

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE:

83 CARLTON BEACH ROAD, DODGES FERRY

PROPOSED DEVELOPMENT:

RETROSPECTIVE - OUTBUILDING

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 7th September 2026**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received no later than **Monday 7th September 2026**.

APPLICATION NO: 5.2026.270.1
DATE: 21 August 2026



Disclaimer

Any information extracted from this document (from the face of the document or by scale) should be verified on site. Council takes no responsibility for the accuracy of any information contained or presented in the document. While every care has been taken to ensure the accuracy of this information, Council makes no representations or warranties about the accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and liability.

50 m



Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use: <u>SHEP</u>
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal:	\$ <u>20,000.00</u>

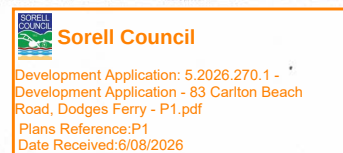
Is all, or some the work already constructed:	No: ☐ Yes: ☒
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Location of proposed works:	Street address: <u>83 carlton beach rd</u>
	Suburb: <u>Dodges Ferry</u> Postcode: <u>7173</u>
	Certificate of Title(s) Volume: <u>243270</u> Folio: <u>1</u>

Current Use of Site	<u>Pwelling</u>
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Current Owner/s:	Name(s) <u>Tess Spaulding</u>
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Is the Property on the Tasmanian Heritage Register?	No: ☒ Yes: ☐	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: ☒ Yes: ☐	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: ☒ Yes: ☐	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: ☒ Yes: ☐	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: ☒ Yes: ☐	<i>If yes, please complete the Council or Crown land section on page 3</i>
If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form https://www.sorell.tas.gov.au/services/engineering/		



Declarations and acknowledgements

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the *Land Use Planning and Approvals Act 1993*, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.

Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.
- Where the General Manager's consent is also required under s.14 of the *Urban Drainage Act 2013*, by making this application I/we also apply for that consent.

Applicant Signature:

Signature: *[Signature]* Date: 5/8/26

Crown or General Manager Land Owner Consent

If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the *Land Use Planning and Approvals Act 1993*).

Please note:

- If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

I _____ being responsible for the
administration of land at _____

declare that I have given permission for the making of this application for



**Signature of General Manager,
Minister or Delegate:**

Signature: _____ Date: _____

SEARCH OF TORRENS TITLE

VOLUME 243270	FOLIO 1
EDITION 8	DATE OF ISSUE 20-Dec-2025



SEARCH DATE : 12-Aug-2026

SEARCH TIME : 04.19 pm

DESCRIPTION OF LAND

Parish of FORCETT, Land District of PEMBROKE

Lot 1 on Plan [243270](#)

Derivation : Part of 547A-0R-0Ps Gtd to T.Macdowell

Prior CT [2145/44](#)SCHEDULE 1

[N290292](#) TRANSFER to TESS COURTNEY SPAULDING Registered
20-Dec-2025 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SUBJECT TO a right of footway (appurtenant to the land show by
hatched lines on D [80000](#)) over the strip of land
marked A.B.C.D. on D [80000](#)

[A117021](#) FENCING CONDITION in Transfer

[E438990](#) MORTGAGE to National Australia Bank Limited
Registered 20-Dec-2025 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 243270	FOLIO 1
EDITION 5	DATE OF ISSUE 08-Nov-2016

SEARCH DATE : 09-Oct-2019

SEARCH TIME : 11.07 AM

DESCRIPTION OF LAND

Parish of FORCETT, Land District of PEMBROKE
 Lot 1 on Plan 243270
 Derivation : Part of 547A-0R-0Ps Gtd to T.Macdowell
 Prior CT 2145/44

SCHEDULE 1

M598448 TRANSFER to ROHAN JAMES SPAULDING Registered
 08-Nov-2016 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SUBJECT TO a right of footway (appurtenant to the land show by
 hatched lines on D 80000) over the strip of land
 marked A.B.C.D. on D 80000
 A117021 FENCING CONDITION in Transfer
 E69507 MORTGAGE to Commonwealth Bank of Australia
 Registered 08-Nov-2016 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

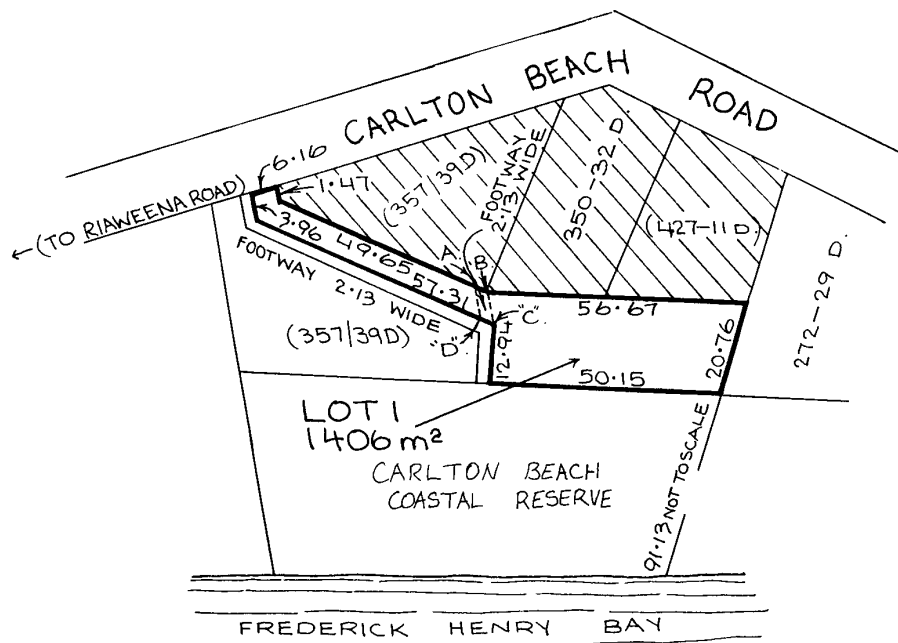
No unregistered dealings or other notations

Certified Likely Compliance

Michael Westcott 5/5/2026

OWNER		PLAN OF TITLE		Registered Number
FOLIO REFERENCE CT 2145/44		LOCATION PEMBROKE / FORCETT		P.243270
GRANTEE		FIRST SURVEY PLAN No. (357/39D)		11 SEP 1996
		COMPILED BY L.T.O		APPROVED 
		SCALE 1: 1000		Recorder of Titles
LENGTHS IN METRES				
MAPSHEET MUNICIPAL CODE No. 124	LAST UPI No 2920492	LAST PLAN No.	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

BALANCE PLAN



Certified Likely Compliance



Michael Westcott 5/5/2026

 **Sorell Council**
Development Application: 5.2026.270.1 -
Development Application - 83 Carlton Beach
Road, Dodges Ferry - P1.pdf
Plans Reference: P1
Date Received: 6/08/2026

A-143

BS

Construction and materials in accordance with current
NCC requirements and all relevant Australian
Standards - See General Notes
Construction in accordance with AS3959 = BAL 29

New Building Area Schedule
(GFA)

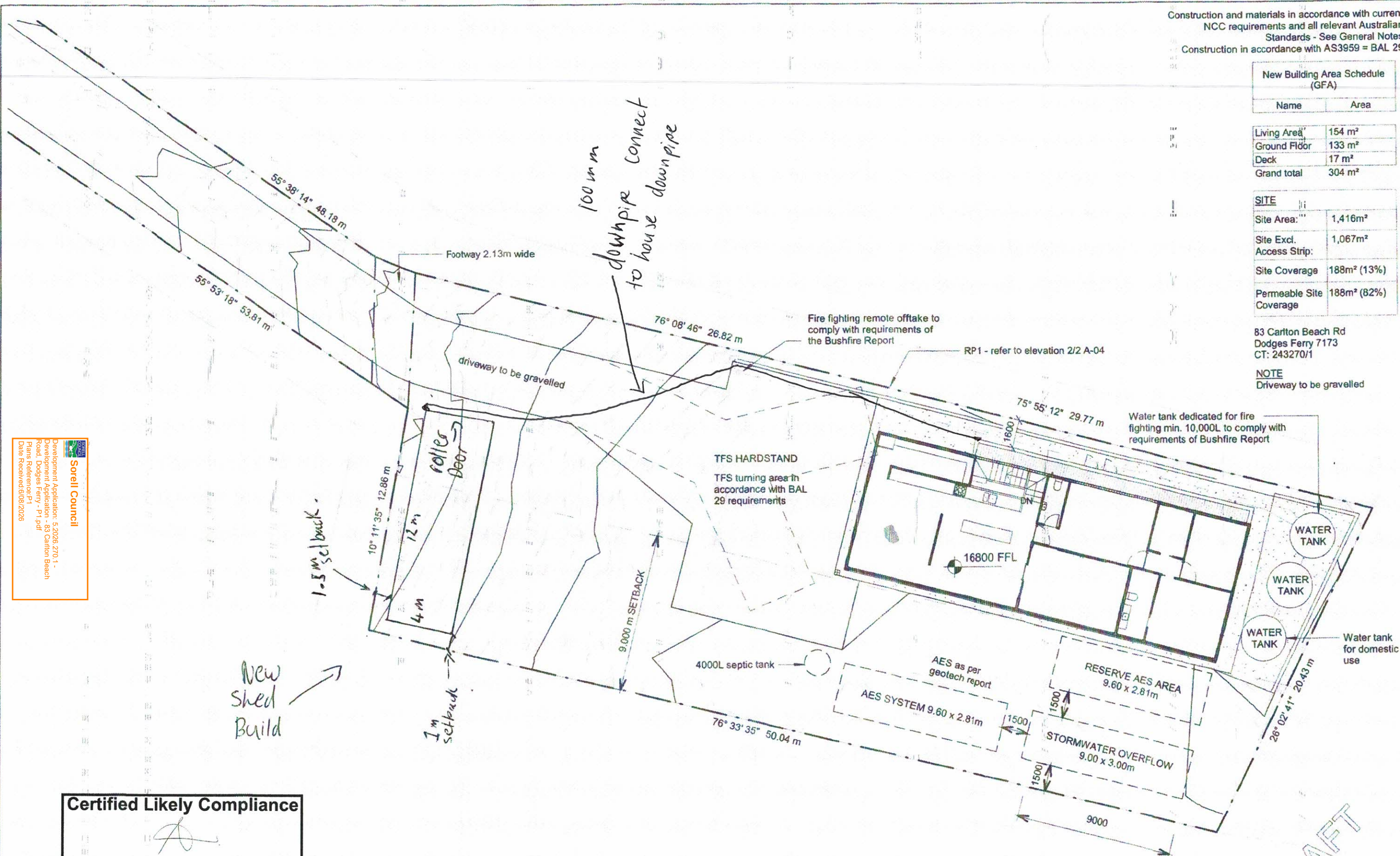
Name	Area
------	------

Living Area	154 m ²
Ground Floor	133 m ²
Deck	17 m ²
Grand total	304 m ²

SITE	
Site Area:	1,416m ²
Site Excl. Access Strip:	1,067m ²
Site Coverage	188m ² (13%)
Permeable Site Coverage	188m ² (82%)

83 Carlton Beach Rd
Dodges Ferry 7173
CT: 243270/1

NOTE
Driveway to be gravelled



Certified Likely Compliance

Michael Westcott 5/5/2026

General Notes
Do not scale plans, use written dimensions only. The owner/builder subcontractor shall verify all dimensions, levels, setbacks and specifications prior to commencing works or ordering materials and shall be responsible for ensuring that all building works conform to the current NCC and Australian standards, building regulations and town planning requirements.
Report any discrepancies to this office.
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Modulus Studio
Shop 14, 31 Cambridge Road
Bellerive, Tasmania 7018
info@modulusstudio.com.au

Spaulding Residence
83 Carlton Beach Road, Dodges Ferry 7173
Rohan & Tess Spaulding



SITE PLAN

Project number	2106.30
Drawing Status	BA
Current Revision	15/02/22 R1

2 A-01

Scale on A3 1:200

15/02/2022 11:19:22 AM

**BUILDING WORK**

Use this form for:

- Notice of Work
- Application for a Certificate of Likely Compliance
- Application for a Building Permit

Section 97
Section 130
Section 139

To: Michael Westcott

Name

As Below:

Address

Suburb/postcode

Form **2**Application for: Permit ☐CLC ☒Notice of Work ☐ (X ones applicable)Certificate of Completion ☒ (X to grant approval for certificate to be issued following the final inspection)

NOTE: Standard of Work Certificate and applicable fees must be submitted prior to Certificate of Completion being issued, in accordance with section 153 or section 104 of the *Building Act 2016*

Building Surveyor details:

Building Surveyor: Michael Westcott

Category: BSL

Address: GPO Box 307

Phone No: 0407 796 978

Hobart TAS

7001

Fax No:

Licence No: CC6107N

Email: office@abstas.com

Applicant / Owner details:

Note: Only an owner or agent of the owner may make an application

Owner: As above

Contact person: Rohan

Address: 83 Carlton Beach Rd

Phone No: 0400 658 573

Dodges Ferry

7173

Fax No:

Email address: rohan@hobartfireprotection.com.au

Details of building work:Type of work: Permit work ☐Notifiable work ☒Planning approval granted ☒ (if applicable)

Address:

83 Carlton Beach Rd,
Dodges Ferry

7173

Certificate of title No: 243270/1

Description of work:

New Building

(new building / alteration / addition / repair / re-erection / other)

Use of building:

Shed

(main use) Building class(es): 10a

Other details:Area: m²

existing building floor: 293

new floor: 48

land: 1416

Material:

floor: Concrete

walls: Colorbond

roof: Colorbond

frame: Steel

Value of work: \$
[inclusive of GST]

20,000

contract price: ☐estimate: ☒

No. of dwelling units:

-

Licensed Building Service Provider details:

Engineer - Designer:	George Severini	Category:	Civil
Business name:			
Business address:	GPO Box 1855	Phone No:	0413 272 057
	Hobart	7001	Fax No:
Licence No:	CC1822J	Email address:	gseverini@assetsafe.com.au
Builder:	TBA	Category:	
Business name:			
Business address:			Phone No:
			Fax No:
Licence No:		Email address:	

Documents and certificates provided:

The following specified documents and certificates are provided with this application -

<i>Document or certificate description:</i>	<i>Prepared by: (Licence No. if applicable)</i>
Certificate of Likely Compliance: Documents specified in the Director's Specified List	

The building work will be carried out in accordance with the **Building Act 2016**, the **Building Regulations 2016** and the National Construction Code.

	<i>Name: [print]</i>	<i>Signed</i>	<i>Date</i>
Owner:	Rohan Spaulding		4/5/2026

**Sorell Council**

Development Application: 5.2026.270.1 -
Development Application - 83 Carlton Beach
Road, Dodges Ferry - P1.pdf
Plans Reference: P1
Date Received: 6/08/2026



ASSET
BUILDING SURVEYING



Sorell Council

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CERTIFICATE OF LIKELY COMPLIANCE – BUILDING WORK

**Section 134
Section 98**

To: *Owner*
 Address
 Suburb/postcode

Form

11A

Applicant / Owner/ Owner builder details:

Note: Only an owner or agent of the owner may make an application

Owner: *Contact person:*
Address: *Phone No:*
 Fax No:
Email address:

Building Surveyor details:

Building Surveyor: *Category:*
Address: *Phone No:*
 Fax No:
Licence No: *Email address:*

Details of building work:

Type of work: Permit work ☐ Notifiable work ☒ *(X one applicable)*
Address: *Lot No:*
 Certificate of title No:
Type of work: *(new building / alteration / addition / repair / removal / re-erection / other)*
Use of building: *(main use)* *Building class:*

Other details:

Area: m² existing building floor: new floor: land:
Material: floor: walls: roof: frame:
Value of work: \$ *contract price:* *estimate:* ☒ *No. of dwelling units:*
[inclusive of GST]

Licensed Building Service Provider details:

Engineer - Designer: *Category:*
Business name:
Business address: *Phone No:*
 Fax No:
Licence No: *Email address:*



Builder:	TBA	Category:		
Business name:				
Business address:			Phone No:	
			Fax No:	
Licence No:		Email address:		

Certificate details:

In considering this application the following documents and matters were taken into account (s98; s132) -
Details: *Prepared by:*

Required documents:	Title	LTO
Required certificates:		
Required Reports:	Site Plan	Rohan Spaulding
Food Premises Verification Analysis:		
Certificates provided:	Rainbow Building Solution Specifications Ref No. SOR02_4897b (dated 15/4/2026) Sheets EE, SE, FPE, EFE, SFE, CS, FP (dated 15/4/2026) Rainbow Dwg No. RAINB-7.5 S10, S11, S12 and S12a (dated 6/2015) & Form 55	George Severini
Notifications by FCA:		
If historical or farm building:		
Relevant permit or consent requirements under other Acts:		

Relevant approvals considered: Planning ☒ Plumbing CLC ☐ (X if applicable)

This certificate is granted subject to the following conditions –

Conditions:	Origin:
1. A copy of approved plans is to be kept on site during construction.	National Construction Code 2022 Volume Two
2. The project's builder shall provide a Form 71A Standard of Work Certificate – Building Work to the Building Surveyor and owner prior to the project's Occupancy Permit/Certificate of Final Inspection being issued.	
3. Prior to commencement of works the builder is to submit to the Building Surveyor a Form 39 Start-Work Notification and Authorisation Building Work.	

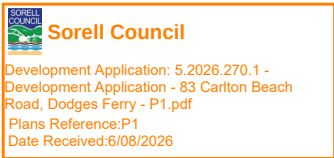
The following mandatory notification stages apply to this building work –

(X applicable one.)

Covering in the foundations:	☐
Pouring structural concrete:	☒
Cladding or building-in structural frame:	☐
Waterproofing of wet areas	☐
Penetrations of fire rated structures	☐
Completing the building work:	☒

Other: (Specify)

☐
☐
☐
☐
☐
☐





Building work referred to in this certificate has been assessed as a Performance Solution under the NCC ☐ (X if applicable.)

Details of Performance Solution:

I certify that after assessment of the application submitted to me, I am satisfied that the building work to which this certificate applies is likely to comply with the *Building Act 2016*, the *Building Regulations 2016* and the National Construction Code.

	<i>Signed:</i>	<i>Date:</i>	<i>Certificate No.</i>
Building Surveyor:		5/5/2026	75/2026

**Sorell Council**
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Construction in accordance with AS3959 = BAL 29

New Building Area Schedule
(GFA)

Name	Area
Living Area	154 m ²
Ground Floor	133 m ²
Deck	17 m ²
Grand total	304 m ²

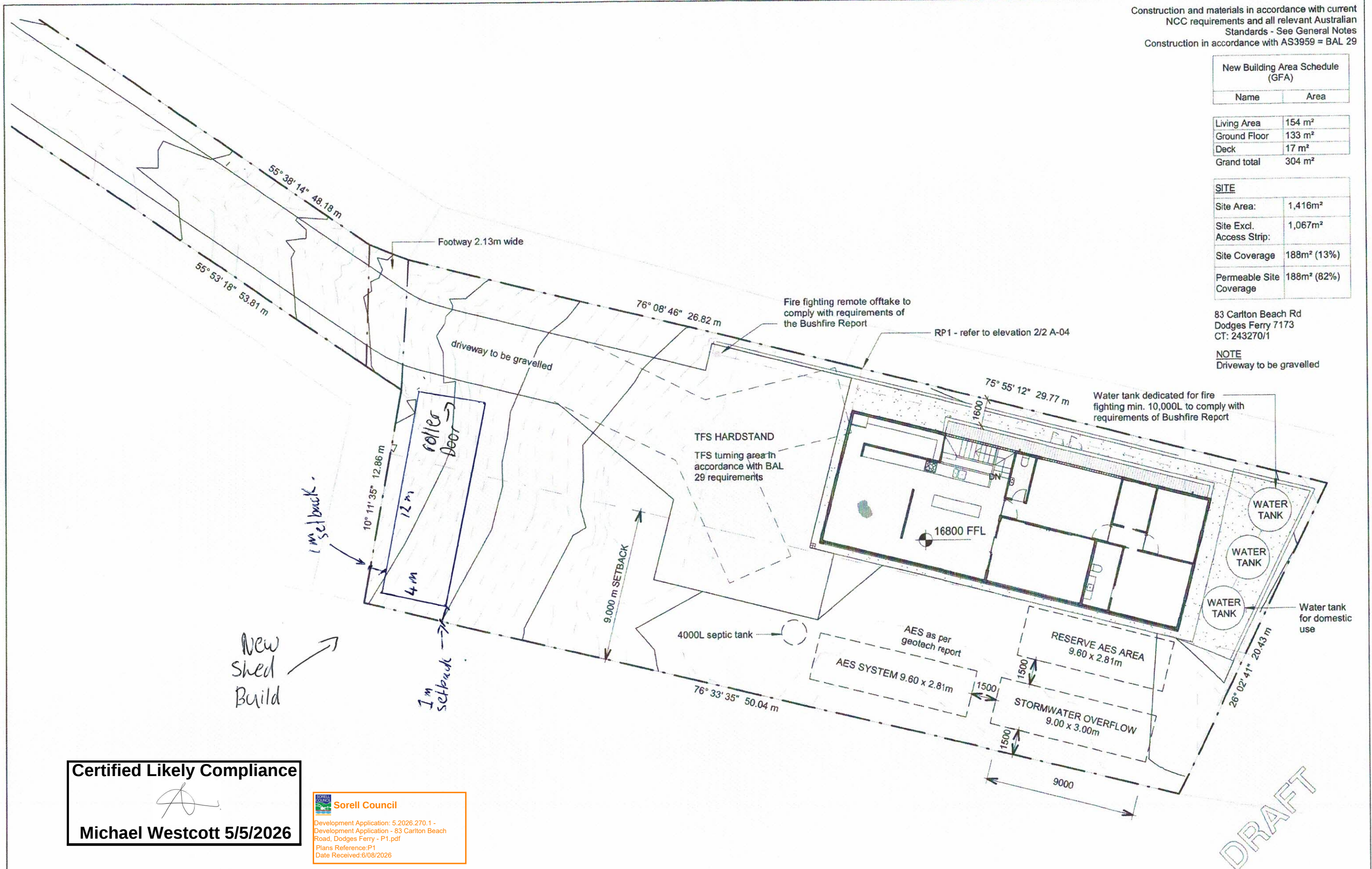
SITE

Site Area:	1,416m ²
Site Excl. Access Strip:	1,067m ²
Site Coverage	188m ² (13%)
Permeable Site Coverage	188m ² (82%)

83 Carlton Beach Rd
Dodges Ferry 7173
CT: 243270/1

NOTE

Driveway to be gravelled



Certified Likely Compliance

(Signature)

Michael Westcott 5/5/2026



Sorell Council

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General Notes
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requirements.
Report any discrepancies to this office.
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Shop 14, 31 Cambridge Road
Bellerive, Tasmania 7018
info@modulusstudio.com.au

Spaulding Residence
83 Carlton Beach Road, Dodges Ferry 7173
Rohan & Tess Spaulding



SITE PLAN

Project number	2106.30
Drawing Status	BA
Current Revision	15/02/22 R1

2 A-01

Scale on A3 1:200

16/02/2022 11:19:22 AM

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To: Owner /Agent
 Address
 Suburb/postcode

Form **55**

Qualified person details:

Qualified person:
 Address: Phone No:
 Fax No:
 Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director of Building Control's Determination)

Speciality area of expertise: (description from Column 4 of the Director of Building Control's Determination)

Details of work:

Address: Lot No:
 Certificate of title No:
 The assessable item related to this certificate: (description of the assessable item being certified)
 Assessable item includes –
 - a material;
 - a design
 - a form of construction
 - a document
 - testing of a component, building system or plumbing system
 - an inspection, or assessment, performed

Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director's Determination – Certificates by Qualified Persons for Assessable items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work: ☒

or

a building, temporary structure or plumbing installation: ☐



In issuing this certificate the following matters are relevant –

Documents:	Rainbow Building Solution Specifications Ref No. SOR02_4897b (dated 15/4/2026) Sheets EE, SE, FPE, EFE, SFE, CS, FP (dated 15/4/2026) Rainbow Dwg No. RAINB-7.5 S10, S11, S12 and S12a (dated 6/2015)
Relevant calculations:	None.
References:	Australian Standards AS1170.0, AS1170.1, AS1170.2, AS2870, AS3600, AS4100, AS4600 and NCC2022.

Substance of Certificate: (what it is that is being certified)

This certificate confirms that I George Severini on behalf of AssetSafe have undertaken a **structural design review** of the **proposed shed**, includes footings, slab, framing and associated fixings in accordance with the referenced drawings above.

Scope and/or Limitations

This certificate is limited to the elements as detailed in the substance of certificate above.

AssetSafe have **not** been engaged to undertake subsequent inspections during construction. It is the owner/builders responsibility to engage a suitably qualified structural/civil engineer to undertake all mandatory inspections in accordance with the Building Act 2016.

I certify the matters described in this certificate.

Qualified person:

Signed:



G Severini, BE Civil MIE Aust CPEng NPER

Date:

28/4/2026

Certificate No:

SC-26102



Specification Report

Distributor:
Rainbow Building
139 Main Rd

Sorrel, 7172, TAS

Telephone: 1300 737 910

Spec. Date: 15/04/2026
Spec. Number: SOR02_4897b
Customer: Rohan Spaulding
83 Carlton Beach Road, DODGES
FERRY, TAS, 7173

Telephone: [REDACTED]

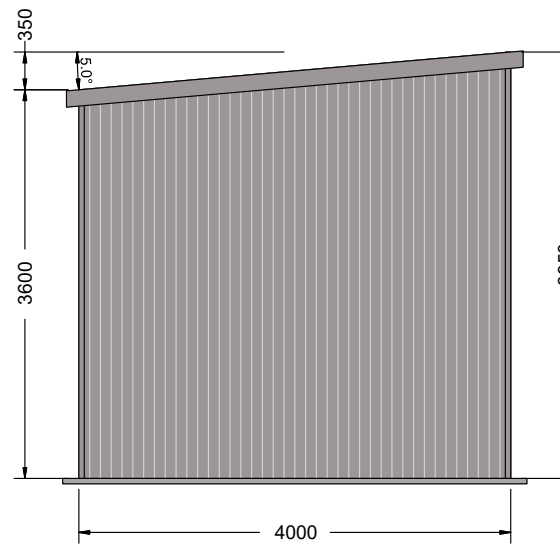
Site Address:
83 Carlton Beach Road,
DODGES FERRY, TAS, 7173

Building Description:	Main Building:	Left Skillion:	Right Skillion:
Span:	4.00m	NA	NA
Bay Size:	4m	NA	NA
Number of Bays:	3	NA	NA
Length:	12.00m	NA	NA
Wall Height:	3.60m	NA	NA
Apex Height:	3.95m	NA	NA
Roof Pitch:	5°	NA	NA
Roof Area:	48.18m ²	NA	NA
Roof Purlin Type:	TH64100	NA	NA
Roof Purlin Spacing (Internal):	1200	NA	NA
Roof Purlin Spacing (End):	900	NA	NA
Purlin Lap:	10%	NA	NA
Wall Girt Type:	TH64075	NA	NA
Wall Girt Spacing:	1400	NA	NA
Girt Lap:	10%	NA	NA
Eave Purlin Type:	C15012	NA	NA
Column Size:	C15024	NA	NA
Rafter Size:	C15015	NA	NA
Mullion Size:	C15024	NA	NA
Knee Brace:	NA	NA	NA
Ridge Brace:	NA	NA	NA
Wall Cladding:	0.42 BMT (0.47 TCT) Corrugated Colorbond®		
Roof Cladding:	0.42 BMT (0.47 TCT) Corrugated Colorbond®		
Down Pipes:	90mm round PVC		
Gutters:	Quad Gutter 115 High Tensile		
Barge:	Garage Barge		
Roller Doors:	1 x 3000H x 3100W (Opening: 3000H x 3040W) Series A Roller Door Manual Lift Colorbond Shale Grey		

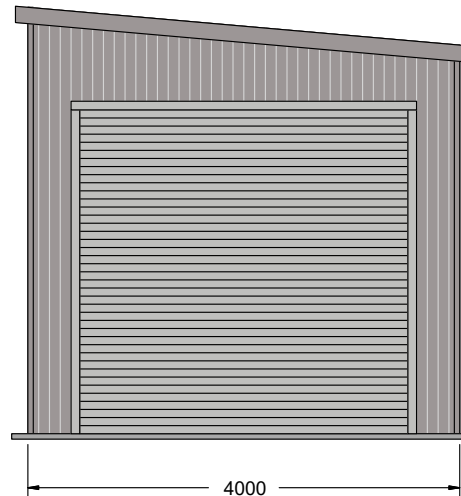
Certified Likely Compliance

Michael Westcott 5/5/2026





FRONT ELEVATION



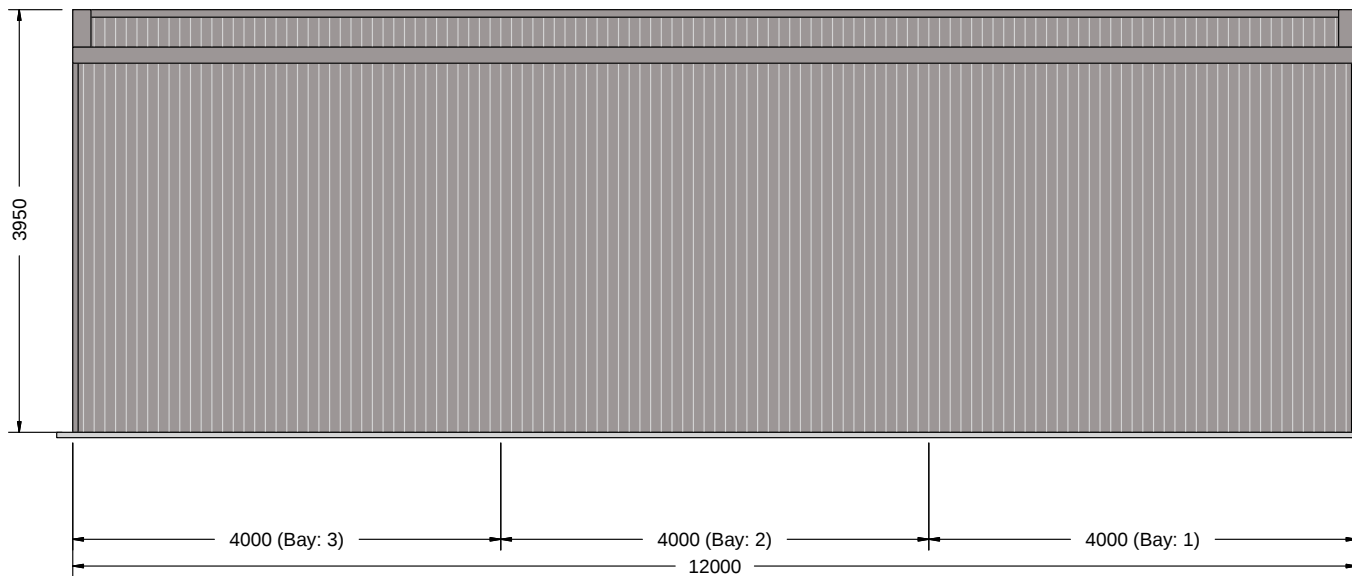
REAR ELEVATION

Certified Likely Compliance

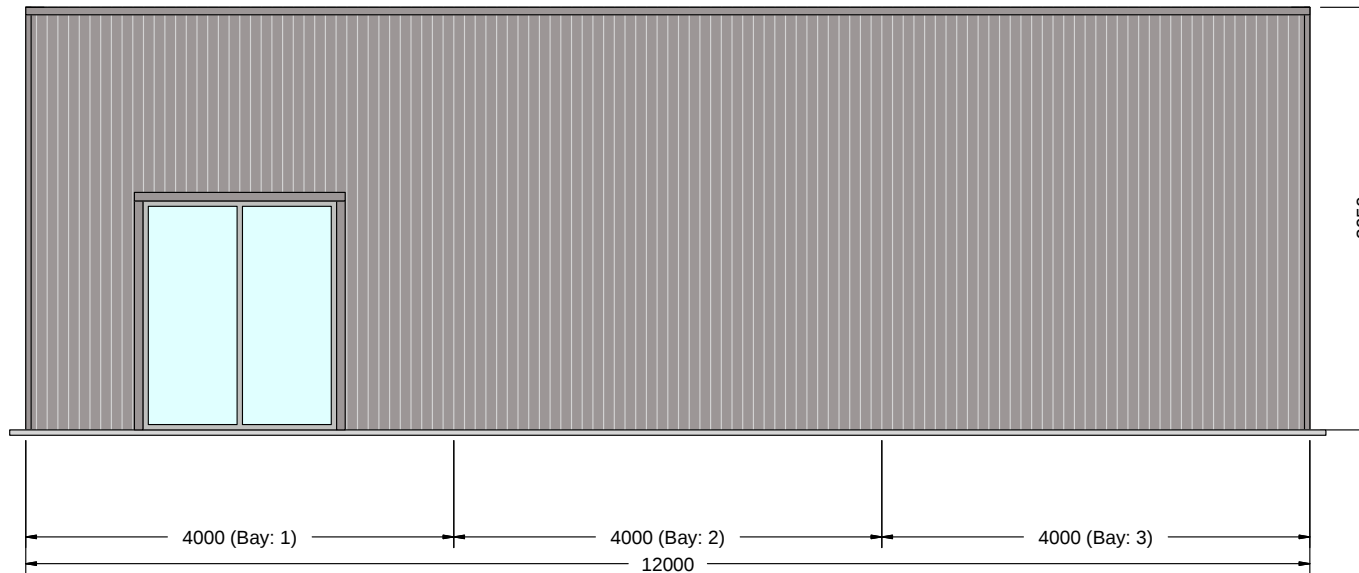
Michael Westcott 5/5/2026

 **Sorell Council**
 Development Application: 5.2026.270.1 -
 Development Application - 83 Carlton Beach
 Road, Dodges Ferry - P1.pdf
 Plans Reference: P1
 Date Received: 6/08/2026

 
 Reg No. A12110
George Severini,
 BEng MIE Aust CP Eng NER APEC Engineer IntPE(Aus)
Date: 28/4/2026
 Tas Building Practitioner No. CC1822
AssetSafe



LEFT ELEVATION



RIGHT ELEVATION

Certified Likely Compliance

Michael Westcott 5/5/2026


AssetSafe
 Reg No. 412110
George Severini,
 BEng MIE Aust CP Eng NER APEC Engineer IntPE(Aus)
Date: 28/4/2026
 Tas Building Practitioner No. CC1822

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139 Main Road,
 Sorell TAS 7172
 Phone: 1300 737 910
 Email: sales@rainbowbuilding.com.au

CLIENT: Rohan Spaulding
SITE ADDRESS: [REDACTED]

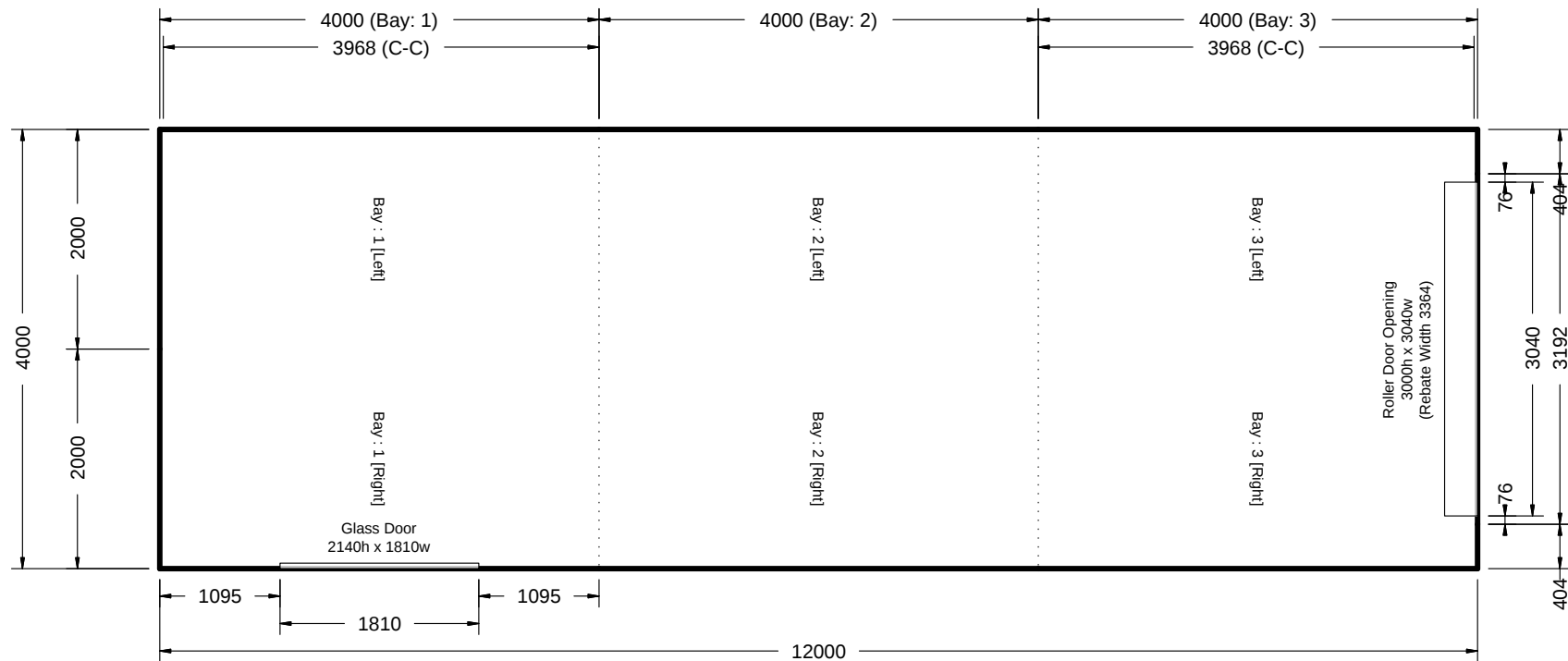
DRAWING TITLE: Side Elevations

SCALE: 1:70.658

DATE: 15-04-2026

Job Number: SOR02_4897b

Drawing Number: SE



PLAN ELEVATION

Sorell Council
 Development Application: 5.2026.270.1 -
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Certified Likely Compliance

Michael Westcott 5/5/2026

ENGINEERS AUSTRALIA
 Reg No. A12110
George Severini,
 BEng MIE Aust CP Eng NER APEC Engineer Int PE (Aus)
Date: 28/4/2026
Tas Building Practitioner No. CC1822
AssetSafe

139 Main Road,
 Sorell TAS 7172
 Phone: 1300 737 910
 Email: sales@rainbowbuilding.com.au

CLIENT: Rohan Spaulding
SITE ADDRESS: [REDACTED]

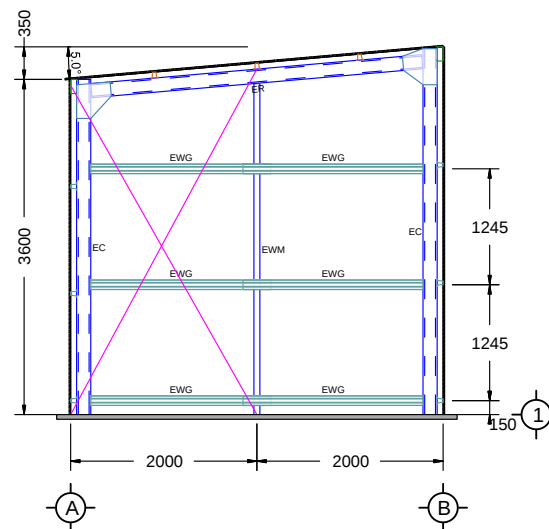
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SCALE: 1:63.654

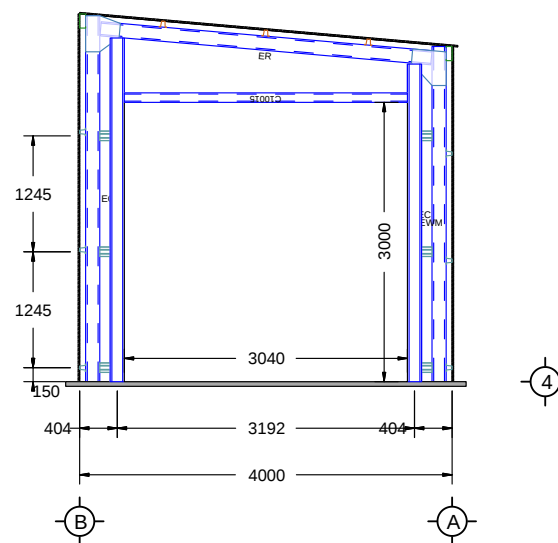
DATE: 15-04-2026

Job Number: SOR02_4897b

Drawing Number: FPE



FRONT ELEVATION



REAR ELEVATION

Certified Likely Compliance

Michael Westcott

Michael Westcott 5/5/2026

Engineers Australia

Reg No. 412110

George Severini,
BEng MIE Aust CP Eng NER APEC Engineer Int PE(Aus)

Date: 28/4/2026

Tas Building Practitioner No. CC1822

AssetSafe

Sorell Council

Development Application: 5.2026.270.1 -
Development Application - 83 Carlton Beach
Road, Dodges Ferry - P1.pdf

Plans Reference: P1
Date Received: 6/08/2026

139 Main Road,
Sorell TAS 7172
Phone: 1300 737 910
Email: sales@rainbowbuilding.com.au

CLIENT: Rohan Spaulding

SITE ADDRESS: 83 Carlton Beach Road, DODGES FERRY, TAS, 7172

PHONE: 0400658573

EMAIL: rohan@hobartfireprotection.com.au

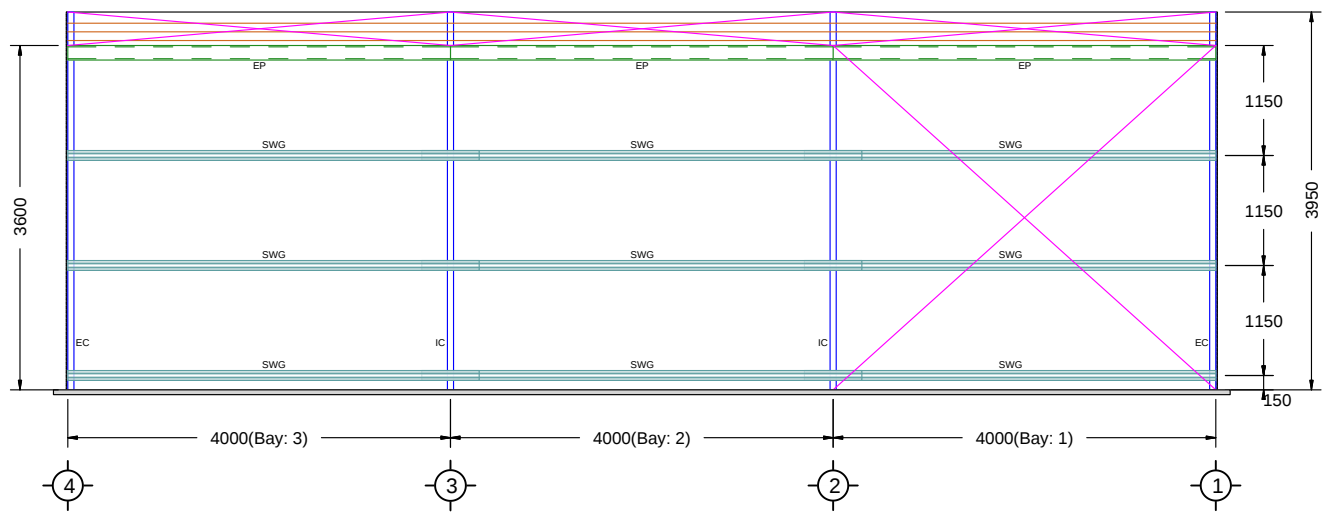
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SCALE: 1:81.198

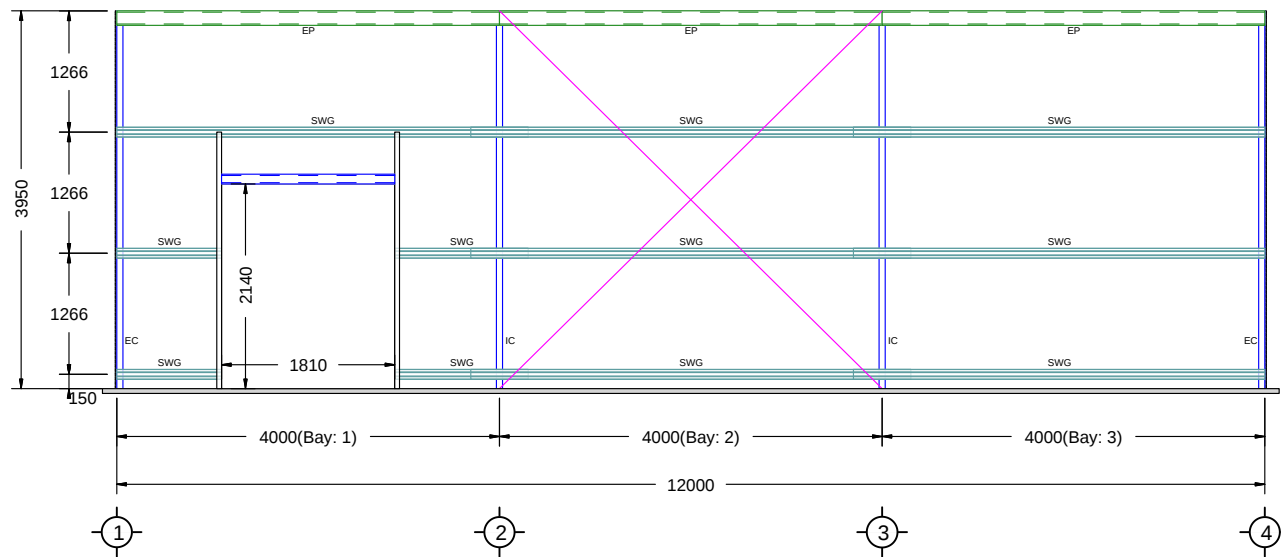
DATE: 15-04-2026

Job Number: SOR02_4897b

Drawing Number: EFE



LEFT ELEVATION



RIGHT ELEVATION

Certified Likely Compliance

Michael Westcott 5/5/2026

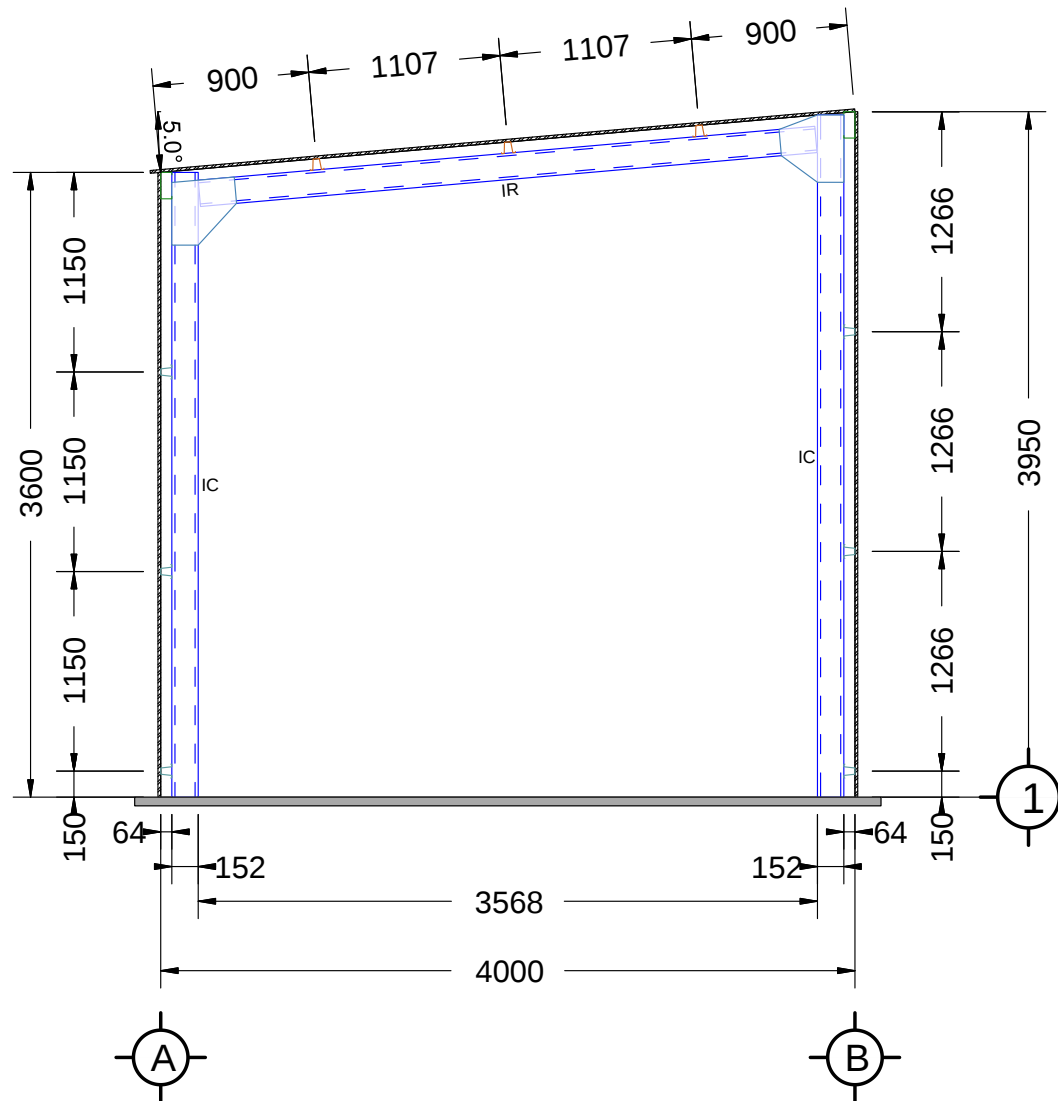

 Reg No 412110
George Severini,
 BEng MIE Aust CP Eng NER APEC Engineer Int PE(Aus)
Date: 28/4/2026
 Tas Building Practitioner No. CC1822
AssetSafe

 **Sorell Council**
 Development Application: 5.2026.270.1 -
 Development Application - 83 Carlton Beach
 Road, Dodges Ferry - P1.pdf
 Plans Reference: P1
 Date Received: 6/08/2026

139 Main Road,
 Sorell TAS 7172
 Phone: 1300 737 910
 Email: sales@rainbowbuilding.com.au

CLIENT: Rohan Spaulding
SITE ADDRESS: [REDACTED]

DRAWING TITLE: Side Frame Elevations
SCALE: 1:79.034
DATE: 15-04-2026
Job Number: SOR02_4897b
Drawing Number: SFE



INTERMEDIATE ELEVATION

Certified Likely Compliance

Michael Westcott

Michael Westcott 5/5/2026

Sorell Council

Development Application: 5.2026.270.1 -
Development Application - 83 Carlton Beach
Road, Dodges Ferry - P1.pdf
Plans Reference: P1
Date Received: 6/08/2026

ENGINEERS AUSTRALIA

Reg No 412110

George Severini

George Severini,
BEng MIE Aust CP Eng NER APEC Engineer Int PE(Aus)
Date: 28/4/2026
Tas Building Practitioner No. CC1822

AssetSafe

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Email: sales@rainbowbuilding.com.au

CLIENT: Rohan Spaulding
SITE ADDRESS: [REDACTED]

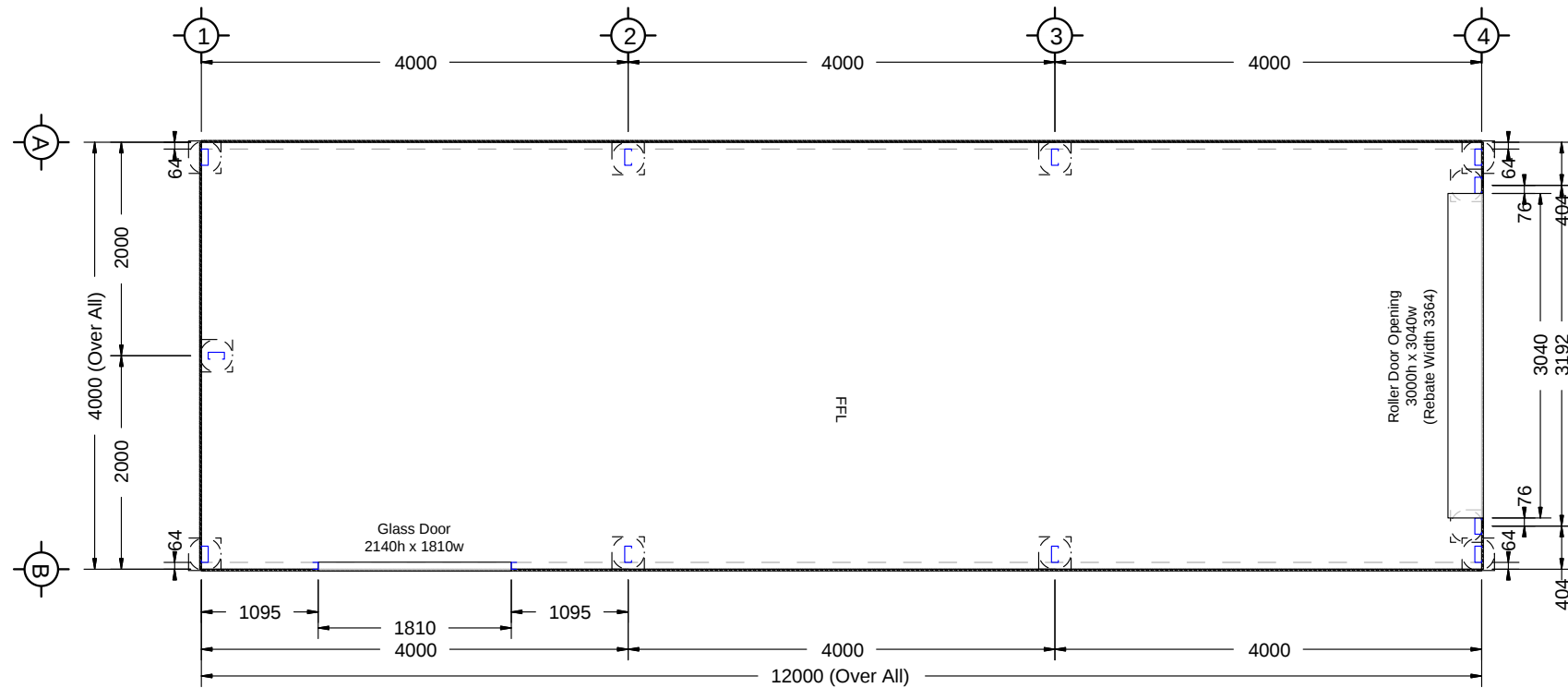
DRAWING TITLE: Cross Section

LE: 1:43.564

DATE: 15-04-2026

Job Number: SOR02_4897b

Drawing Number: CS



FLOOR PLAN

Sorell Council
 Development Application: 5.2026.270.1 -
 Development Application - 83 Carlton Beach
 Road, Dodges Ferry - P1.pdf
 Plans Reference: P1
 Date Received: 6/08/2026

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Michael Westcott 5/5/2026

ENGINEERS AUSTRALIA
 Reg No 412110
George Severini,
 BEng MIE Aust CP Eng NER APEC Engineer IntPE (Aust)
Date: 28/4/2026
Tas Building Practitioner No. CC1822
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139 Main Road,
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CLIENT: Rohan Spaulding
SITE ADDRESS: [REDACTED]

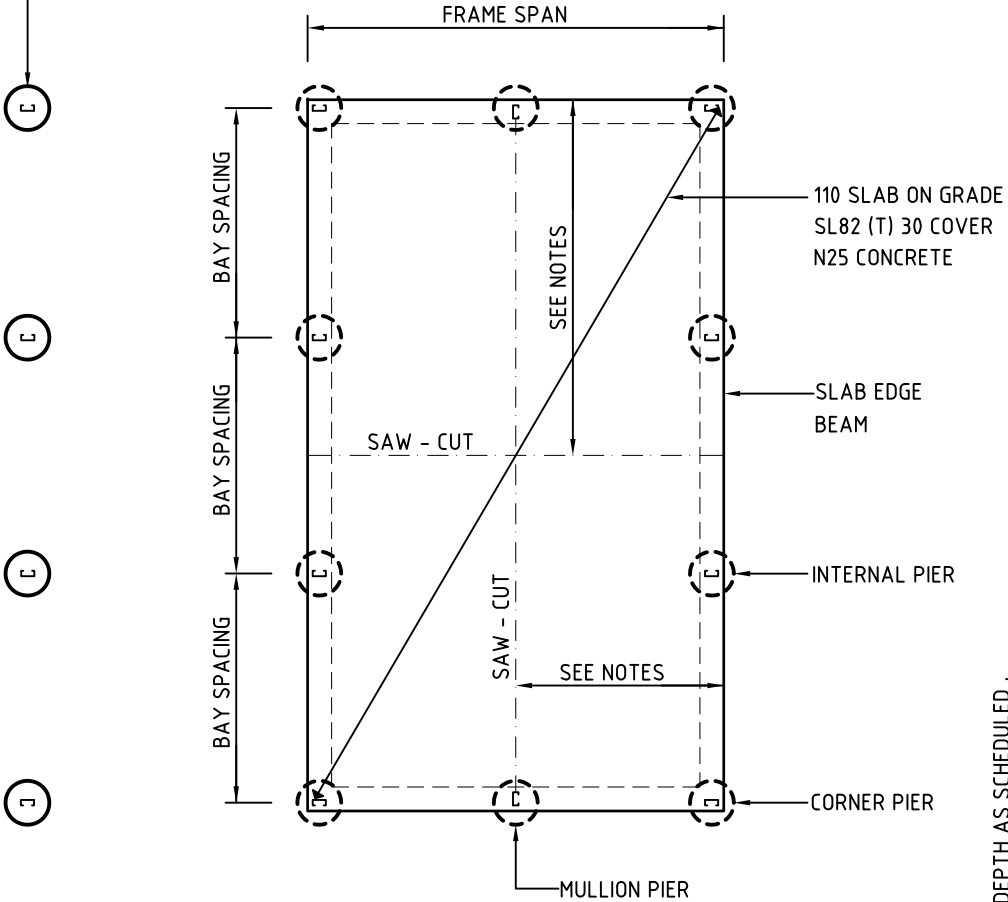
DRAWING TITLE: Floor Plan
SCALE: 1:65.401
DATE: 15-04-2026
Job Number: SOR02_4897b
Drawing Number: FP

FOUNDATION SPECIFICATION FOR ALL CONCRETE PIERS	
FRAME SPAN MAX C/C	PIER SIZE
6000	450 dia x 600d
7500	450 dia x 750d

NOTE: STRIP SITE OF TOPSOIL VEGETATION MIN. 100 ROOT BALLS AND SOFT AREAS TO APPROVAL BEFORE PLACING ANY FILL BELOW SLAB ALL CONCRETE EDGE BEAMS MUST BE FOUNDED ON FIRM NATURAL SUB-GRADE. DEEPEN EDGE BEAMS AS REQUIRED

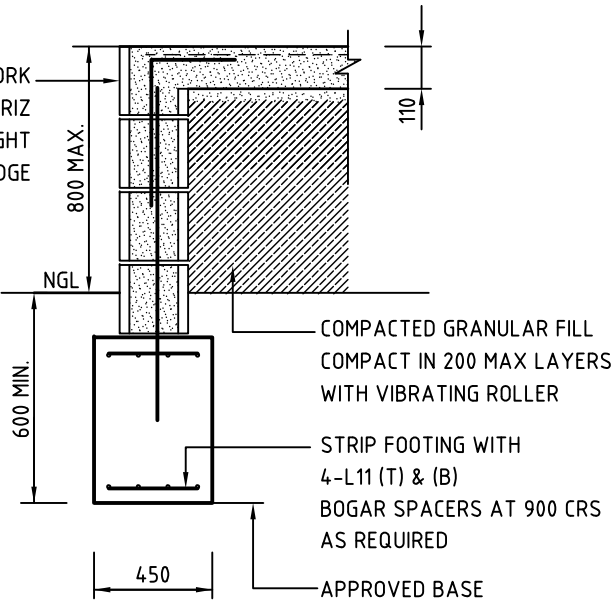
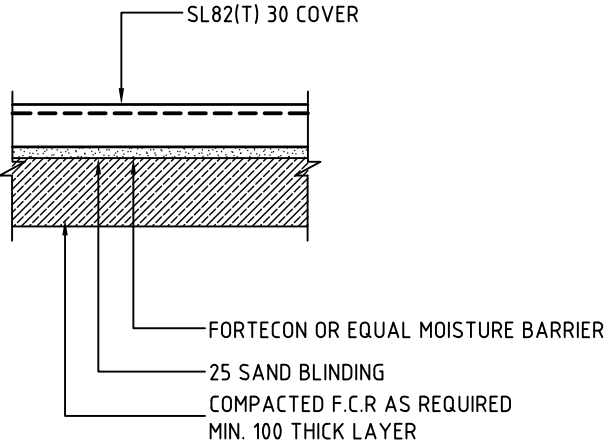
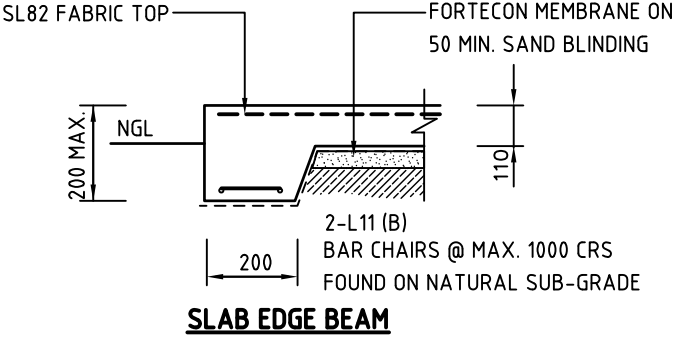
FOR SITE CLASSIFICATION A,S & M
OTHER SITE CLASSES BY OTHERS

SKILLION PIER FOUNDATION WHERE REQUIRED (OPTIONAL)
NOTE : REFER SITE SPECIFICATION & ELEVATION DRAWINGS



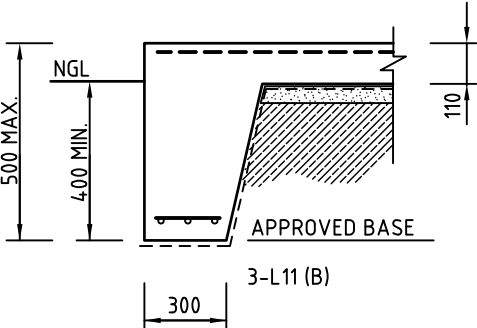
TYPICAL SLAB & PIER LAYOUT

NOTES :
SLAB DESIGN FOR CLASS A,S & M TO AS 2870
TYPICALLY N25 CONCRETE 30mm COVER TO REO
LAP REO MIN. 225mm SUPPORT ON BAR CHAIRS AT 1000 MAX crs
POUR PIER FOOTINGS INTEGRAL WITH SLAB,
DO NOT PLACE INFILL CONCRETE SLAB AGAINST WALL SHEETING
PROVIDE 25mm POLYSTYRENE SHEET AS BARRIER



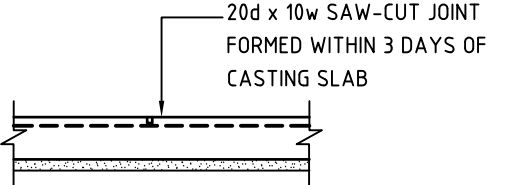
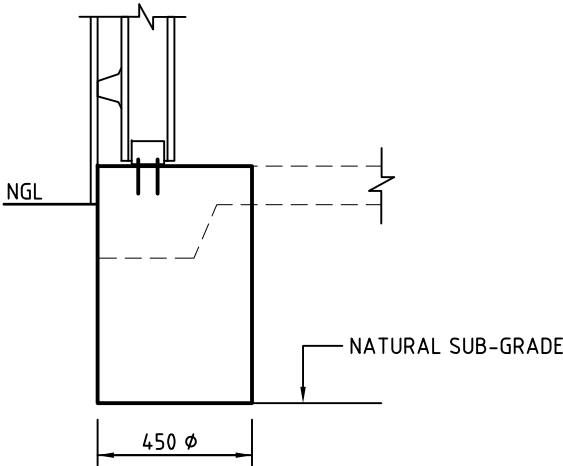
RETAINING WALL DETAILS

HEIGHT > 500mm HEIGHT < 1000mm



RETAINING WALL DETAILS

HEIGHT < 500mm



SLAB SAW-CUT DETAIL

WHERE SLAB O/A LENGTH > 9.0m
PLACE SAW CUTS AT NO MORE THAN 6m INTERVALS

Certified Likely Compliance

Michael Westcott 5/5/2026

NOTE : REFER RAINBOW BUILDING SOLUTIONS SPECIFICATIONS
FOR SITE SPECIFIC INFORMATION & STRUCTURAL CERTIFICATION

Sorell Council

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ENGINEERS AUSTRALIA

Reg No. 412110

George Severini,
BEng (MIE Aust) CP Eng (NER AFEC Engineer IntPE(Aus))
Date: 28/4/2026
Tax Building Practitioner No. CC1822

AssetSafe

R
A
I
N
B
O
W

building solutions

139 Main Road Sorell, TAS 7172

www.rainbowbuilding.com.au

T: 1300 737 910

CONSULTING ENGINEERS
Emmanuel Dellas Pty Ltd
phone: 6228 2225 fax: 6228 2235
mobile: 0418 232 811
email: edellas@bigpond.com
GPO Box 1805 Hobart 7001

Project Title:
RAINBOW BUILDING SOLUTIONS
STEEL FRAMED BUILDINGS, 7.5m MAX
SKILLION SHED CONSTRUCTION
FOOTING/SLAB DETAILS - CLASS 10A
STRUCTURES ONLY

Designed by:
E.D.

ED Accreditation Number:
CC164C

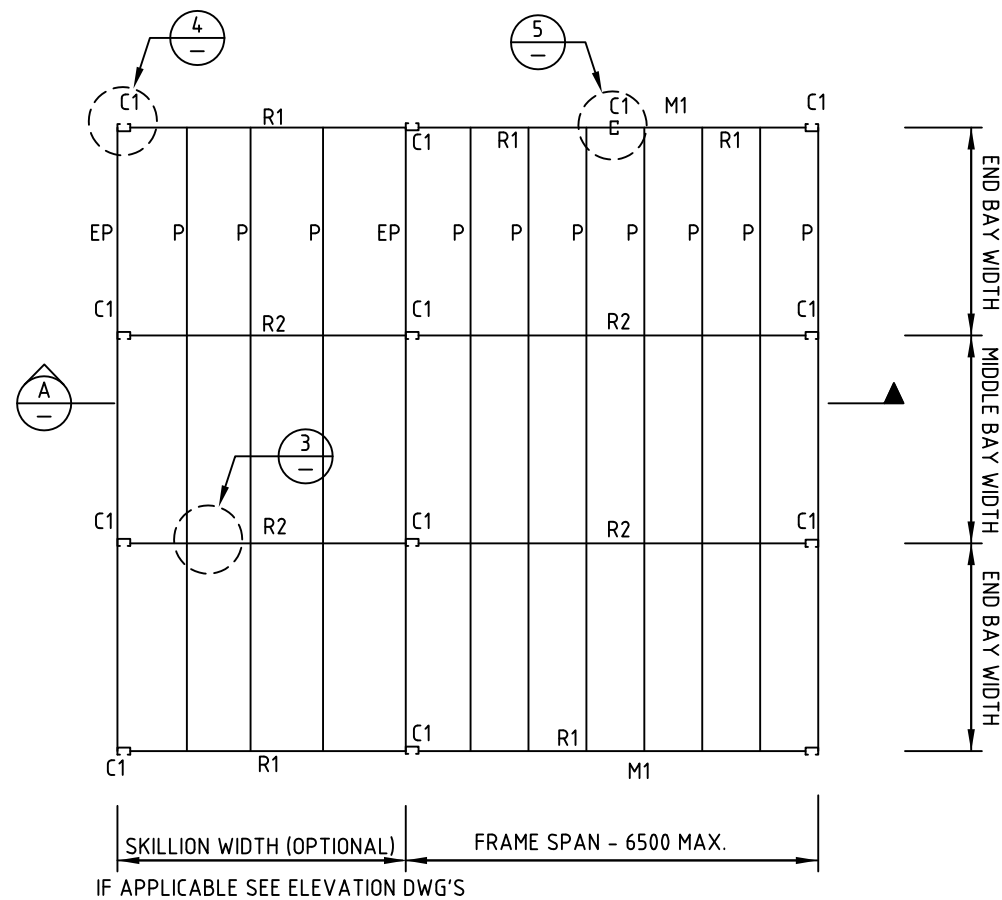
Date:
June '15

Scale:
N.T.S

Job No.
RAINB - 7.5

Drawing No.
S10

Rev.
0



ROOF FRAMING PLAN

Certified Likely Compliance

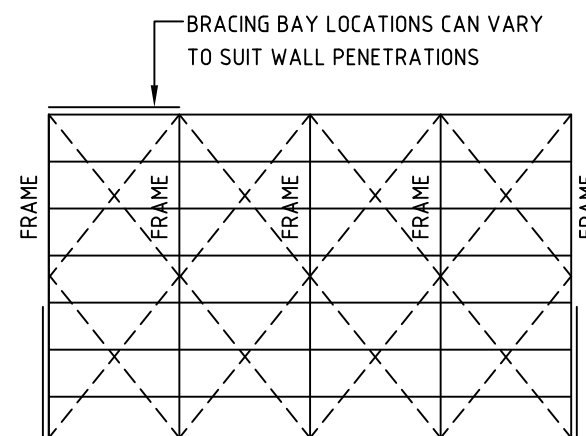
[Signature]

Michael Westcott 5/5/2026

ROOF & WALL SHEETING MAX. SPAN TABLES			
CLADDING	LOCATION	END SPAN	INT SPAN
CORRUGATED 0.42 BMT	ROOF	900	1200
CORRUGATED 0.42 BMT	WALL	1200	1500
K-PANEL 0.42 BMT	WALL	1200	1500
MONOCLAD 0.42 BMT	ROOF	900	1200
MONOCLAD 0.42 BMT	WALL	1200	1500

RBS CONSTRUCTION NOTES:

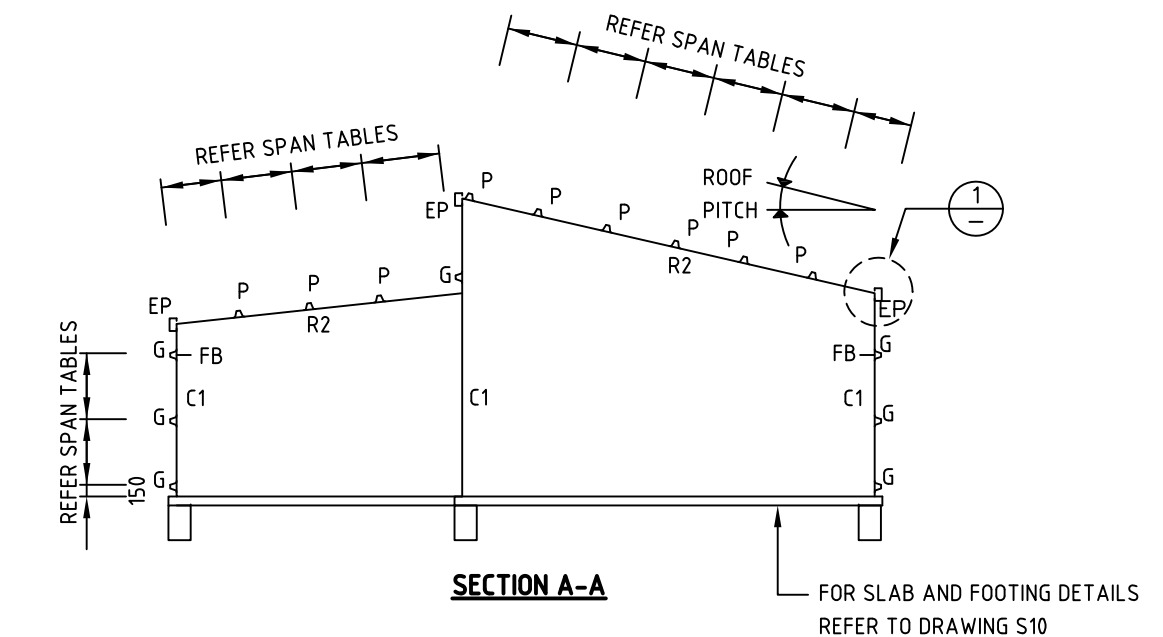
- NOTES:
1. REFER RAINBOW BUILDING SPECIFICATIONS FOR SITE SPECIFIC INFORMATION
 2. END WALL CLADDING CAN BE DELETED TO ENABLE OPEN END BAYS
 3. WALL CLADDING CAN BE DELETED ONE FULL SIDE PROVIDE MIN. 1 BRACED BAY EACH SIDE
 4. WHERE 2 OR MORE BAYS OPEN SIDED & COLUMNS > 3.0m IN HEIGHT PROVIDE BACK TO BACK COLUMNS



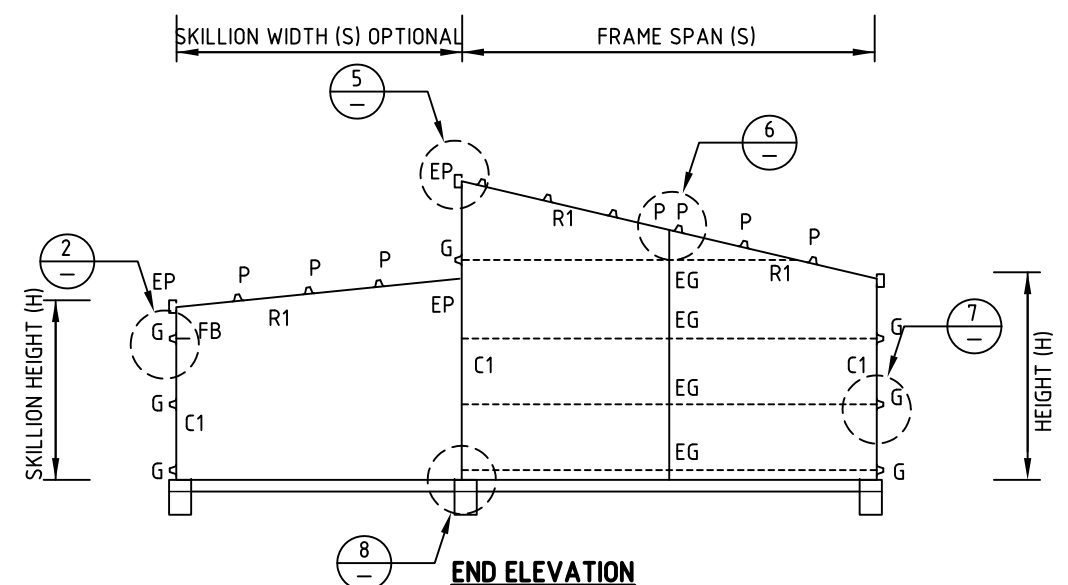
ROOF & WALL BRACING

ALL BRACING 32 X 1.2 G500 GI STRAP 2 - 14g X 22 TEK SCREWS EACH END TO FRAMES WITH TENSIONER FIX TO EXTERNAL FACE OF COLUMNS & RAFTERS

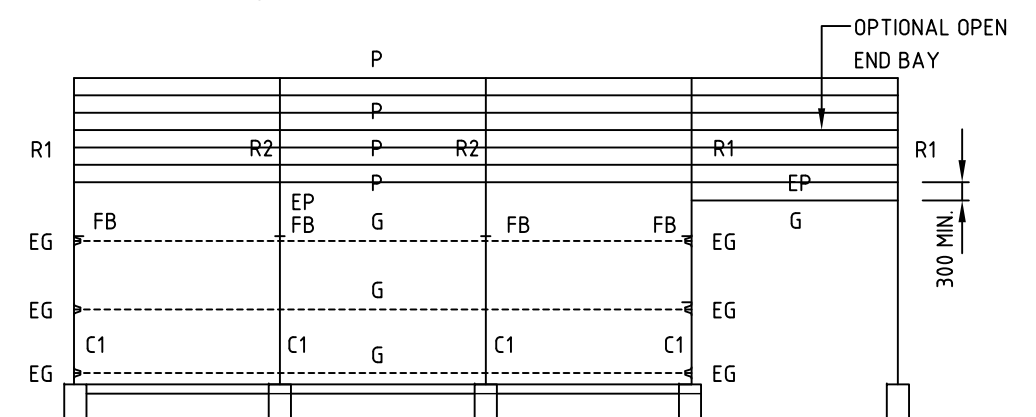
NOTE : REFER RAINBOW BUILDING SOLUTIONS SPECIFICATIONS FOR SITE SPECIFIC INFORMATION & STRUCTURAL CERTIFICATION



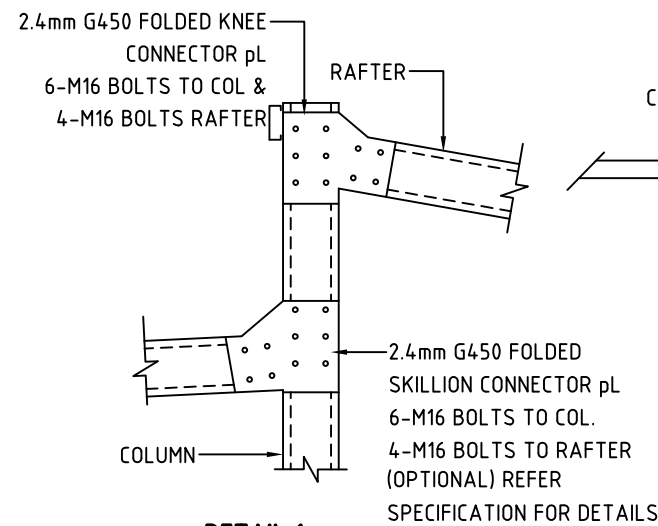
SECTION A-A



END ELEVATION



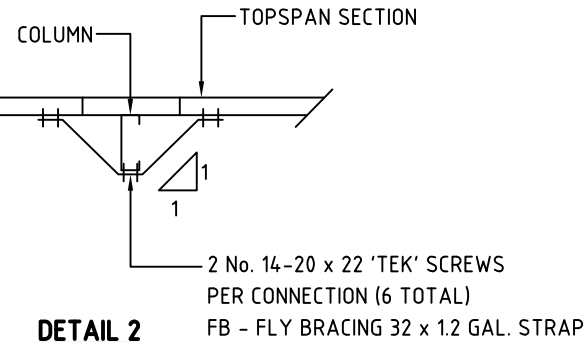
SIDE ELEVATION



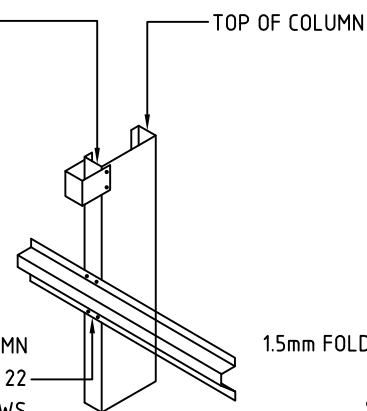
DETAIL 1
KNEE CONNECTION DETAIL

DETAIL 2

FLY BRACE COLUMNS AT MID-SPAN WHERE COLUMN HEIGHT > 4000



(SEPB) SINGLE EAVE PURLIN BRACKET FIX TO COLUMN WITH 4 No. 14-20 x 22 'TEK' SCREWS PER CONNECTION DOUBLE BRACKET WHERE COLUMNS ARE BACK TO BACK

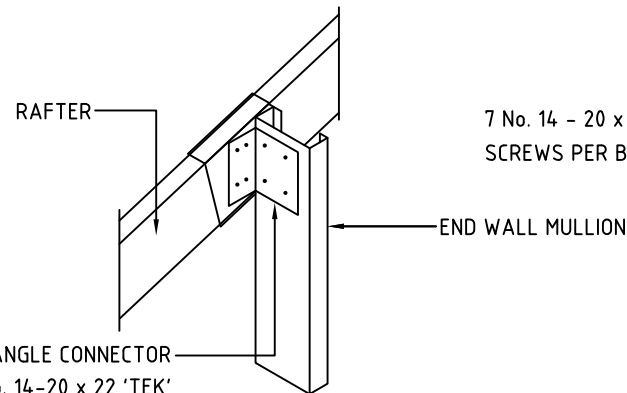


DETAIL 5

SINGLE EAVE PURLIN BRACKET

FIX GIRT TO COLUMN WITH 4 No. 14-20 x 22 'TEK' SCREWS PER CONNECTION WHEN TOPHAT IS CONTINUOUS

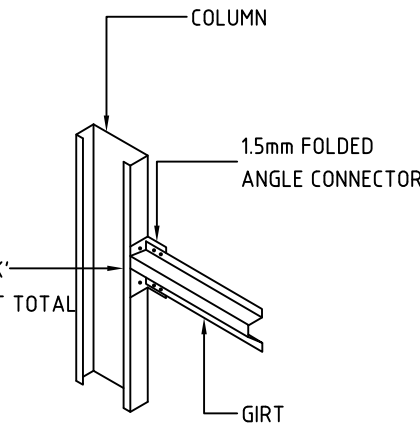
1.5mm FOLDED ANGLE CONNECTOR
8 No. 14-20 x 22 'TEK' SCREWS PER BRACKET



DETAIL 6

END WALL MULLION FIXING ANGLE

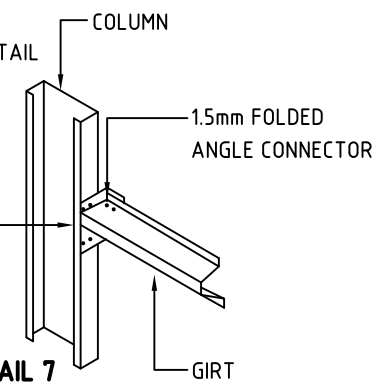
7 No. 14 - 20 x 20 'TEK' SCREWS PER BRACKET TOTAL



DETAIL 7

GIRT TO CORNER COLUMN DETAIL (64mm TOP HATS)

8 No. 14-20 x 22 'TEK' SCREWS PER BRACKET

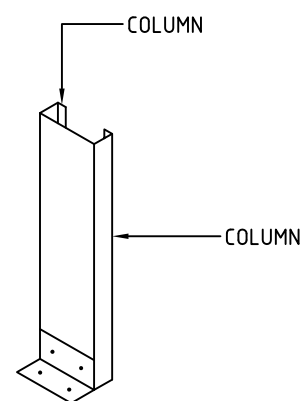


DETAIL 7

GIRT TO CORNER COLUMN DETAIL (120mm TOP HATS)

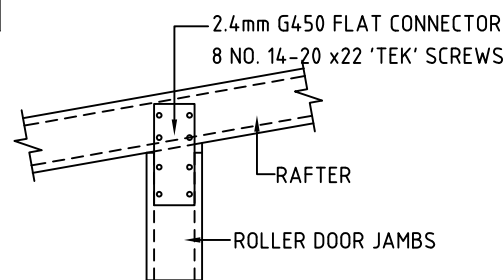
FRAME / SLAB / PIER FIXING		BOLT TO COLUMN
C100 FRAME	2-M12100 DYNABOLTS	2-M12x30 PURLIN BOLT, NUT & WASHER
C150 FRAME	2-M12100 DYNABOLTS	2-M16x30 PURLIN BOLT, NUT & WASHER
C200 FRAME	2-M16100 TRUBOLTS	2-M16x30 PURLIN BOLT, NUT & WASHER
C250 FRAME	2-M20160 TRUBOLTS	2-M16x40 (GR 8.8) HIGH TENSILE PURLIN BOLT, NUT & WASHER
C300 FRAME	3-M20160 TRUBOLTS	3-M16x40 (GR 8.8) HIGH TENSILE PURLIN BOLT, NUT & WASHER

NOTE : REFER RAINBOW BUILDING SOLUTIONS SPECIFICATIONS FOR SITE SPECIFIC INFORMATION & STRUCTURAL CERTIFICATION



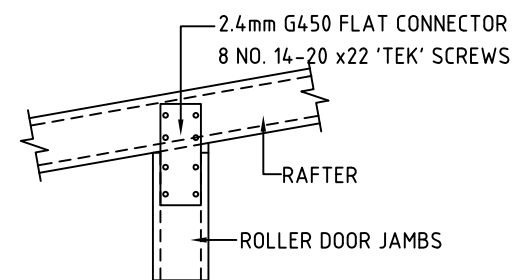
DETAIL 8

3mm G450 BASE CLEAT



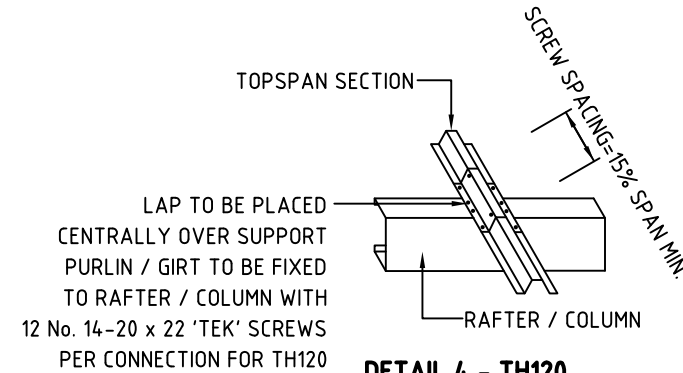
DETAIL 9

COL. TO RAFTER CONNECTION (TYPICAL)



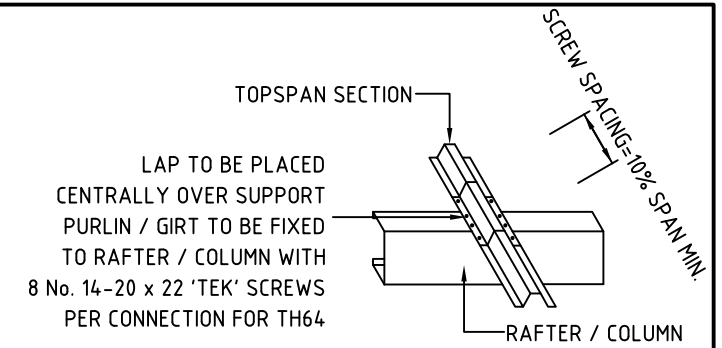
DETAIL 10

DOOR JAMB TO RAFTER CONNECTION (TYPICAL)



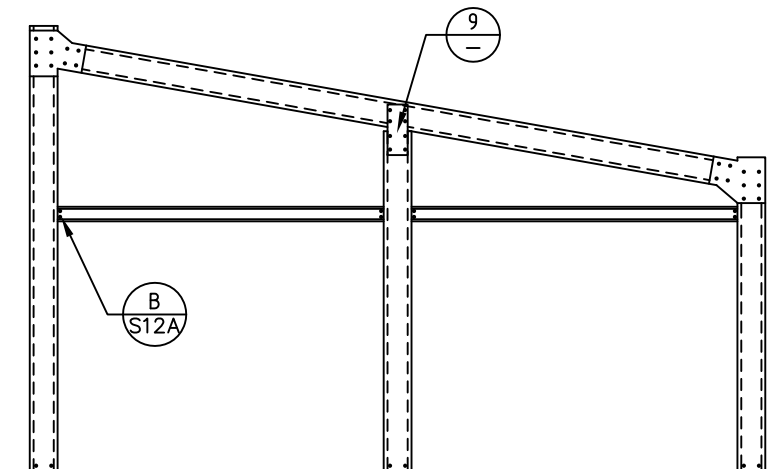
DETAIL 4 - TH120

GIRT & PURLIN OVERLAP (OVER SUPPORTS ONLY)

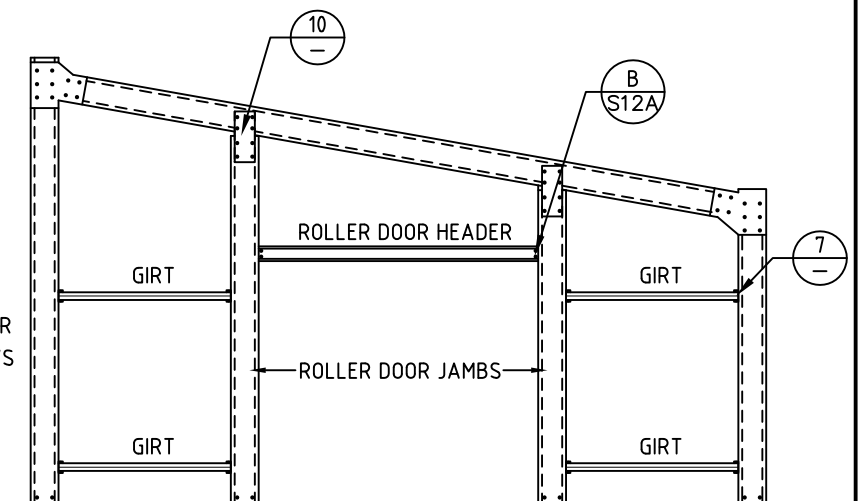


DETAIL 4 - TH64

GIRT & PURLIN OVERLAP (OVER SUPPORTS ONLY)



2 ROLLER DOORS IN SKILLION END WALL
GENERAL ARRANGEMENTS (VIEWED FROM INSIDE BUILDING)



ROLLER DOOR IN SKILLION END WALL
GENERAL ARRANGEMENTS (VIEWED FROM INSIDE BUILDING)

Sorell Council
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AssetSafe
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Date: 28/4/2026
Tas Building Practitioner No. CC1822

R A I N B O W
building solutions
139 Main Road Sorell, TAS 7172
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T: 1300 737 910

CONSULTING ENGINEERS
Emmanuel Dellas Pty Ltd
phone: 6228 2225 fax: 6228 2235
mobile: 0418 232 811
email: edellas@bigpond.com
GPO Box 1805 Hobart 7001

Project Title:
**RAINBOW BUILDING SOLUTIONS
STEEL FRAMED BUILDINGS, 7.5m MAX
SKILLION SHED CONSTRUCTION
STEEL CONNECTION DETAILS SHEET 1**

Scale:
N.T.S

Job No.
RAINB - 7.5

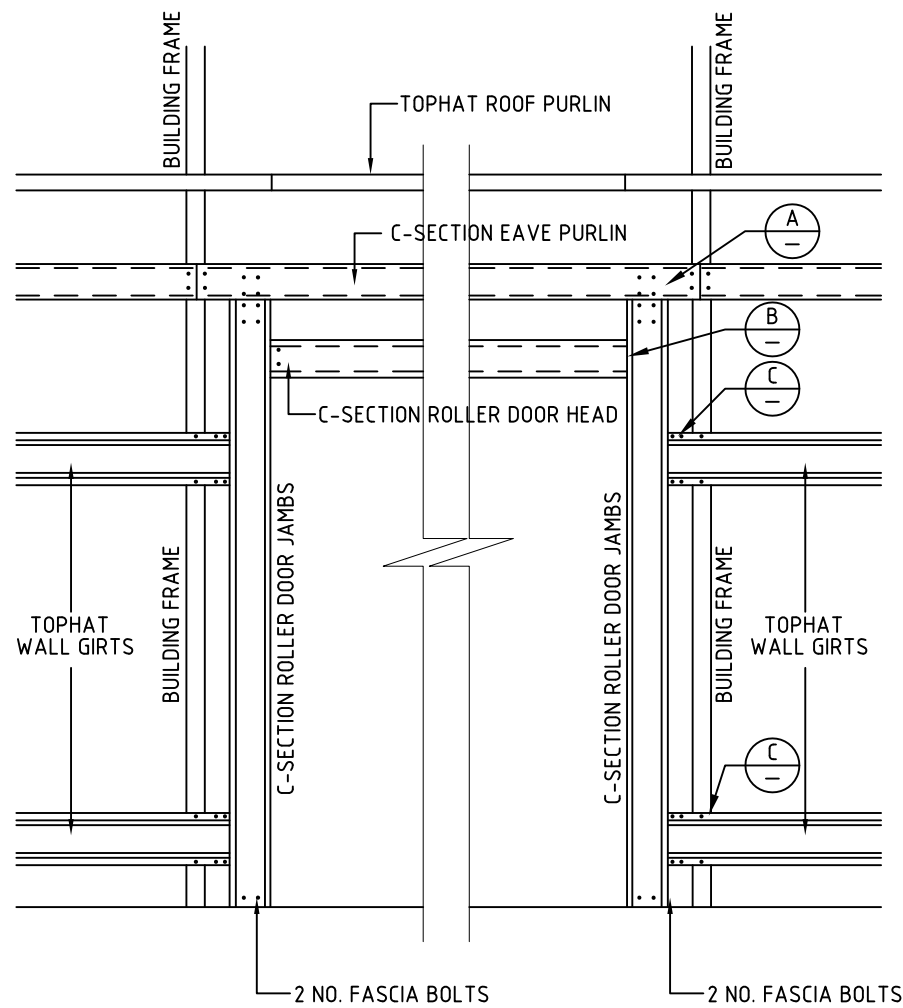
Drawing No.
S12

Rev.
0

Designed by:
E.D.

ED Accreditation Number:
CC164C

Date:
June '15

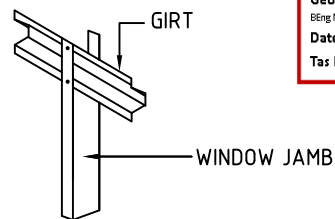


ROLLER DOOR SIDE (GUTTER) WALL DETAIL

ROLLER DOOR KIT COMPRISES
C150 ROLLER DOOR JAMBS
2 NO. M16x30 FASCIA BOLTS
2 NO. M12x100 DYNA BOLTS
C100 ROLLER DOOR JAMBS
2 NO. M12x30 FASCIA BOLTS
2 NO. M12x100 DYNA BOLTS

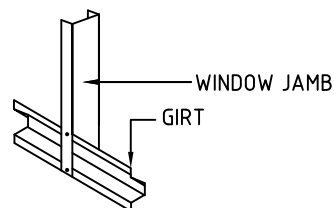
WINDOW FRAME KIT COMPRISES
2 NO. WINDOW JAMBS (WJ)
24 NO. 14-20x20 'TEKS' SCREWS
1 NO. WINDOW & WINDOW HARDWARE

NOTE : REFER RAINBOW BUILDING SOLUTIONS SPECIFICATIONS FOR SITE SPECIFIC INFORMATION & STRUCTURAL CERTIFICATION



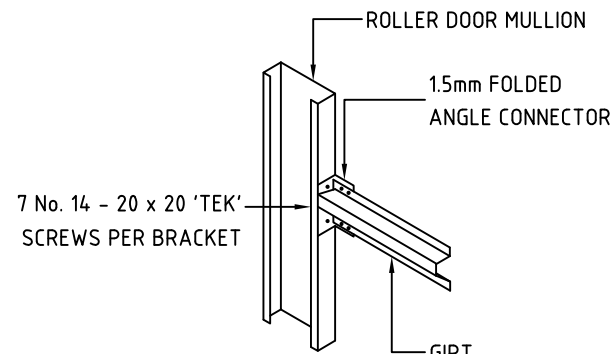
WINDOW DETAIL BOTTOM CONNECTION DETAIL-D & E

ALL CONNECTIONS TO BE 'TEKS' SCREWED USING 2 NO. 14-20x20 'TEKS' SCREWS PER CONNECTION



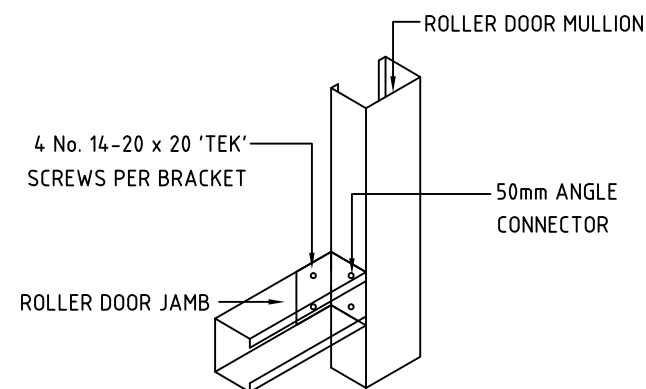
WINDOW DETAIL TOP CONNECTION DETAIL-D

ALL CONNECTIONS TO BE 'TEKS' SCREWED USING 2 NO. 14-20x20 'TEKS' SCREWS PER CONNECTION

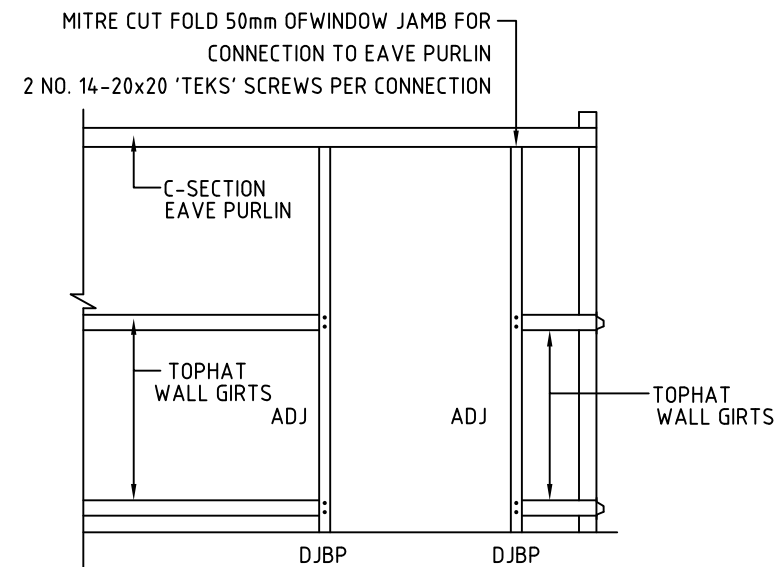


ROLLER DOOR MULLION DETAIL C

TOPHAT WALL GIRT BUTTS INTO ROLLER DOOR MULLION USING 1.5mm END WALL GIRT BRACKET

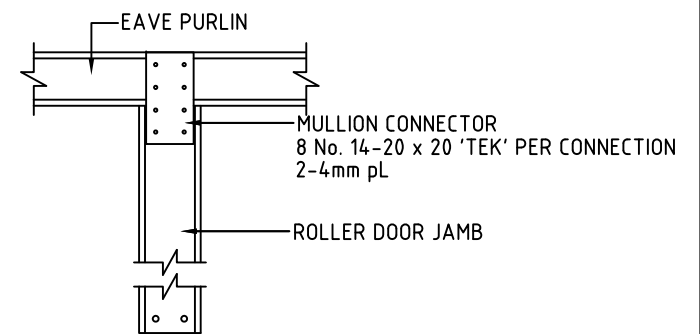


ROLLER DOOR MULLION DETAIL-B



PERSONAL ACCESS DOOR DETAIL

ACCESS DOOR KIT COMPRISES
2 NO. ACCESS DOOR JAMBS (ADJ)
BASE PLATE DJBP 2 NO. M12 x 70 DYNABOLTS
2 NO. 50mm ANGLE CONNECTORS
32 NO. 14-20x20 'TEKS' SCREWS
2 NO. DYNABOLTS PER PA DOOR HEX HEAD -(Z)
1 NO. ACCESS DOOR AND DOOR HARDWARE
DOOR HEAD FLASHING - 50x50 CORNER

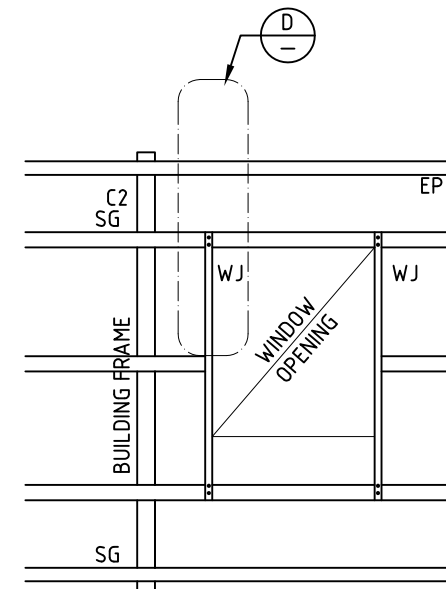


SIDE WALL R/DOOR JAMB DETAIL DETAIL-A

Certified Likely Compliance

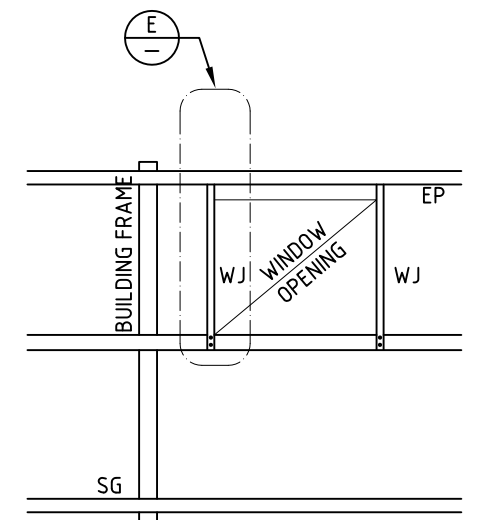
(Signature)

Michael Westcott 5/5/2026



WINDOW DETAIL - OPTION 1

ALL CONNECTIONS TO BE 'TEKS' SCREWED USING 4 NO. 14-20x20 'TEKS' SCREWS PER CONNECTION



WINDOW DETAIL - OPTION 2

ALL CONNECTIONS TO BE 'TEKS' SCREWED USING 4 NO. 14-20x20 'TEKS' SCREWS PER CONNECTION

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RAINBOW

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GPO Box 1805 Hobart 7001

Project Title: RAINBOW BUILDING SOLUTIONS STEEL FRAMED STRUCTURES 7.5 MAX SKILLION SHED CONSTRUCTION STEEL CONNECTION DETAILS SHEET 2			Scale: N.T.S	
Designed by: E.D.			Job No. RAINB - 7.5	
ED Accreditation Number: CC164C			Drawing No. S12A	
Date: June '15			Rev. 0	