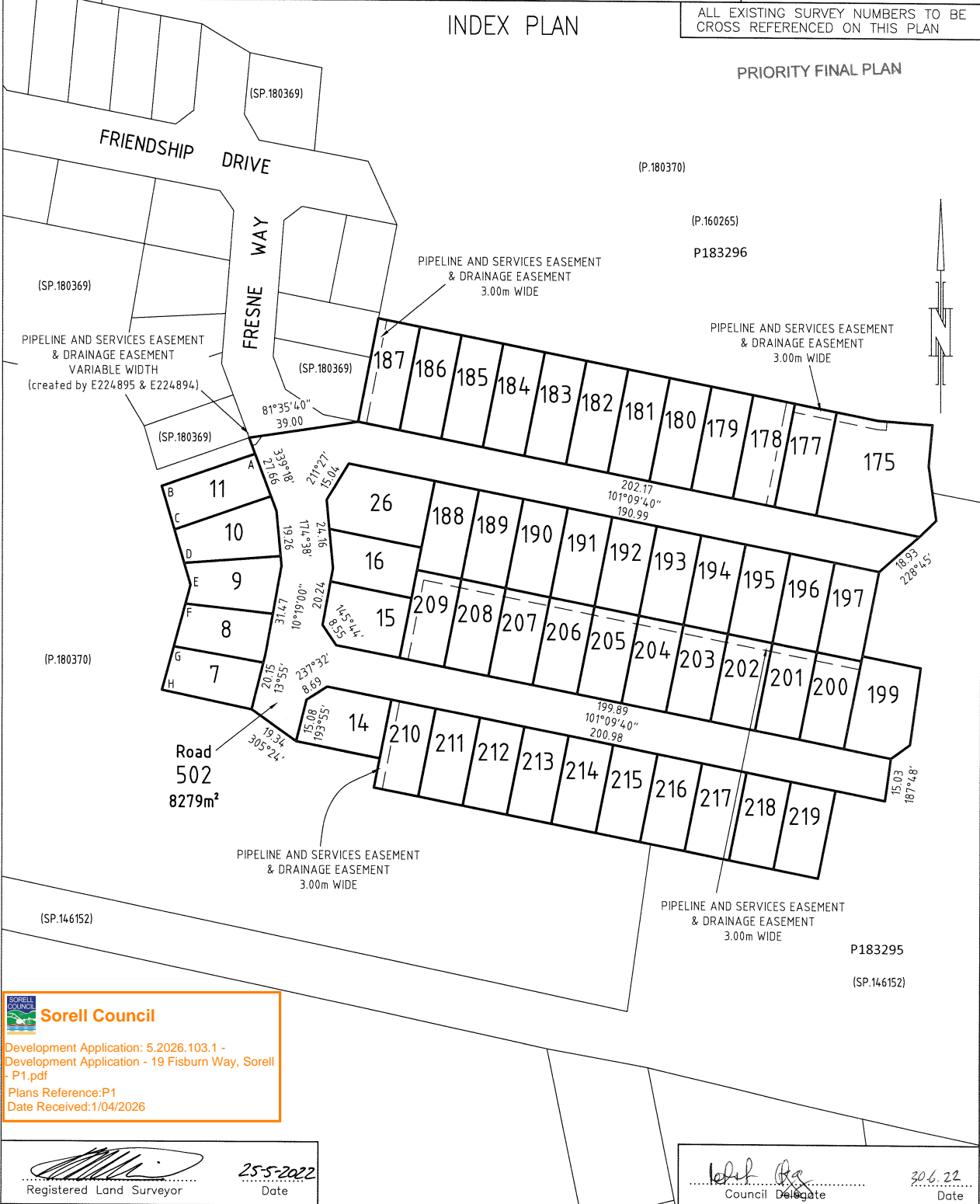
**Sorell Council**

Development Application: 5.2026.103.1 -  
 Development Application - 19 Fisburn Way, Sorell  
 - P1.pdf  
 Plans Reference:P1  
 Date Received:1/04/2026

4 July 2022

OWNER LYNMORE HOLDINGS PTY LTD	<b>PLAN OF SURVEY</b> BY SURVEYOR ANDREW STEPHEN BIRCH <b>ROGERSON AND BIRCH SURVEYORS</b> UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0419-594-966	REGISTERED NUMBER
FOLIO REFERENCE C.T.180370/1 & C.T.146152/1		<b>SP183294</b>
GRANTEE PART OF 980 ACRES GTD TO THOMAS VILLENEUVE JEAN & CORNELIUS DRISCOLL	LAND DISTRICT OF PEMBROKE PARISH OF SORELL TOWN OF SORELL	APPROVED EFFECTIVE FROM <u>14 JUL 2022</u>
SCALE 1: 1250 LENGTHS IN METRES		 Recorder of Titles

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



**Sorell Council**  
 Development Application: 5.2026.103.1 -  
 Development Application - 19 Fishburn Way, Sorell  
 - P1.pdf  
 Plans Reference: P1  
 Date Received: 1/04/2026

Registered Land Surveyor      25-5-2022  
 Date

Council Delegate      30.6.22  
 Date



<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 2 OF 2 SHEETS</p>	<p>OWNER: LYNMORE HOLDINGS PTY LTD</p> <p>FOLIO REFERENCE: C.T.180370/1 &amp; C.T.146152/1</p> <p>SCALE 1:750 LENGTH IN METRES</p>	<p>Registered Number</p> <p><b>SP183294</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 30.6.22 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 25.5.2022 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 14 JUL 2022</p> <p><i>[Signature]</i> Recorder of Titles</p>



**Sorell Council**

Development Application: 5.2026.103.1 -  
Development Application - 19 Fisburn Way, Sorell  
- P1.pdf  
Plans Reference:P1  
Date Received:1/04/2026

<b>SCHEDULE OF EASEMENTS</b>	Registered Number
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP. 183294

PAGE 1 OF 9 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

**EASEMENTS**

Lots 175, 177, 178, 187 and 200 – 210 (inclusive) (“the Lots”) are subject to a PIPELINE AND SERVICES EASEMENT<sup>(as defined herein)</sup> in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00m WIDE shown on the Plan (“the Easement Land”).

Lots 175, 177, 178, 187 and 200 – 210 (inclusive) on the Plan are subject to a Drainage Easement (as defined) in gross in favour of the Sorell Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00m WIDE on the Plan.

~~Lot 502 on the Plan is subject to the easements created by and described in E224895 and E224894 over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT VARIABLE WIDTH (created by E224895 & E224894) on the Plan.~~

**EASEMENTS CONTINUED ON PAGE 9**

**COVENANTS**

The owner of each lot on the Plan (excepting lot 502) covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantors’ lot and every part thereof and that the benefit

\_\_\_\_\_  
Director

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Director

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: LYNMORE HOLDINGS PTY LTD	PLAN SEALED BY: Sorell Council
FOLIO REF: 180370/1 & 146152/1	DATE: 30.6.22
SOLICITOR	7.2020.17.2
& REFERENCE: Page Seager (DAS 201243 – Stages 2 & 3)	REF NO. Council Delegate

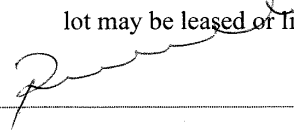
**NOTE:** The Council Delegate must sign the Certificate for the purposes of identification.




<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 2 OF 9 PAGES</p>	<p>Registered Number</p> <p><b>SP.183294</b></p>
<p>SUBDIVIDER: LYNMORE HOLDINGS PTY. LTD.</p> <p>FOLIO REFERENCE: 180370/1 &amp; 146152/1</p>	


thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, any kit home, relocatable dwelling or weatherboard dwelling on such lot.
2. Not without the prior written consent of the Vendor to construct on any such lot which has an area greater than 550 square metres, a dwelling with a liveable floor area of less than 130 square metres, (which area shall not include patios, verandas and carports), except if the dwelling is one of a greater number of multiple dwellings on that lot.
3. Not without the prior written consent of the Vendor to construct on any such lot, a dwelling which may be used other than as a single dwelling.
4. Not to construct any walls of any residential building on such lot from any material except brick, finished rendered surface or masonry without the prior written consent of the Vendor, PROVIDED THAT (subject to the other covenants contained in this Schedule of Easements) the use of timber, non-brick, and James Hardie products, or non-masonry materials not exceeding thirty percent (30%) of the total external wall area is permitted.
5. Not without the prior written consent of the Vendor:
  - (a) to use or allow such lot to be used for any public housing or public rental project or public assistance program;
  - (b) to use or allow such lot to be occupied on any basis which involves any state or federal government rental assistance, rental benefit or rental relief;
  - (c) to use or allow such lot to be occupied on any basis where the owner of such lot does not have the absolute right (subject to the rights of any mortgagee) to determine to whom such lot may be leased or licensed; and

Director 

Director 

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**Sorell Council**

Development Application: 5.2026.103.1 -  
Development Application - 19 Fisburn Way, Sorell  
- P1.pdf  
Plans Reference: P1  
Date Received: 1/04/2026

<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 3 OF 9 PAGES</p>	<p>Registered Number</p> <p><b>SP.183294</b></p>
<p>SUBDIVIDER: LYNMORE HOLDINGS PTY. LTD.</p> <p>FOLIO REFERENCE: 180370/1 &amp; 146152/1</p>	

(d) to use or allow such lot to be used for the purposes of a public road.

6. Not without the prior written consent of the Vendor to construct any dwelling on such lot unless there is a lockable skip of at least 3m<sup>3</sup> capacity placed on such lot during the construction of the dwelling for all rubbish and discarded materials.

7. Lots are not to be used as public roads without the prior written consent of the Vendor.

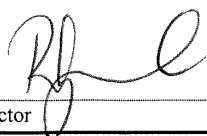
The owners of each lot on the plan (excepting Lot 502) each covenant in gross with the Sorell Council to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof shall be in favour of the said Sorell Council to observe the following stipulations:-

1. Not without the prior written consent of the Sorell Council to construct any building on a lot with a toilet included without at the same time installing one or more rainwater tanks with a combined minimum volume of 5000 litres which must:
  - (a) collect all roof water runoff and be connected to the internal plumbing to provide water for toilet flushing, laundry and on-site garden use; and
  - (b) have a minimum retention storage of 2000 litres and be plumbed into toilets so that re-use occurs, with top-up from the reticulated supply.
2. Domestic water pumps must be fitted with noise suppression measures to the satisfaction of Sorell Council's Manager Engineering & Regulatory Services.

The owner of lot 11 on the Plan covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-




Director



Director

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Development Application: 5.2026.103.1 -  
Development Application - 19 Fisburn Way, Sorell  
- P1.pdf  
Plans Reference:P1  
Date Received:1/04/2026

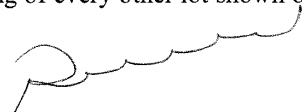
<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 4 OF 9 PAGES</p>	<p>Registered Number</p> <p><b>SP.183294</b></p>
<p>SUBDIVIDER: LYNMORE HOLDINGS PTY. LTD.</p> <p>FOLIO REFERENCE: 180370/1 &amp; 146152/1</p>	

1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, along the lot boundary marked 'A' to 'B' to 'C' on the Plan any boundary fence other than a fence constructed using the following:
  - (a) 1800mm x 50mm x 50mm steel posts, being 2mm thick, with a 'Red Rock' powder-coat finish; and
  - (b) adaptor 'U' channel aluminium with a 'Red Rock' powder-coat finish; and
  - (c) 2.7 metre lengths of horizontal 'Ekodeck' composite decking in the 'Red Rock' colour.

The owner of lot 10 on the Plan covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-


1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, along the lot boundary marked 'C' to 'D' on the Plan any boundary fence other than a fence constructed using the following:
  - (a) 1800mm x 50mm x 50mm steel posts, being 2mm thick, with a 'Red Rock' powder-coat finish; and
  - (b) adaptor 'U' channel aluminium with a 'Red Rock' powder-coat finish; and
  - (c) 2.7 metre lengths of horizontal 'Ekodeck' composite decking in the 'Red Rock' colour.

The owner of lot 9 on the Plan covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run

  
 \_\_\_\_\_  
 Director

  
 \_\_\_\_\_  
 Director

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Development Application: 5.2026.103.1 -  
 Development Application - 19 Fisburn Way, Sorell  
 - P1.pdf  
 Plans Reference: P1  
 Date Received: 1/04/2026


<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 5 OF 9 PAGES</p>	<p>Registered Number</p> <p><b>SP, 183294</b></p>
<p>SUBDIVIDER: LYNMORE HOLDINGS PTY. LTD.</p> <p>FOLIO REFERENCE: 180370/1 &amp; 146152/1</p>	

with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, along the lot boundaries marked 'D' to 'E' to 'F' on the Plan any boundary fence other than a fence constructed using the following:
  - (a) 1800mm x 50mm x 50mm steel posts, being 2mm thick, with a 'Red Rock' powder-coat finish; and
  - (b) adaptor 'U' channel aluminium with a 'Red Rock' powder-coat finish; and
  - (c) 2.7 metre lengths of horizontal 'Ekodeck' composite decking in the 'Red Rock' colour.


The owner of lot 8 on the Plan covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, along the lot boundaries marked 'F' to 'G' on the Plan any boundary fence other than a fence constructed using the following:
  - (a) 1800mm x 50mm x 50mm steel posts, being 2mm thick, with a 'Red Rock' powder-coat finish; and
  - (b) adaptor 'U' channel aluminium with a 'Red Rock' powder-coat finish; and
  - (c) 2.7 metre lengths of horizontal 'Ekodeck' composite decking in the 'Red Rock' colour.

  
Director

  
Director

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Development Application: 5.2026.103.1 -  
Development Application - 19 Fisburn Way, Sorell  
- P1.pdf  
Plans Reference: P1  
Date Received: 1/04/2026

<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 6 OF 9 PAGES</p>	<p>Registered Number</p> <p><b>SP 183294</b></p>
<p>SUBDIVIDER: LYNMORE HOLDINGS PTY. LTD.</p> <p>FOLIO REFERENCE: 180370/1 &amp; 146152/1</p>	

The owner of lot 7 on the Plan covenants with the Vendor (Lynmore Holdings Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

1. Not without the prior written consent of the Vendor to construct, or allow to be constructed, along the lot boundaries marked 'G' to 'H' on the Plan any boundary fence other than a fence constructed using the following:
  - (a) 1800mm x 50mm x 50mm steel posts, being 2mm thick, with a 'Red Rock' powder-coat finish; and
  - (b) adaptor 'U' channel aluminium with a 'Red Rock' powder-coat finish; and
  - (c) 2.7 metre lengths of horizontal 'Ekodeck' composite decking in the 'Red Rock' colour.

**FENCING PROVISION**

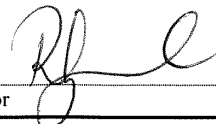
In respect of the Lots shown on the Plan, the Vendor (Lynmore Holdings Pty. Ltd.) shall not be required to fence.

**DEFINITIONS**

"**Drainage Easement**" means a right of drainage (including the right of construction of drains) for Sorell Council with which the right shall be capable of enjoyment for the purpose of carrying away stormwater and other surplus water from any land over or under the land herein indicated as the land over which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Sorell Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-




Director



Director

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Development Application: 5.2026.103.1 -  
Development Application - 19 Fisburn Way, Sorell  
- P1.pdf  
Plans Reference:P1  
Date Received:1/04/2026

<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 7 OF 9 PAGES</p>	<p>Registered Number</p> <p><b>SP. 183294</b></p>
<p>SUBDIVIDER: LYNMORE HOLDINGS PTY. LTD.</p> <p>FOLIO REFERENCE: 180370/1 &amp; 146152/1</p>	

mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

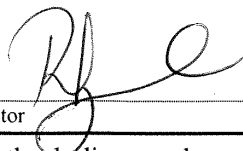
“**Pipeline and Services Easement**” is defined as follows:-

**FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY** for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
  - (d) without doing unnecessary damage to the Easement Land; and
  - (e) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.



Director



Director

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Development Application: 5.2026.103.1 -  
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- P1.pdf  
Plans Reference: P1  
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<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 8 OF 9 PAGES</p>	<p>Registered Number</p> <p><b>SP 183294</b></p>
<p>SUBDIVIDER: LYNMORE HOLDINGS PTY. LTD.</p> <p>FOLIO REFERENCE: 180370/1 &amp; 146152/1</p>	

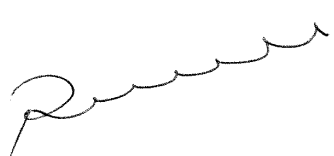
**SECONDLY**, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

“**Infrastructure**” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:


- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

“**TasWater**” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

  
 \_\_\_\_\_  
 Director

  
 \_\_\_\_\_  
 Director

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



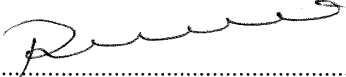
**Sorell Council**

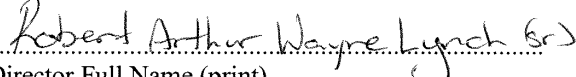
Development Application: 5.2026.103.1 -  
 Development Application - 19 Fisburn Way, Sorell  
 - P1.pdf  
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<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 9 OF 9 PAGES	Registered Number <b>SP 183294</b>
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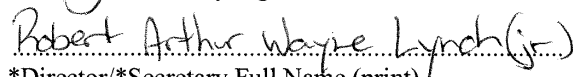
EXECUTED by LYNMORE HOLDINGS PTY. LTD. )  
 (ACN 061 015 129), as registered proprietor of the land )  
 comprised in Folio of the Register Volume 180370 Folio 1 )  
 and Folio of the Register Volume 146152 Folio 1 pursuant )  
 to section 127 of the *Corporations Act 2001* by: )



X   
 Director Signature

  
 Director Full Name (print)

  
 \*Director/\*Secretary Signature

  
 \*Director/\*Secretary Full Name (print)


(\*please strike out inapplicable \*if Sole Director/Secretary write 'Sole')

**EASEMENTS CONTINUED**

Lot 502 on the plan is subject to a Pipeline and Services Easement in favour of Tasmanian Water & Sewerage Corporation Limited over the land marked Pipeline and Services Easement & Drainage Easement variable width on the plan and as created by and more fully set forth in E224894.

Lot 502 on the plan is subject to a Drainage Easement in favour of Sorell Council over the land marked Pipeline and Services Easement & Drainage Easement variable width on the plan and as created by and more fully set forth in E224895.

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



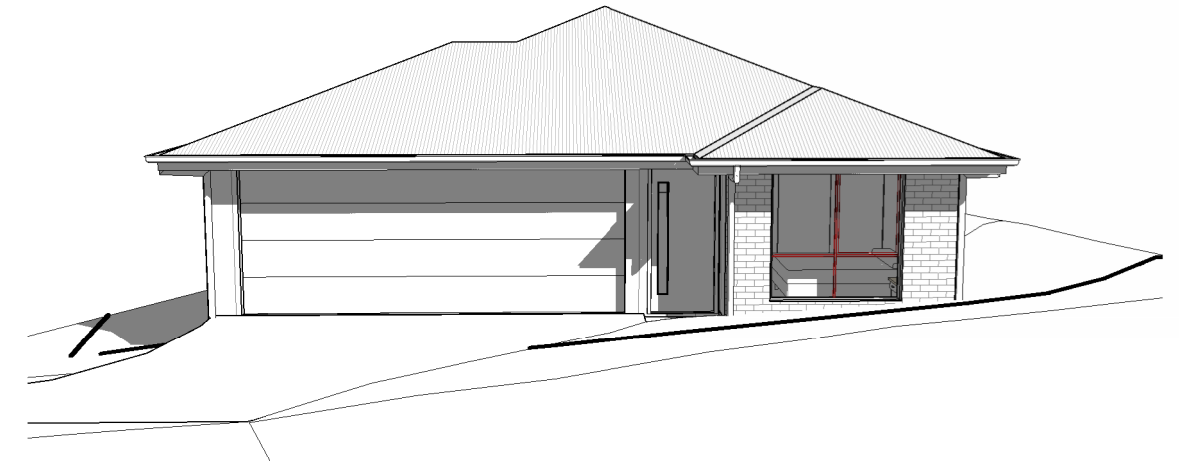
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 - P1.pdf  
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 Date Received:1/04/2026

# PROPOSED NEW RESIDENCE

## LOT 201, 19 FISHBURN WAY,

### SORELL

### KNEST



PD26097

#### BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	LOCALITY PLAN
04	FLOOR PLAN
05	DOOR AND WINDOW SCHEDULES
06	ELEVATIONS
07	ELEVATIONS
08	ROOF PLAN
09	PERSPECTIVES

FLOOR AREA	145.24 m2	( 15.63 SQUARES )
PORCH AREA	0.76 m2	( 0.08 SQUARES )
DECK AREA	5.66 m2	( 0.61 SQUARES )
TOTAL AREA	151.67 m2	16.33 SQUARES

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**  
 ALL CONSTRUCTION MUST COMPLY WITH AS3959.  
 THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

#### GENERAL PROJECT INFORMATION

TITLE REFERENCE: 201/183294  
 SITE AREA: 504m<sup>2</sup>  
 DESIGN WIND SPEED: N3  
 SOIL CLASSIFICATION: S  
 CLIMATE ZONE: 7  
 ALPINE AREA: NO  
 CORROSIVE ENVIRONMENT: N/A  
 BAL RATING: TBC  
 OTHER KNOWN HAZARDS:  
 AIRPORT OBSTACLE LIMITATION AREA,  
 AIRPORT NOISE EXPOSURE AREA

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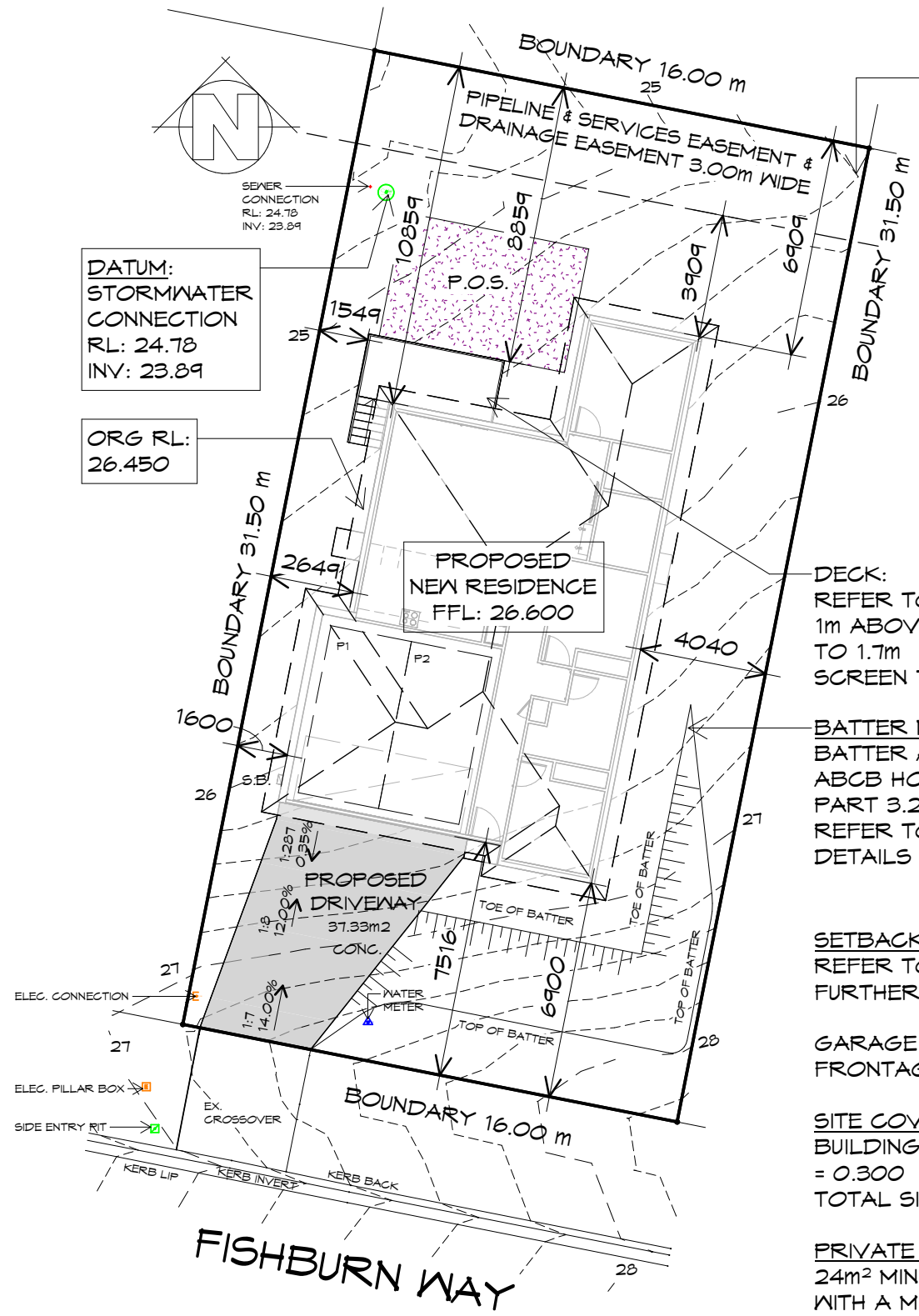
info@primedesigntas.com.au  
 Accredited Building Practitioner: Frank Geskus -No CC246A

**bdaa**  
 BUILDING DESIGNERS  
 ASSOCIATION OF AUSTRALIA

REV. DATE DESCRIPTION

MARCH 2026  
 PLANNING





TITLE REF: 183924/201  
 LOT SIZE: 504m<sup>2</sup>

DATUM:  
 STORMWATER CONNECTION  
 RL: 24.78  
 INV: 23.89

ORG RL:  
 26.450

DECK:  
 REFER TO SITE PLAN FOR SETBACK, DECK IS 1m ABOVE E.S.L. AND DOES REQUIRE A SCREEN TO 1.7m  
 SCREEN TO WINDOWS: **W5 & W6**

BATTER NOTE  
 BATTER AS PER ABCB HOUSING PROVISIONS PART 3.2.1.  
 REFER TO STANDARD DETAILS TABLE

SETBACKS  
 REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER DETAILS.

GARAGE IS LOCATED WITHIN 12m OF THE PRIMARY FRONTAGE, OPENING WIDTH IS 5.4m

SITE COVERAGE  
 BUILDING FOOTPRINT 151.67 / SITE AREA 504.00 = 0.300  
 TOTAL SITE COVERAGE 30%

PRIVATE OPEN SPACE  
 24m<sup>2</sup> MINIMUM,  
 WITH A MINIMUM DIMENSION OF 4m  
 GRADIENT NO STEEPER THAN 1:10

**GENERAL NOTES**

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.
- DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

SURVEY NOTES:  
 IMPORTANT NOTE:

THIS PLAN HAS BEEN PREPARED FOR KNEST FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

UNDERGROUND SERVICES HAVE NOT BEEN LOCATED.

THE RELEVANT AUTHORITIES SHOULD BE CONTACTED REGARDING THE LOCATION OF UNDERGROUND UTILITIES (TELSTRA, WATER MAINS, SEWER, DRAINAGE, GAS) WHICH REQUIRE VERIFICATION ON SITE BEFORE CONSTRUCTION.

THIS DATA IS ON A PLANE COORDINATE SYSTEM -

DISTANCES ARE WHAT WOULD BE MEASURED ON THE GROUND USING A TAPE MEASURE. THE COORDINATES HAVE AN MGA ORIGIN AT SPM9921 (E:546293.375 N:5263639.798 RL: 20.614)  
 THE COMBINED SCALE FACTOR (CSF) TO BE APPLIED TO CONVERT TO MGA COORDINATE SYSTEM IS 0.99962312 USING SPM9921 AS THE SCALE ORIGIN POINT.

SURVEY DATUM: PLANE MGA2020  
 ON SPM9921  
 CONTOUR INTERVAL: 200mm  
 DATUM: PLANE MGA2020 BASED ON SPM9921

DRIVEWAY GRADIENT  
 MAXIMUM GRADIENT 1:4 (25%)  
 TO AS 2890

CAR PARKING GRADIENT  
 PARALLEL TO PARKING ANGLE 1:20 (5%)  
 CROSSFALL 1:16 (6.25%)

**SITE PLAN**

1 : 200

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - BAL LOW  
 ALL CONSTRUCTION MUST COMPLY WITH AS3959.  
 THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

**Sorell Council**  
 Development Application: 5.2026.103.1 -  
 Development Application - 19 Fishburn Way, Sorell - P1.pdf  
 Plans Reference:P1  
 Date Received:1/04/2026



REV. DATE DESCRIPTION

Client name:  
 KNEST

**PLANNING**  
 NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
 PROPOSED NEW RESIDENCE  
 LOT 201, 19 FISHBURN WAY,  
 SORELL

Drawing:  
 SITE PLAN



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





Date: 23.03.2026  
 Drafted by: I.J.  
 Approved by: A.J.C.

Project/Drawing no: PD26097 - 01  
 Scale: 1 : 200  
 Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A  
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# LEGEND

-  450X 450 SURFACE DRAINAGE PIT
-  NET AREAS
-  150mm PROPRIETARY GRATED TRENCH
-  SEWER LINE
-  STORMWATER LINE
-  100φ AG DRAIN

## PLUMBING NOTES:

- ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
- ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENSED TRADESMAN ONLY.
- PITS:** ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
- ORGS:** OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
- S/W:** STORMWATER PIPES TO BE SIZED PER AS/NZS 3500.2021 PART 3
- VENTS:** DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2

TRENCH BACKFILL PER SITE CLASS TO COMPLY WITH AS2870 PART 5.6.3

SOIL CLASS	BACKFILL MATERIAL
A-S	CRUSHED DRAINAGE ROCK
M-E	COMPACTED CLAY

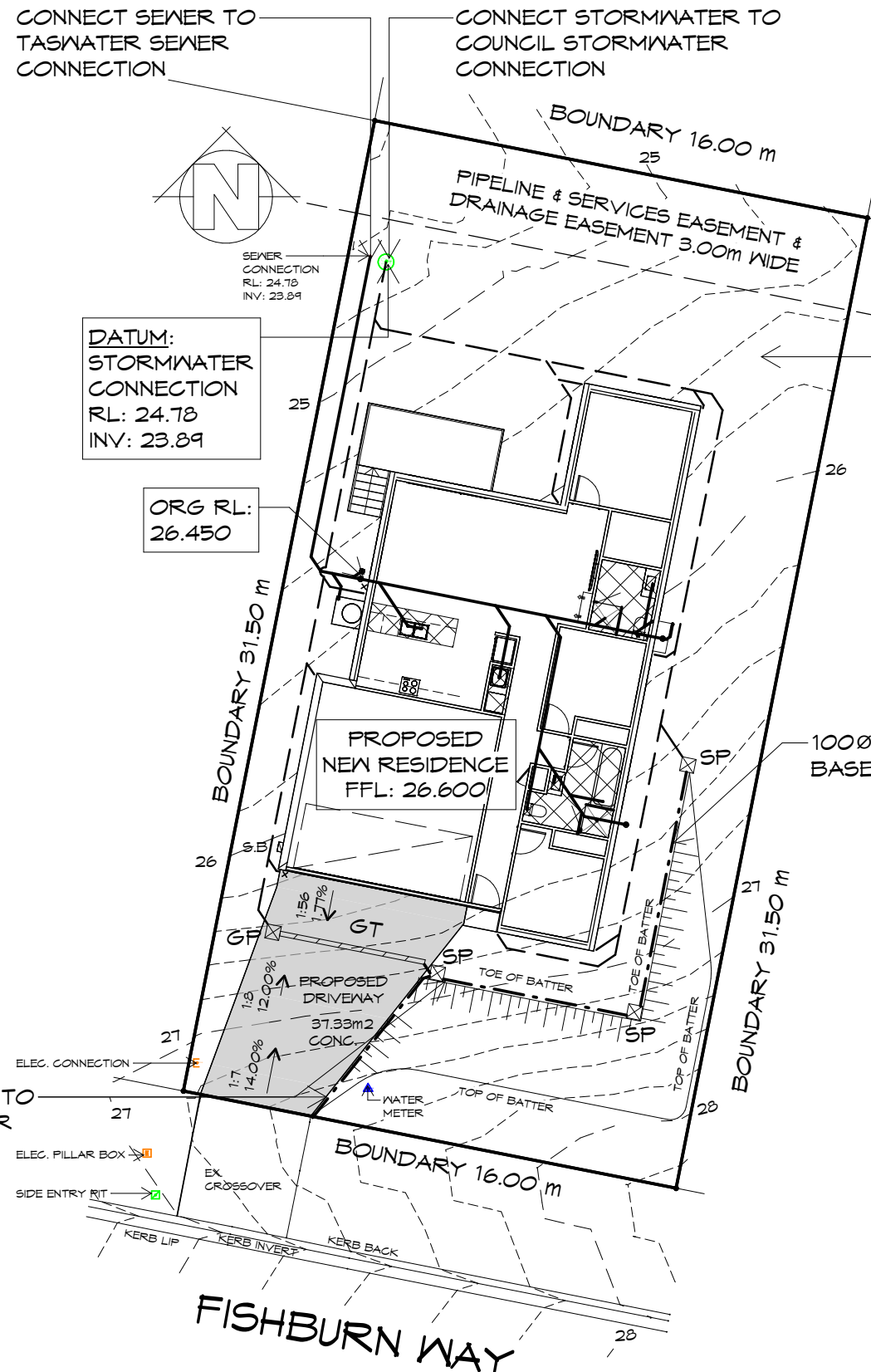
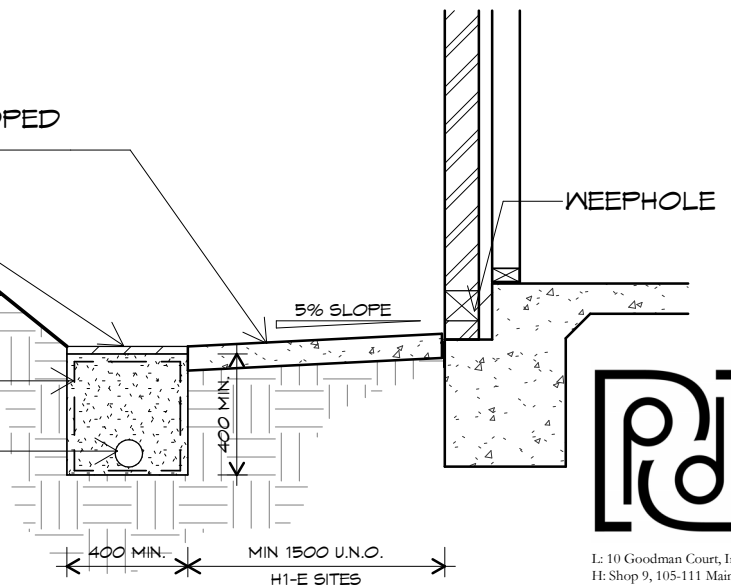
IMPERVIOUS SURFACE SLOPED AWAY FROM BUILDING

TRENCH BACKFILL PER TABLE

EMBANKMENT

GEOTEXTILE FILTER

AG DRAIN @ MIN. 1% GRADIENT



# SITE DRAINAGE PLAN

1 : 200

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Client name:  
KNEST

# PLANNING

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Project:  
PROPOSED NEW RESIDENCE  
LOT 201, 19 FISHBURN WAY,  
SORELL

Drawing:  
SITE DRAINAGE PLAN

Date: 23.03.2026  
 Drafted by: I.J.  
 Approved by: A.J.C.

Project/Drawing no: PD26097 - 02  
 Scale: As indicated  
 Revision: 01

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PROPOSED NEW RESIDENCE  
LOT 201, 19 FISHBURN WAY,  
SORELL

## LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND **REQUIRES** A BUSHFIRE ASSESSMENT.  
RESIDENCE IS OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

**REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGMENT PLAN**

THIS PROJECT HAS BEEN DETERMINED TO HAVE A  
BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**  
ALL CONSTRUCTION MUST COMPLY WITH A53959.  
THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

**Sorell Council**  
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Plans Reference:P1  
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REV.	DATE	DESCRIPTION

Client name:  
KNEST

**PLANNING**  
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LOT 201, 19 FISHBURN WAY,  
SORELL

Drawing:  
LOCALITY PLAN



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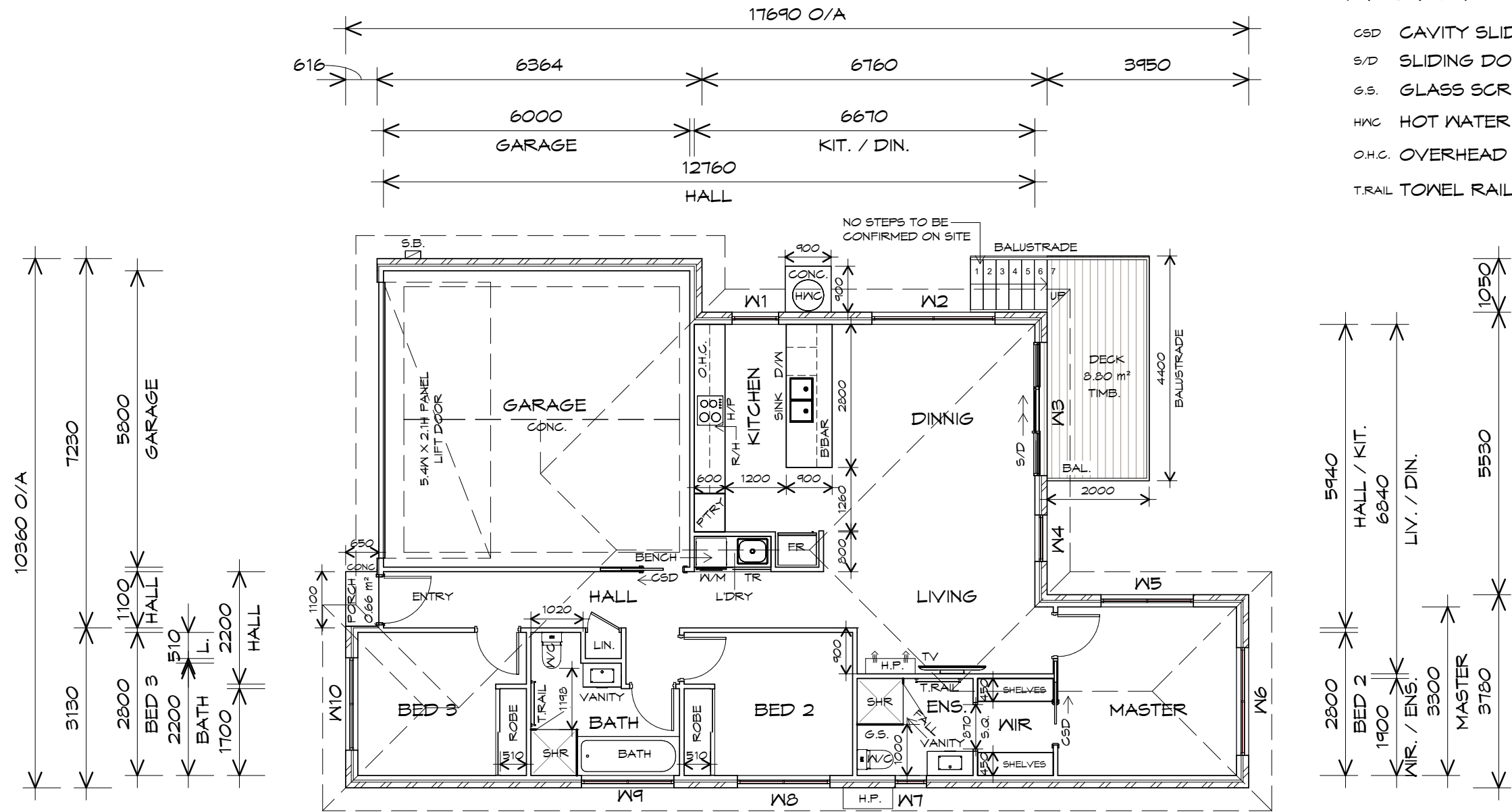
Date:	Drafted by:	Approved by:
23.03.2026	I.J.	A.J.C.

Project/Drawing no:	Scale:	Revision:
PD26097 - 03	1 : 2000	01

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# LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- O.H.C. OVERHEAD CUPBOARD
- T.RAIL TOWEL RAIL



## FLOOR PLAN

1 : 100

FLOOR AREA	145.24 m <sup>2</sup>	( 15.63 SQUARES )
PORCH AREA	0.76 m <sup>2</sup>	( 0.08 SQUARES )
DECK AREA	5.66 m <sup>2</sup>	( 0.61 SQUARES )
TOTAL AREA	151.67 m <sup>2</sup>	16.33 SQUARES

**NOTE:**  
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING

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THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

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REV.	DATE	DESCRIPTION
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Client name:  
KNEST

Project:  
PROPOSED NEW RESIDENCE  
LOT 201, 19 FISHBURN WAY,  
SORELL

Date: 23.03.2026  
Drafted by: I.J.  
Approved by: A.J.C.

**PLANNING**

Drawing:  
FLOOR PLAN

Project/Drawing no: PD26097 - 04  
Scale: 1 : 100  
Revision: 01

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DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL ENTRY DOOR	
2	820	CAVITY SLIDING DOOR	
3	820	EXTERNAL SOLID DOOR	
4	820	CAVITY SLIDING DOOR	
5	820	EXTERNAL SOLID DOOR	
6	820	EXTERNAL SOLID DOOR	
7	820	EXTERNAL SOLID DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	910	AWNING WINDOW	
W2	1800	2410	AWNING WINDOW	
W3	2100	2610	SLIDING DOOR	
W4	1800	910	AWNING WINDOW	
W5	1800	1810	AWNING WINDOW	SCREEN TO 1.7m ABOVE FFL
W6	1800	2110	AWNING WINDOW	SCREEN TO 1.7m ABOVE FFL
W7	900	610	AWNING WINDOW	OPAQUE
W8	600	1810	AWNING WINDOW	
W9	600	1810	AWNING WINDOW	OPAQUE
W10	1800	1810	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING COMPLETE**  
 WITH FLY SCREENS TO SUIT **BAL LOW RATING**.  
 ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
 PRIOR TO ORDERING



REV.	DATE	DESCRIPTION

Client name:  
KNEST

**PLANNING**  
 NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED NEW RESIDENCE  
 LOT 201, 19 FISHBURN WAY,  
 SORELL

Drawing:  
DOOR AND WINDOW SCHEDULES

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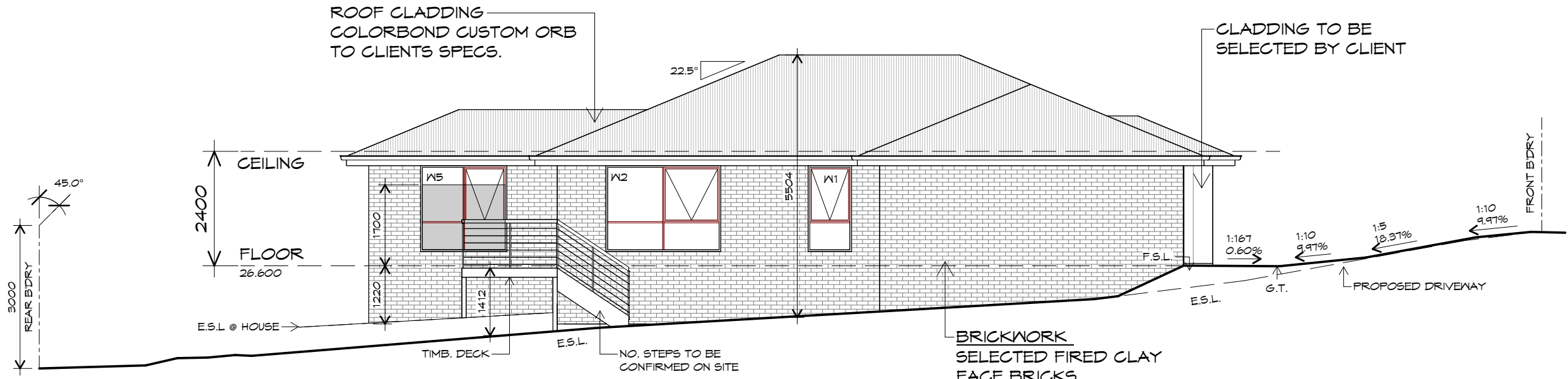


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23.03.2026	I.J.	A.J.C.

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PD26097 - 05		01

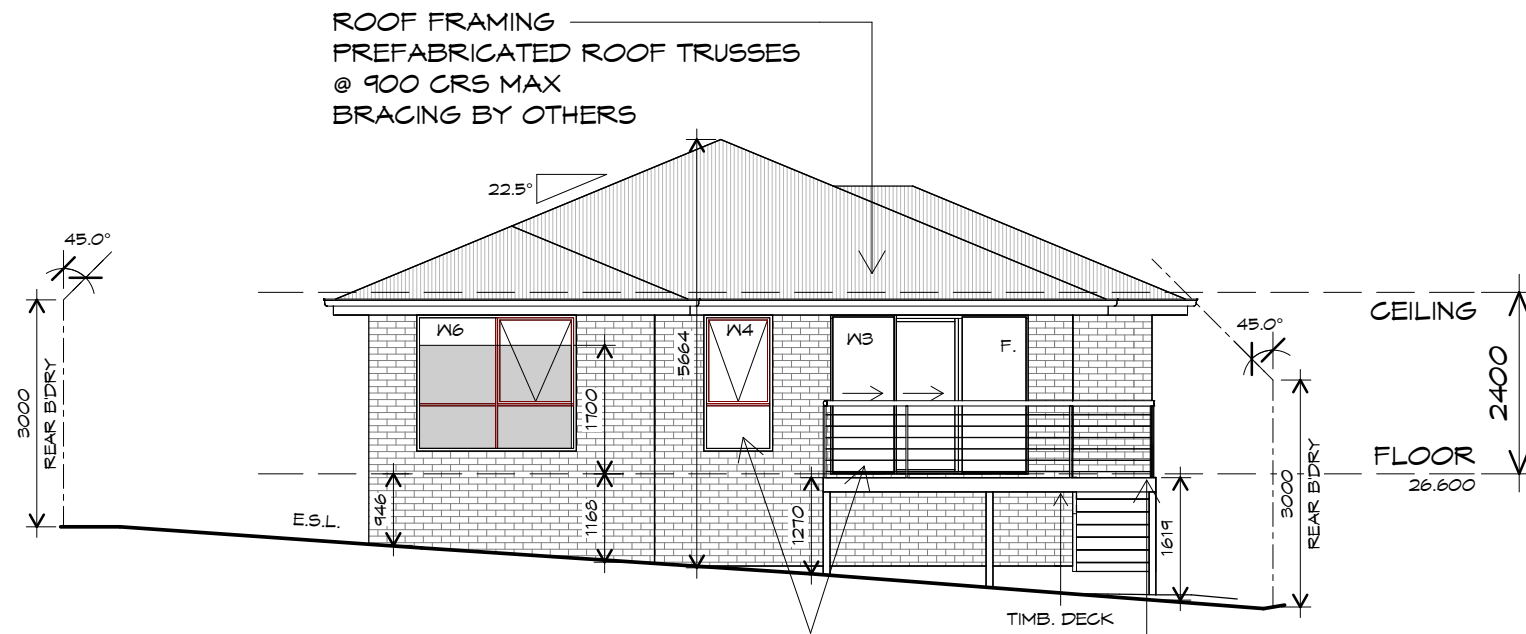
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## WESTERN ELEVATION

1 : 100

**BRICKWORK**  
 SELECTED FIRED CLAY  
 FACE BRICKS.  
 RAKED JOINTS, STRETCHER BOND  
 REFER ENGINEER FOR  
 ARTICULATION JOINTS  
 ALL MASONRY TO COMPLY  
 WITH ABCB HOUSING PROVISIONS PART 5



## NORTHERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE  
 SEALED IN ACCORDANCE WITH  
 ABCB HOUSING PROVISIONS PART 13.4

DECK:  
 REFER TO SITE PLAN FOR SETBACK, DECK IS  
 1m ABOVE E.S.L. AND DOES NOT REQUIRE A  
 SCREEN TO 1.7m

THIS PROJECT HAS BEEN DETERMINED TO HAVE A  
 BUSHFIRE ATTACK LEVEL (BAL) OF - BAL LOW  
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REV.	DATE	DESCRIPTION
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Client name:  
 KNEST

Project:  
 PROPOSED NEW RESIDENCE  
 LOT 201, 19 FISHBURN WAY,  
 SORELL

Drawing:  
 ELEVATIONS

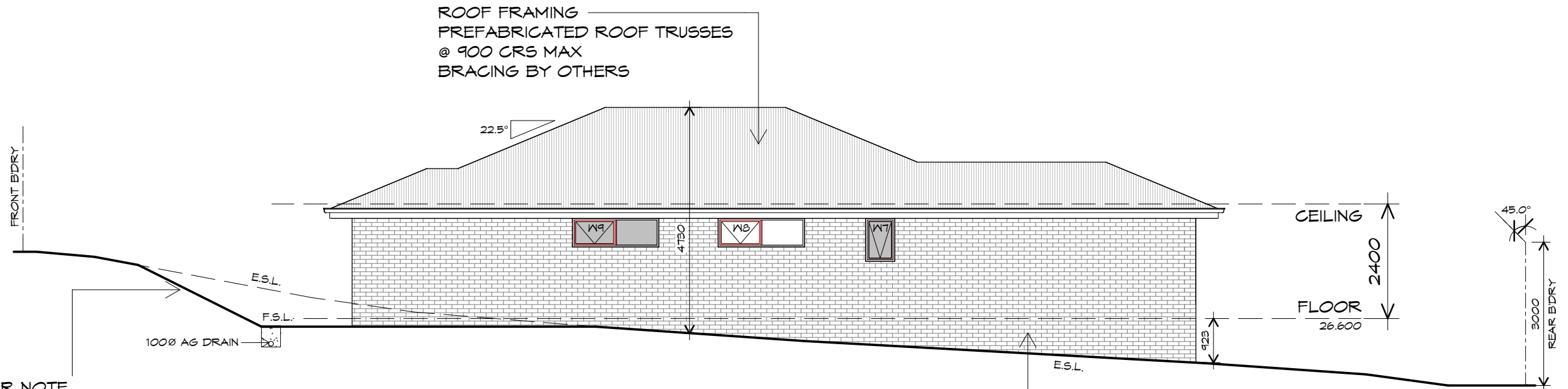
Date:	Drafted by:	Approved by:
23.03.2026	I.J.	A.J.C.

Project/Drawing no:	Scale:	Revision:
PD26097 - 06	1 : 100	01

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**PLANNING**

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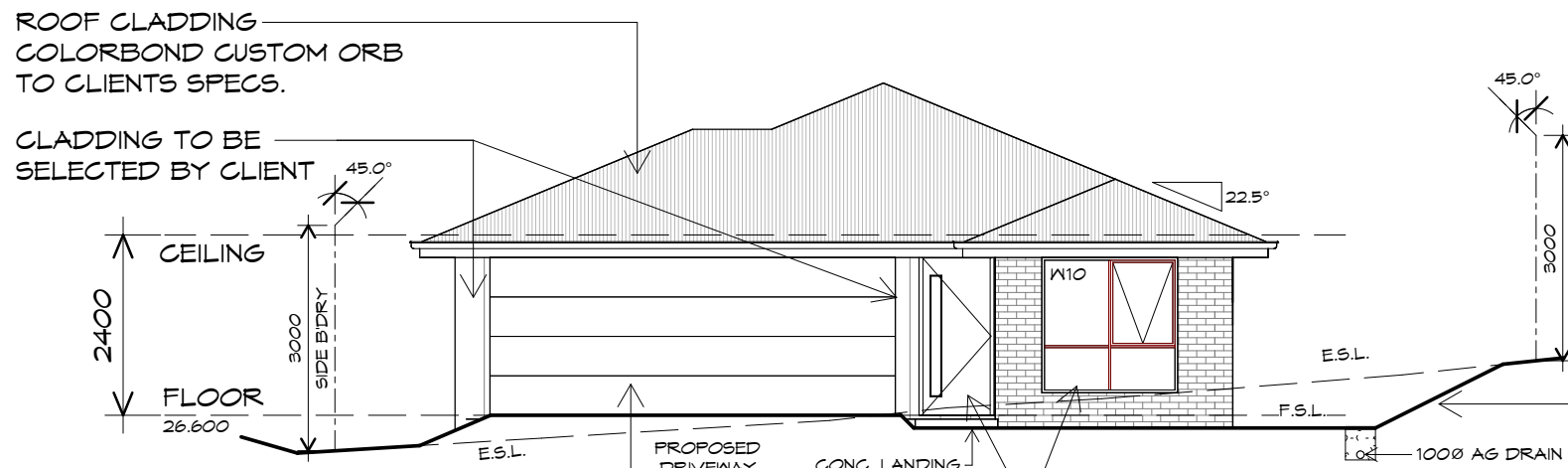


**BATTER NOTE**  
 BATTER AS PER  
 ABCB HOUSING PROVISIONS  
 PART 3.2.1.  
 REFER TO STANDARD  
 DETAILS TABLE

## EASTERN ELEVATION

1 : 100

**BRICKWORK**  
 SELECTED FIRED CLAY  
 FACE BRICKS.  
 RAKED JOINTS, STRETCHER BOND  
 REFER ENGINEER FOR  
 ARTICULATION JOINTS  
 ALL MASONRY TO COMPLY  
 WITH ABCB HOUSING PROVISIONS PART 5



**ROOF CLADDING**  
 COLORBOND CUSTOM ORB  
 TO CLIENTS SPECS.

**CLADDING TO BE**  
 SELECTED BY CLIENT

PANEL LIFT DOOR 5400 WIDE x 2100  
 HIGH CLADDING PANELS TO CLIENTS  
 SPEC FIXED IN ACCORDANCE WITH  
 MANUFACTURERS SPEC

DOORS AND WINDOWS TO BE  
 SEALED IN ACCORDANCE WITH  
 ABCB HOUSING PROVISIONS PART 13.4

**BATTER NOTE**  
 BATTER AS PER  
 ABCB HOUSING PROVISIONS  
 PART 3.2.1.  
 REFER TO STANDARD  
 DETAILS TABLE

## SOUTHERN ELEVATION

1 : 100

THIS PROJECT HAS BEEN DETERMINED TO HAVE A  
 BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**  
 ALL CONSTRUCTION MUST COMPLY WITH AS3959.  
 THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

**Sorell Council**  
 Development Application: 5.2026.103.1 -  
 Development Application - 19 Fishburn Way, Sorell  
 - P1.pdf  
 Plans Reference:P1  
 Date Received:1/04/2026

**Prime Design**

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REV. DATE DESCRIPTION

Client name:  
 KNEST

Project:  
 PROPOSED NEW RESIDENCE  
 LOT 201, 19 FISHBURN WAY,  
 SORELL

Date: 23.03.2026  
 Drafted by: I.J.  
 Approved by: A.J.C.

Project/Drawing no: PD26097 - 07  
 Scale: 1 : 100  
 Revision: 01

**PLANNING**

NOTE: DO NOT SCALE OFF DRAWINGS

Drawing:  
 ELEVATIONS

Accredited building practitioner: Frank Geskus -No CC246A  
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ROOF PLUMBING NOTES:

GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.4 WITH FALL NO LESS THAN 1:500 FOR EAVES GUTTER BOX GUTTERS IN ACCORDANCE WITH A533500.3:2021

UNLESS FIXED TO METAL FASCIA EAVES GUTTER TO BE FIXED @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

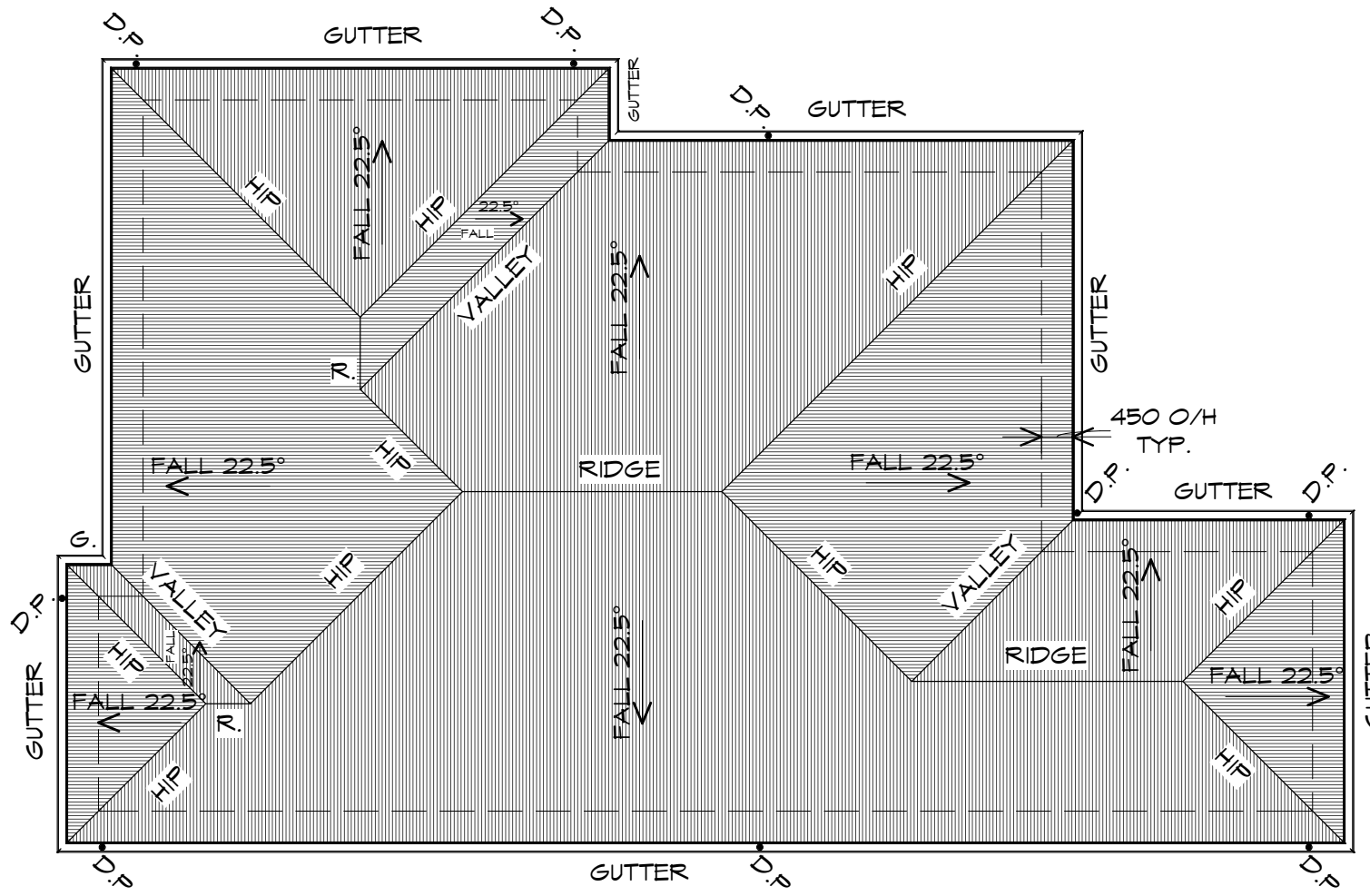
- A) MORE THAN 12.5° DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400mm AND ROOF OVERHANG OF NOT LESS THAN 150mm EACH SIDE OF VALLEY GUTTER.
- B) LESS THAN 12.5° DEGREES, MUST BE DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY. EXACT LOCATION & NUMBER OF D.P'S REQUIRED ARE TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.5 REQUIREMENTS. SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12m & LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE CORROSION PROTECTION FOR SHEET ROOFING, REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT ROOFING MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE, FASTENER FREQUENCY FOR TRANVERSE FLASHINGS AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING DETAILS REFER TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS. REFER TO TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN 35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



**ROOF PLAN**

1 : 100

ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**  
ALL CONSTRUCTION MUST COMPLY WITH A53959.  
THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

**Sorell Council**  
Development Application: 5.2026.103.1 -  
Development Application - 19 Fishburn Way, Sorell  
- P1.pdf  
Plans Reference:P1  
Date Received:1/04/2026

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REV. DATE DESCRIPTION

Client name:  
KNEST

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
PROPOSED NEW RESIDENCE  
LOT 201, 19 FISHBURN WAY,  
SORELL

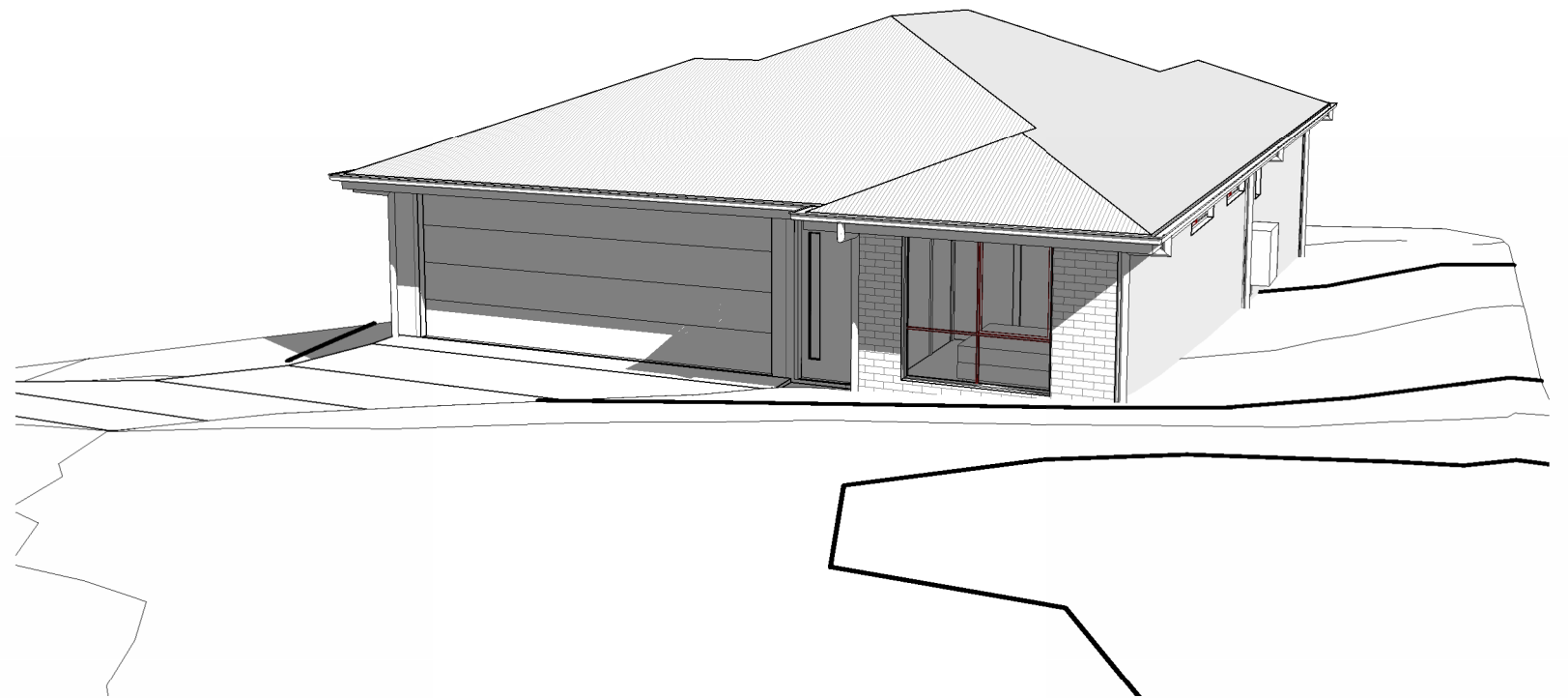
Drawing:  
ROOF PLAN

Date: 23.03.2026  
Drafted by: I.J.  
Approved by: A.J.C.

Project/Drawing no: PD26097 - 08  
Scale: 1 : 100  
Revision: 01

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REV. DATE	DESCRIPTION
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Client name:  
KNEST

**PLANNING**  
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Project:  
PROPOSED NEW RESIDENCE  
LOT 201, 19 FISHBURN WAY,  
SORELL

Drawing:  
PERSPECTIVES

 **Sorell Council**  
Development Application: 5.2026.103.1 -  
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Date: 23.03.2026	Drafted by: I.J.	Approved by: A.J.C.
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Project/Drawing no: PD26097 - 09	Scale:	Revision: 01
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